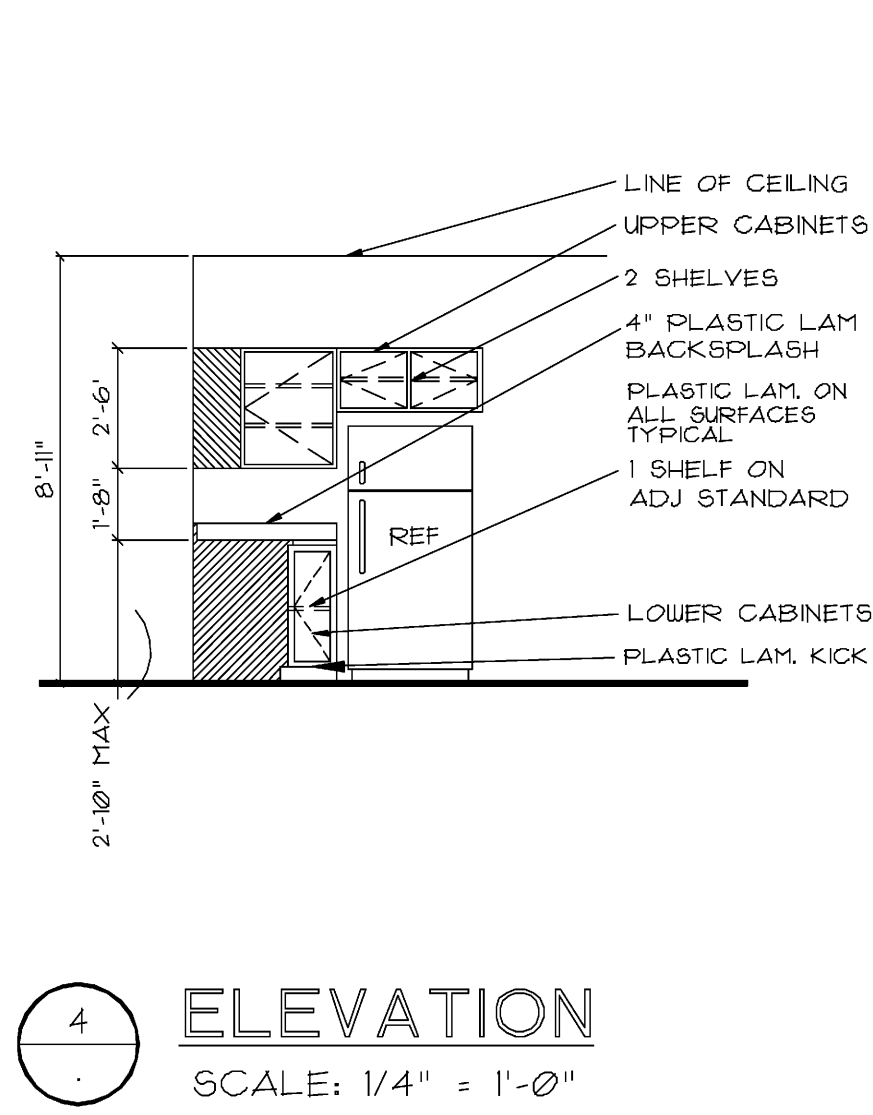
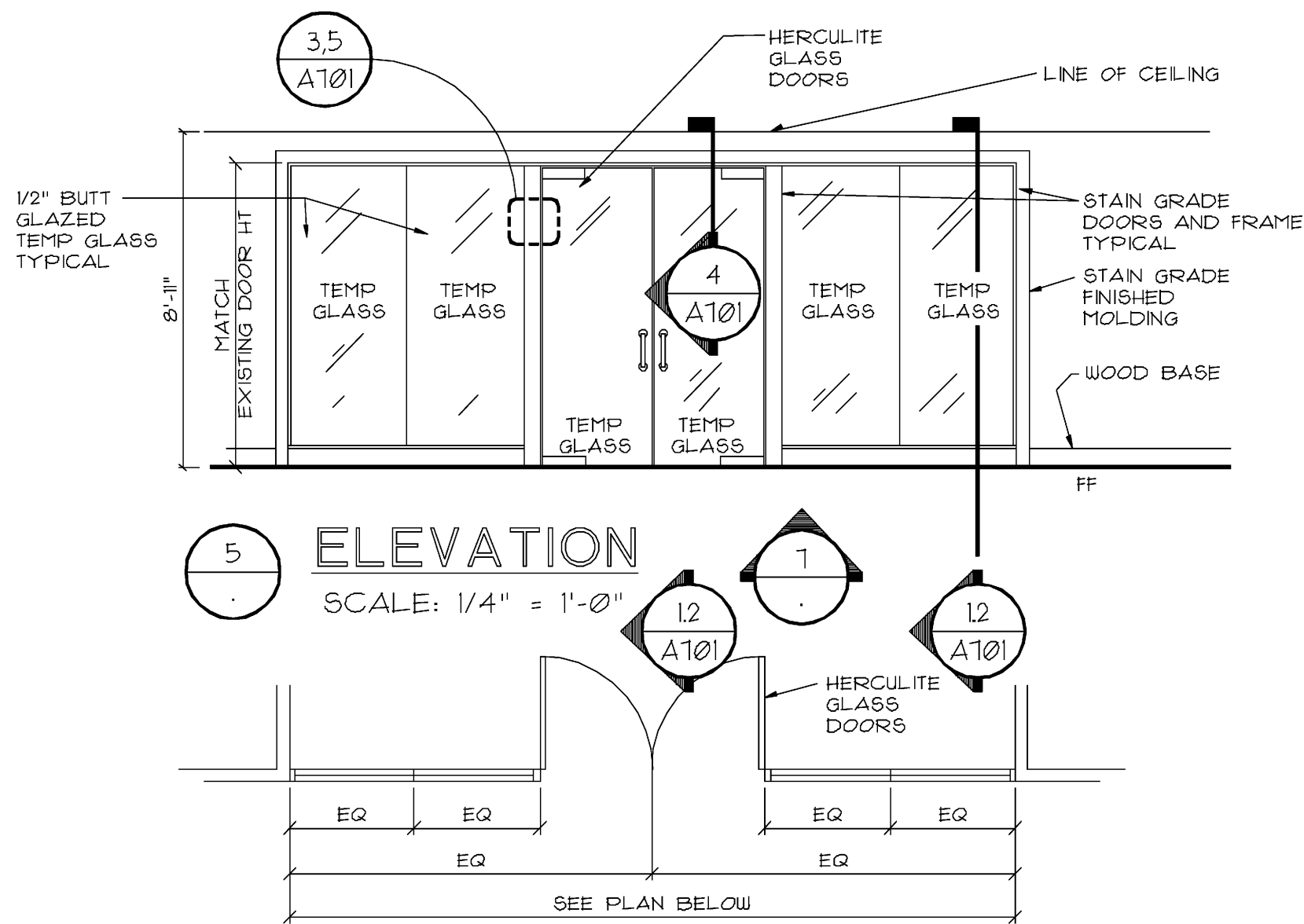


12.3 ELEVATION
SCALE: 1/4" = 1'-0"



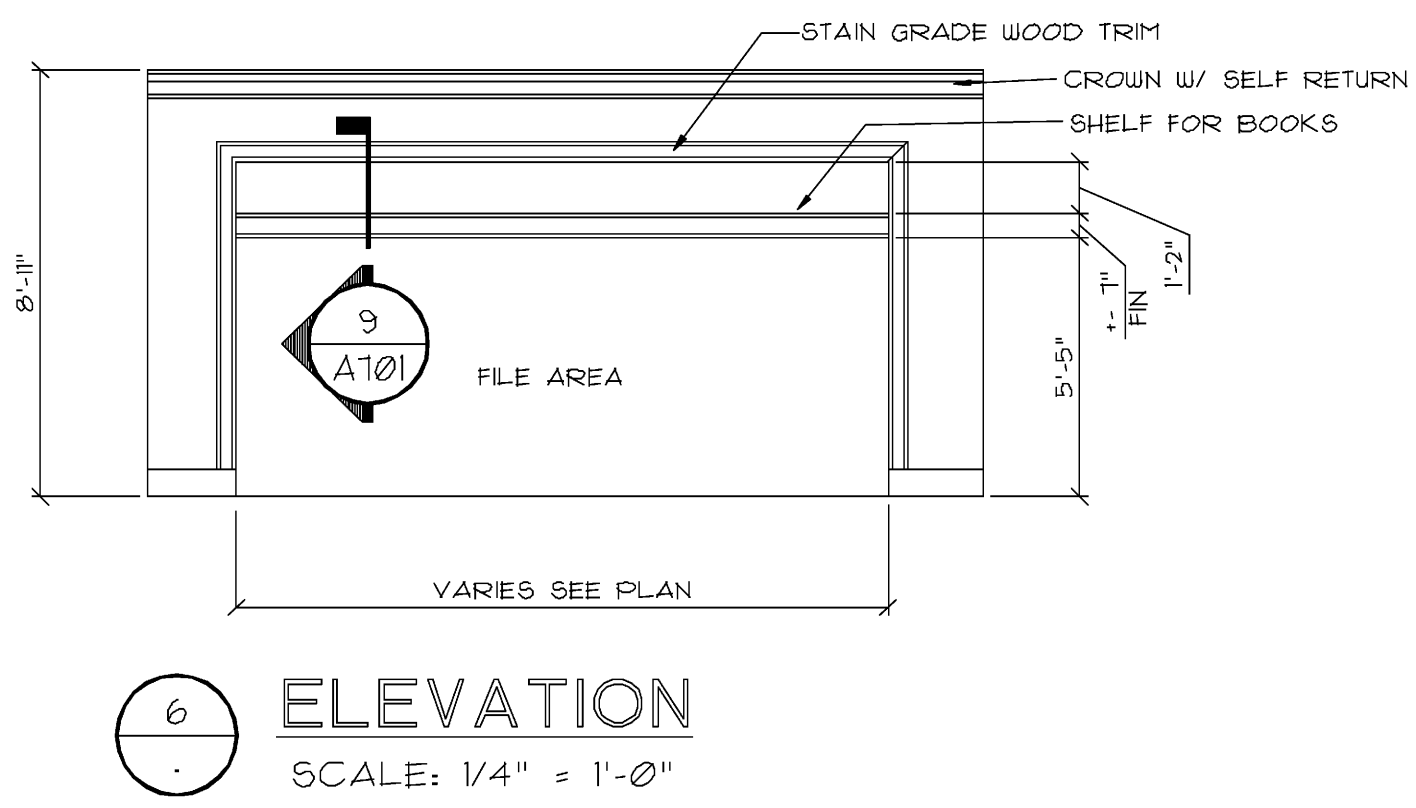
4 ELEVATION
SCALE: 1/4" = 1'-0"



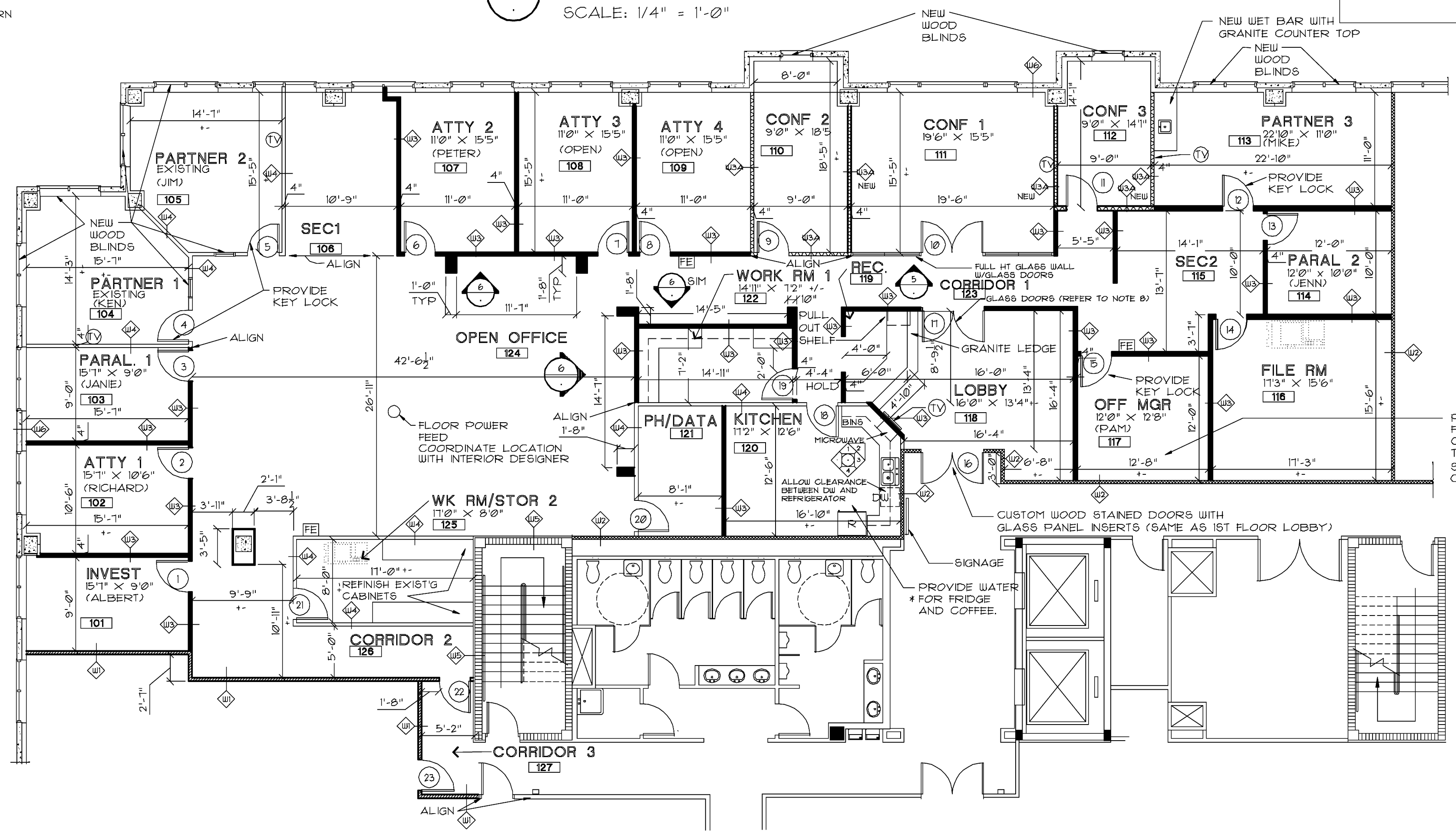
5 ELEVATION
SCALE: 1/4" = 1'-0"

7 ENLARGED PLAN
SCALE: 1/4" = 1'-0"

WALL TYPE DESCRIPTIONS	
