

| FINISH SCHEDULE  |                        |            |                 |        |         |              |  |
|--|------------------------|------------|-----------------|--------|---------|--------------|--|
| ROOM #   | ROOM NAME              | FLOOR      | BASE            | WALLS  | CEILING | CLNG. HGT.   | REMARKS                                  |
| 100  | RECEPTION              | NEW CARPET | NEW 4" VINYL    | G.W.B. | 2X4 ACT | 9'-0" A.F.F. |  |
| 101  | STORAGE/COPY ROOM      | EXIST. VCT | EXIST. 4" VINYL | G.W.B. | EXIST.  | -            | PROVIDE BASE @ NEW WALLS TO MATCH EXIST. |
| 102  | CORRIDOR               | NEW CARPET | NEW 4" VINYL    | EXIST. | EXIST.  | -            |  |
| 103  | OFFICE                 | NEW CARPET | NEW 4" VINYL    | EXIST. | EXIST.  | -            |  |
| 104  | OFFICE                 | NEW CARPET | NEW 4" VINYL    | EXIST. | EXIST.  | -            |  |
| 105  | OFFICE                 | NEW CARPET | NEW 4" VINYL    | EXIST. | EXIST.  | -            |  |
| 106  | OFFICE                 | NEW CARPET | NEW 4" VINYL    | EXIST. | EXIST.  | -            |  |
| 107  | OFFICE                 | NEW CARPET | NEW 4" VINYL    | EXIST. | EXIST.  | -            |  |
| 108  | REST ROOM              | EXIST. VCT | -               | -      | EXIST.  | -            |  |
| 109  | REST ROOM              | EXIST. VCT | -               | -      | EXIST.  | -            |  |
| 110  | STAIRS                 | NEW CARPET | NEW 4" VINYL    | EXIST. | EXIST.  | -            |  |
| 111  | BREAKROOM              | EXIST. VCT | EXIST. 4" VINYL | G.W.B. | 2X4 ACT | -            | PROVIDE BASE @ NEW WALLS TO MATCH EXIST. |
| 112  | WAREHOUSE              | -          | -               | -      | -       | -            |  |
| 200  | AIR COND. STORAGE AREA | NEW CARPET | NEW 4" VINYL    | EXIST. | EXIST.  | -            |  |
| 201  | OFFICE                 | NEW CARPET | NEW 4" VINYL    | -      | -       | -            |  |
| FINISH SCHEDULE NOTES:   |                        |            |                 |        |         |              |  |
| 1. ALL FLOORING FINISHES TO BE SELECTED BY TENANT AND INSTALLED BY CONTRACTOR.   |                        |            |                 |        |         |              |  |
| 2. CONFIRM ALL FINISH MATERIALS WITH TENANT PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO WALLCOVERINGS, FLOORING, WALL BASE, CABINETRY, ETC.                                  |                        |            |                 |        |         |              |  |
| 3. RE-PAIN ENTIRE SPACE. COLORS TO MATCH EXISTING "SCORE" AT THE TOP" SPACE IN BUILDING 2. PAINT TO BE APPLIED AS FOLLOWS: ONE (1) COAT OF PRIMER AND TWO (2) COATS OF FINISH PAINT. |                        |            |                 |        |         |              |  |
| 4. CONTRACTOR TO PROVIDE TRANSITION STRIPS AT THE CENTER OF DOOR OPENINGS WHERE DIFFERING FLOORING MATERIALS MEET.   |                        |            |                 |        |         |              |  |
| 5. CARPET SHALL MATCH EXISTING "SCORE" AT THE TOP" SPACE IN BUILDING 2.  |                        |            |                 |        |         |              |  |
| 6. PROVIDE AN ALTERNATE PRICE TO INSTALL CERAMIC TILE AS SELECTED BY TENANT FOR THE RECEPTION (RM. 100) AND THE CORRIDOR (RM. 102) AREAS.  |                        |            |                 |        |         |              |  |

| DOOR SCHEDULE  |               |        |        |        |        |                               |
|--|---------------|--------|--------|--------|--------|-------------------------------|
| DOOR   |               |        |        | FRAME  |        | REMARKS                       |
| OPENING NUMBER   | SIZE          | MATL   | TYPE   | MATL   | HDWR   |                               |
| 1  | 3'-0" X 7'-0" | EXIST. | EXIST. | EXIST. | EXIST. |                               |
| EX   | EXISTING DOOR |        |        |        |        | RELOCATED DOOR FROM MEZZANINE |
| DOOR HARDWARE SETS:  |               |        |        |        |        |                               |
| CONTRACTOR TO VERIFY ALL DOOR HARDWARE REQUIREMENTS W/ TENANT PRIOR TO INSTALLATION. |               |        |        |        |        |                               |

### BUILDING CODE INFORMATION

BASED ON FLORIDA BUILDING CODE 2010

|  |                           |
|--|---------------------------|
| BUILDING TYPE:<br>TYPE I-B CONSTRUCTION, SPRINKLERED<br>OCCUPANCY: GROUP B, BUSINESS |                           |
| AREA CALCULATION:  |                           |
| • FIRST FLOOR:   | • OCCUPANCY LOAD:         |
| OFFICE AREA = 1,980 S.F.   | 1,980 S.F. / 100= 19 OCC. |
| WAREHOUSE AREA = 308 S.F.  | 308 S.F. / 500= 1 OCC.    |
| • MEZZANINE:   |                           |
| OFFICE AREA = 200 S.F.   | 200 S.F. / 100= 2 OCC.    |
| STORAGE = 282 S.F.   | 282 S.F. / 300= 1 OCC.    |
| • TOTAL AREA = 2,750 S.F.  | TOTAL OCCUPANTS = 23      |
| EXIT REQUIREMENTS:   |                           |
| DEAD END LIMIT-MAXIMUM CONDITION   | 50 FEET                   |
| TRAVEL DISTANCE TO EXIT-MAXIMUM CONDITION  | 300 FEET                  |

### VERTICAL ACCESSIBILITY NOTE

PER 2012 FLORIDA ACCESSIBILITY CODE 201.1.1 EXCEPTION (3), OCCUPIABLE SPACES AND ROOMS THAT ARE NOT OPEN TO THE PUBLIC AND THAT HOUSE NO MORE THAN FIVE PERSONS, INCLUDING, BUT NOT LIMITED TO EQUIPMENT CONTROL ROOMS AND PROJECTION BOOTHS.

THE OFFICES & STORAGE AREAS LOCATED ON THE MEZZANINE LEVEL ARE FOR PRIVATE USE ONLY AND WILL NOT BE OPEN TO THE PUBLIC. IN ADDITION, THE TOTAL OCCUPANT LOAD ON THE MEZZANINE IS EQUAL TO LESS THAN 5 PERSONS AS SHOWN UNDER THE BUILDING CODE INFORMATION. THEREFORE, VERTICAL ACCESSIBILITY IS NOT REQUIRED FOR THE MEZZANINE LEVEL.

### GENERAL NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL LOCAL AND APPLICABLE CODES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS AND REGULATIONS OF THE BUILDING STANDARDS AND LOCAL JURISDICTIONS.

ALL FINISH MATERIALS, HARDWARE, ETC. SHALL MATCH THE BUILDING STANDARDS UNLESS NOTED OTHERWISE. IF THE CONTRACTOR HAS DIFFICULTY MATCHING BUILDING STANDARDS HE/SHE SHALL OBTAIN THE ARCHITECTS APPROVAL PRIOR TO SUBSTITUTING ANY ITEMS.

PROPER CARE AND PROTECTION SHALL BE PROVIDED FOR ALL AREAS ADJACENT TO CONSTRUCTION AND ANY DAMAGE THAT MAY OCCUR TO THESE AREAS AS A RESULT OF THIS CONSTRUCTION SHALL BE PROMPTLY REPAIRED BY THE CONTRACTOR TO THE ORIGINAL CONDITION

ANY WORK THAT MUST BE PERFORMED IN OTHER TENANT SPACES IN RELATION TO THIS CONSTRUCTION SHALL BE PERFORMED IN A MANNER SO AS NOT TO DISRUPT THE OWNER, ALL WALLS, SLABS, CEILINGS, ETC. DISTURBED IN OTHER SPACES SHALL BE RESTORED TO ORIGINAL CONDITION ONCE WORK IS COMPLETE.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS AND VERIFY ALL EXISTING CONDITIONS AND THEIR COMPATIBILITY WITH THE NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES

EXISTING FIRE RATINGS SHALL BE MAINTAINED AT SLAB PENETRATIONS RATED WALLS, RATED CEILING ASSEMBLIES AND FIRE COMPARTMENT ZONES

REVIEW FINAL LOCATIONS AND QUANTITIES OF FIRE EXTINGUISHERS WITH FIRE MARSHALL PRIOR TO CONSTRUCTION.

FIRE EXTINGUISHERS SHALL BE PLACED AT INTERVALS NOT EXCEEDING A TRAVEL DISTANCE OF 75'.

### CEILING LEGEND

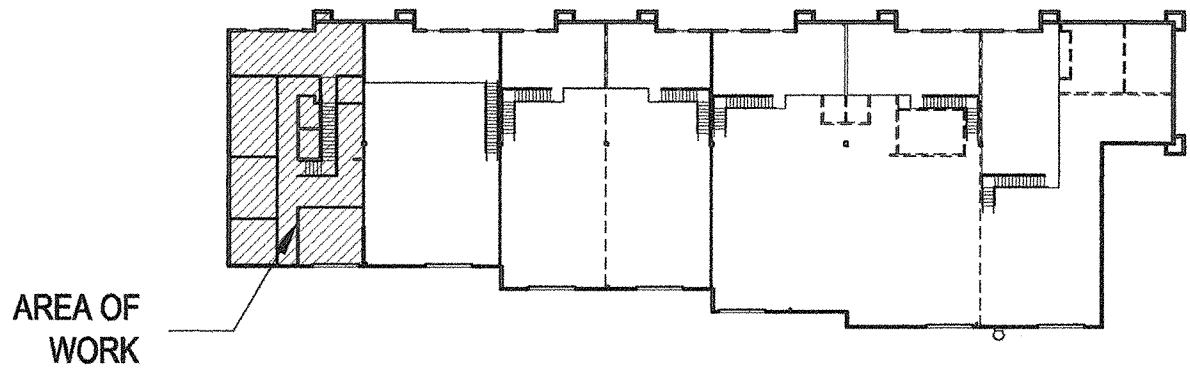
|  |  |
|--|--|
|  | 2x4 ARMSTRONG FINE FISSURED SQUARE LAY-IN CEILING #1729 W/ 15/16\"/> |
|  | GYPSUM BOARD CEILING/ HEADER   |
|  | 2x4 FLUORESCENT FIXTURE WITH PRISMATIC LENS                          |
|  | EXIT SIGN  |
|  | EMERGENCY LIGHTS   |

NOTES:  
EX = EXISTING FIXTURE  
R = RELOCATED FIXTURE  
N = NEW FIXTURE

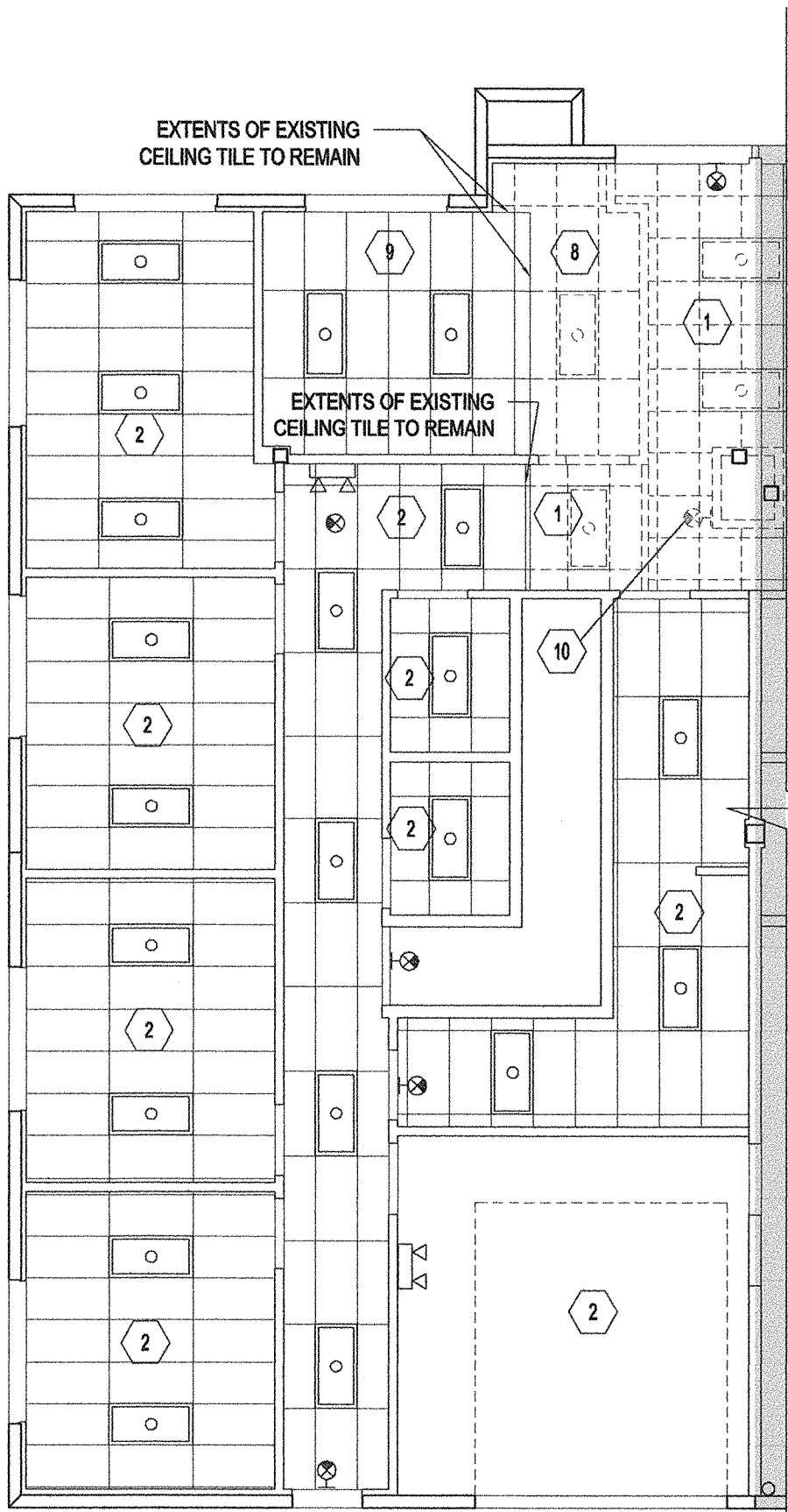
### DEMOLITION PLAN KEY NOTES

|  |                          |
|--|--------------------------|
|  | NOT IN SCOPE             |
|  | EXISTING TO BE REMOVED   |
|  | EXISTING WALLS TO REMAIN |

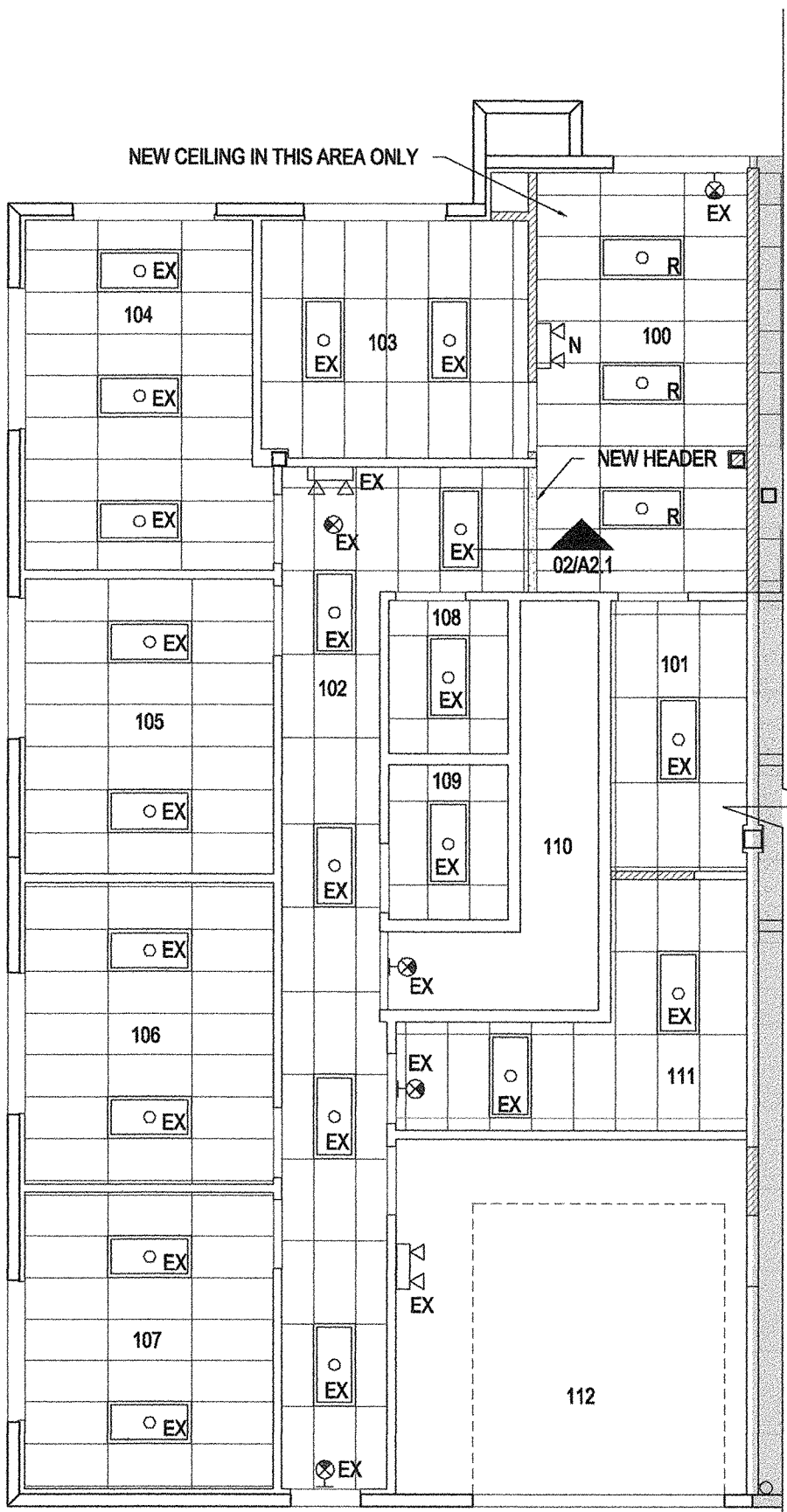
- REMOVE EXISTING STUD WALLS.
- REMOVE AND RELOCATE EXISTING DOOR PER FLOOR PLAN.
- REMOVE EXISTING DOOR AND FRAME.
- REMOVE EXISTING CASEWORK.
- REMOVE EXISTING FLOORING & BASE & PREP FLOOR TO RECEIVE NEW FLOORING.
- REMOVE EXISTING CEILING FINISHES. SEE CEILING DEMOLITION AND PROPOSED CEILING PLAN FOR EXTENTS OF WORK.
- RELOCATE EXISTING FIRE EXTINGUISHER (SEE PLAN)
- REMOVE EXISTING CEILING TILE, GRID, LIGHTS, HVAC GRILLES, ETC. COORDINATE W/ PROPOSED CEILING PLAN AND MEP.
- EXISTING CEILING AND LIGHTS TO REMAIN.
- EXISTING EMERGENCY EXIT SIGN TO BE REMOVED.



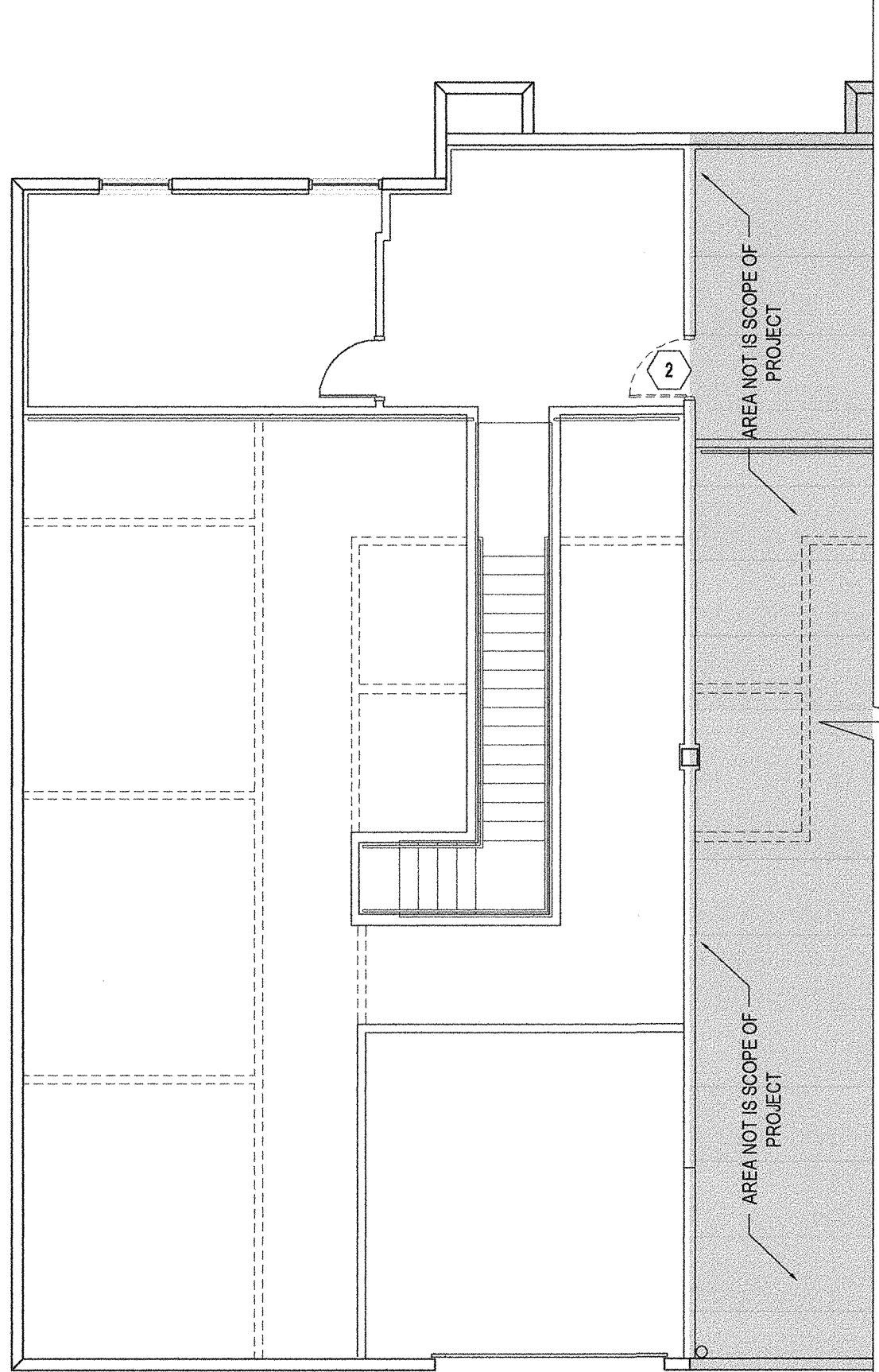
KEY PLAN  
SCALE: N.T.S.



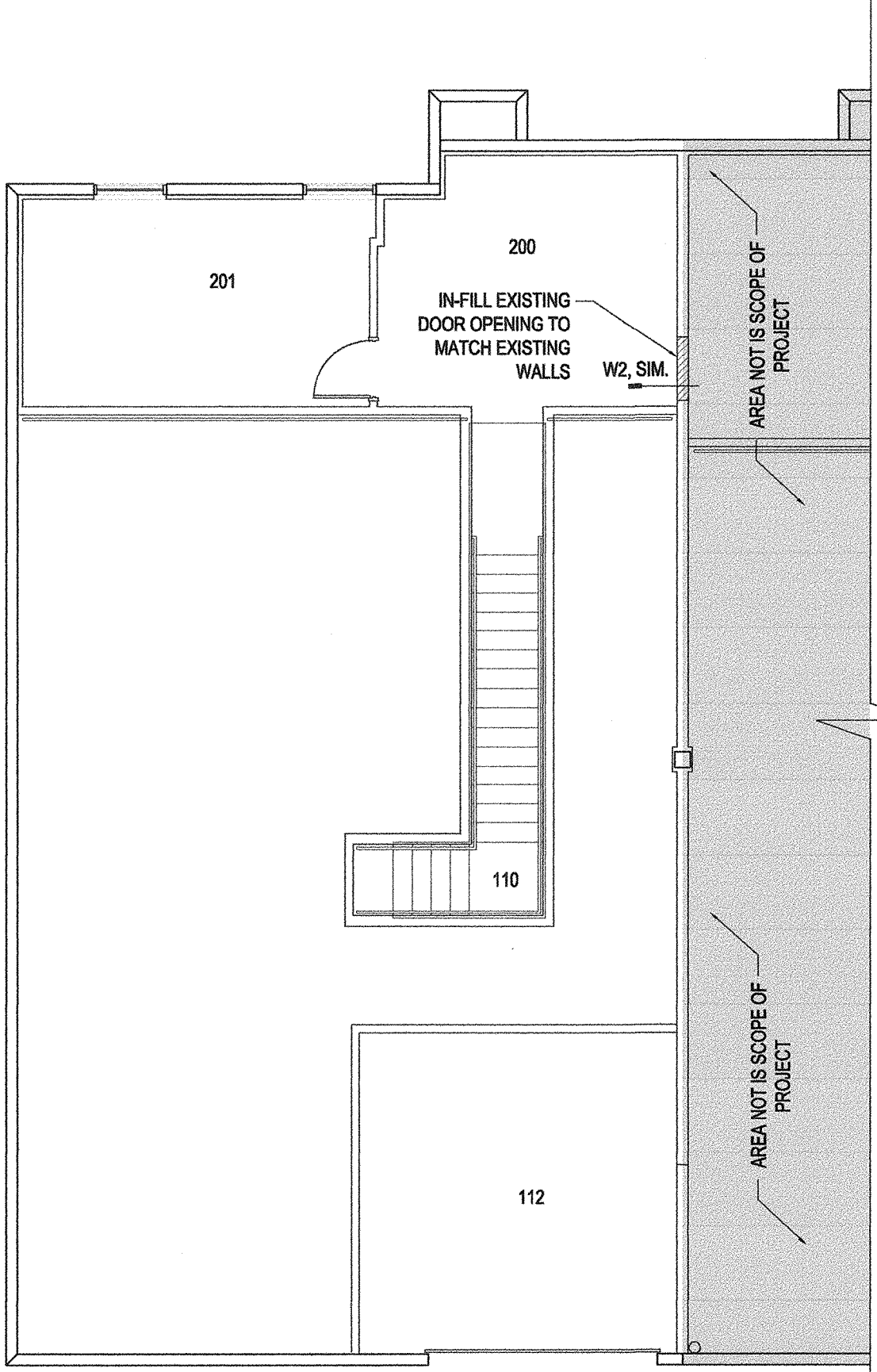
03 CEILING DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"



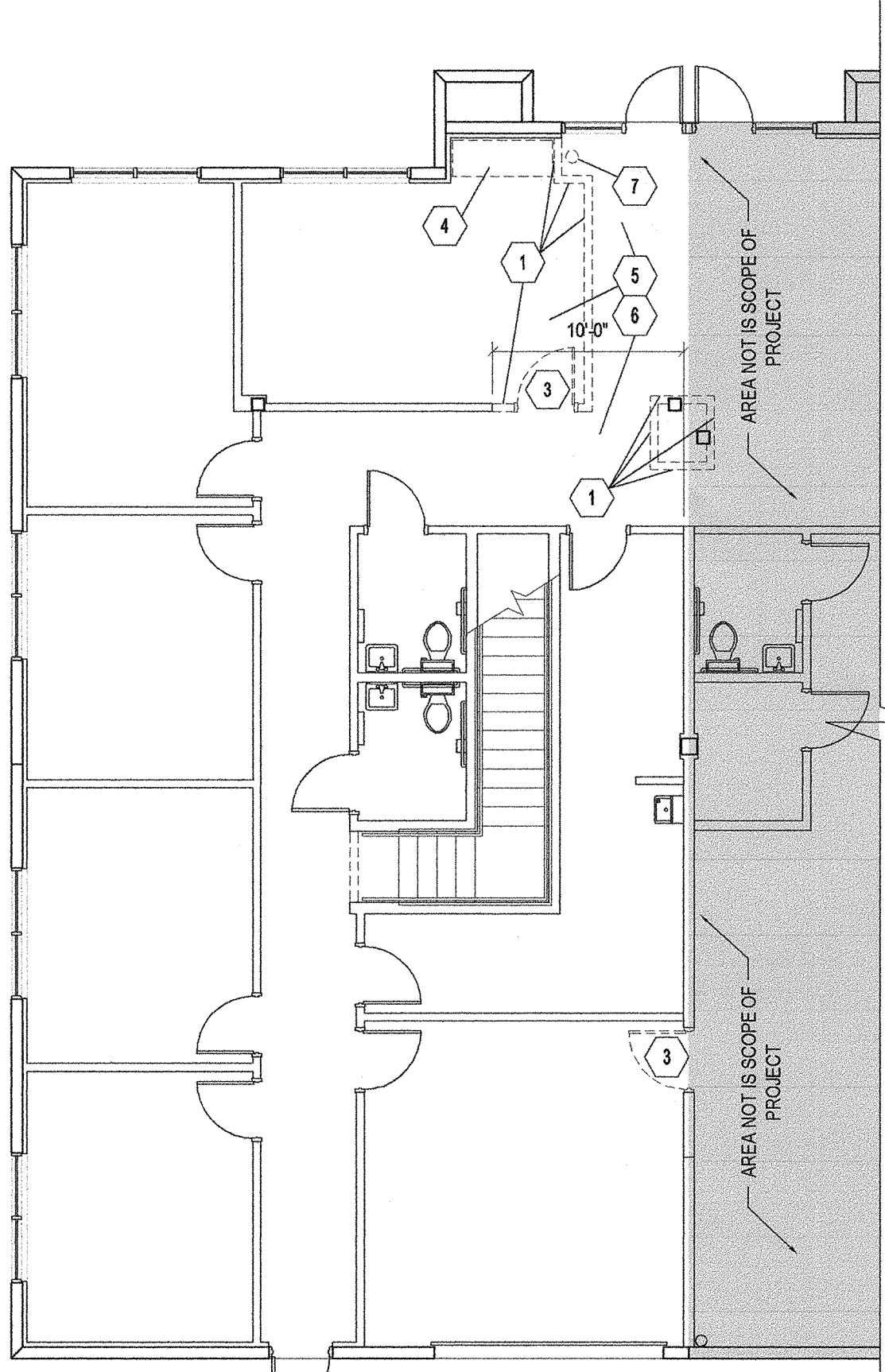
06 PROPOSED CEILING PLAN  
SCALE: 1/8" = 1'-0"



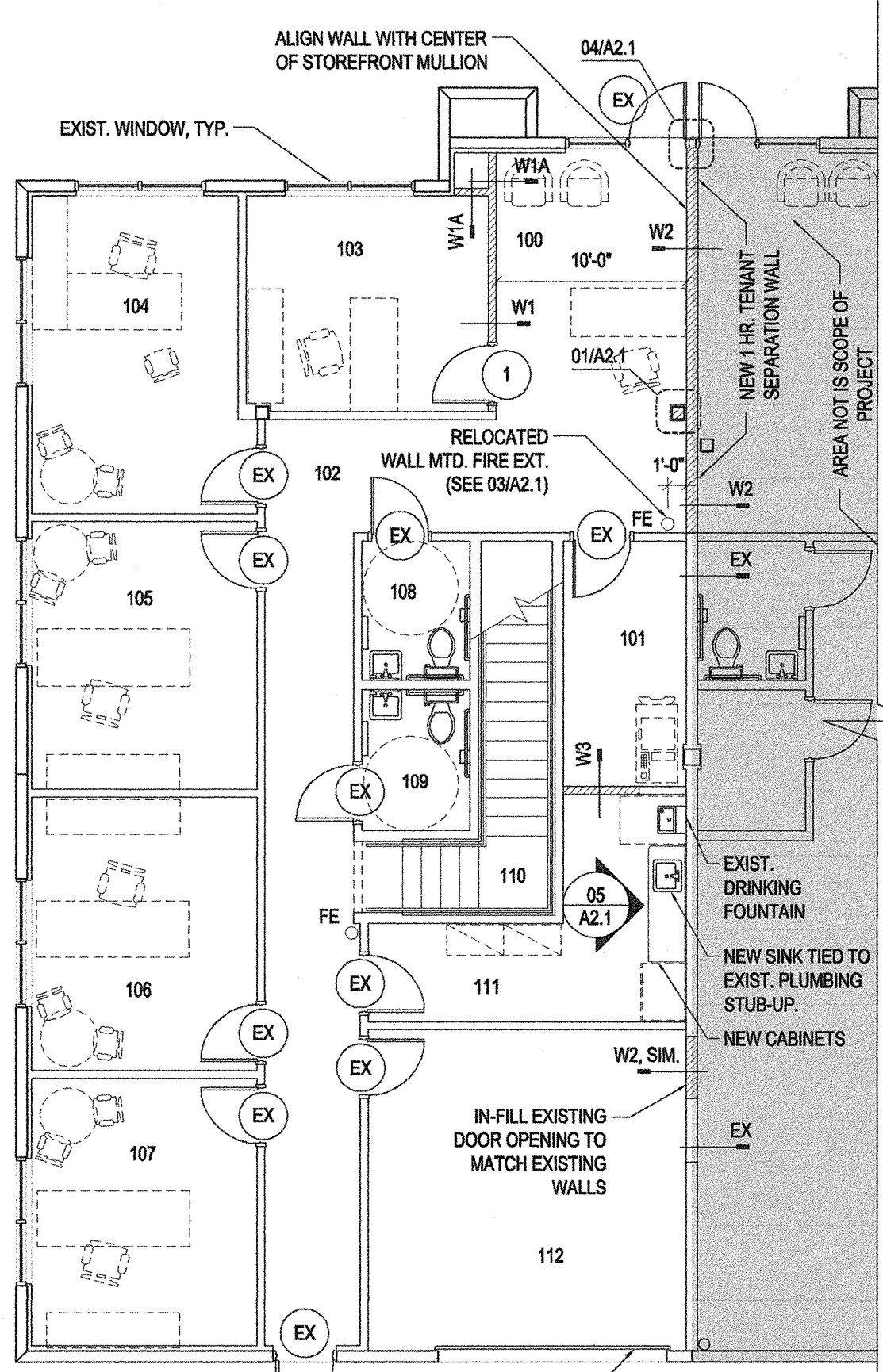
02 MEZZANINE DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"



05 PROPOSED MEZZANINE PLAN  
SCALE: 1/8" = 1'-0"



01 FIRST FLOOR DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"



04 PROPOSED FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

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Tenant Improvement for:  
**Building 3 - Suite 101**  
The Gardens Park of Commerce  
Palm Beach Gardens, Florida

|            |         |
|------------|---------|
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