	NEW NON BEARING INTERIOR (1 HOUR FIRE RATED) WALL CONSTRUCTION TO BE 5/8" TYPE "X" GYPSUM BOARD ON 3 5/8" 25 GAUGE METAL STUDS 16" O.C WITH INSULATION BLANKET IN WALL. EXTEND WALL TO UNDERSIDE OF FLOOR OR ROOF STRUCTURE ABOVE. DESIGN # U465 4" NOMINAL - 4 1/8" ACTUAL
	EXISTING NON BEARING INTERIOR (1 HOUR FIRE RATED) SAME CONSTRUCTION AS W1
	NEW NON BEARING INTERIOR WALL CONSTRUCTION TO BE 1/2" GYPSUM BOARD ON 3 5/8" 25 GAUGE METAL STUDS 24" O.C WALL TO UNDERSIDE OF CLG 4" NOMINAL - 4 5/8" ACTUAL ** 18 GA STUDS AT 16" O.C. AT BACK OF BOOKCASE WALLS SEE DETAILS
	NEW OR EXISTING NON BEARING INTERIOR WALL CONSTRUCTION TO BE 1/2" GYPSUM BOARD ON 3 5/8" 25 GAUGE METAL STUDS 24" O.C WALL TO UNDERSIDE OF CLG WITH SOUND ATTENUATION INSULATION PER PLAN PROVIDE A CONTINUOUS BLANKET OF INSULATION ON TOP OF EACH INSULATED WALL IN CEILING PLENUM IF WALLS NOT TO DECK WHERE WALL IS EXISTING STRIP DRYWALL ON ONE SIDE FOR INSULATION 4" NOMINAL - 4 5/8" ACTUAL
	EXISTING NON BEARING INTERIOR 4" NOMINAL - 4 5/8" ACTUAL
	EXISTING EXTERIOR BEARING WALLS OR CORE WALL
	EXISTING EXTERIOR BEARING WALLS

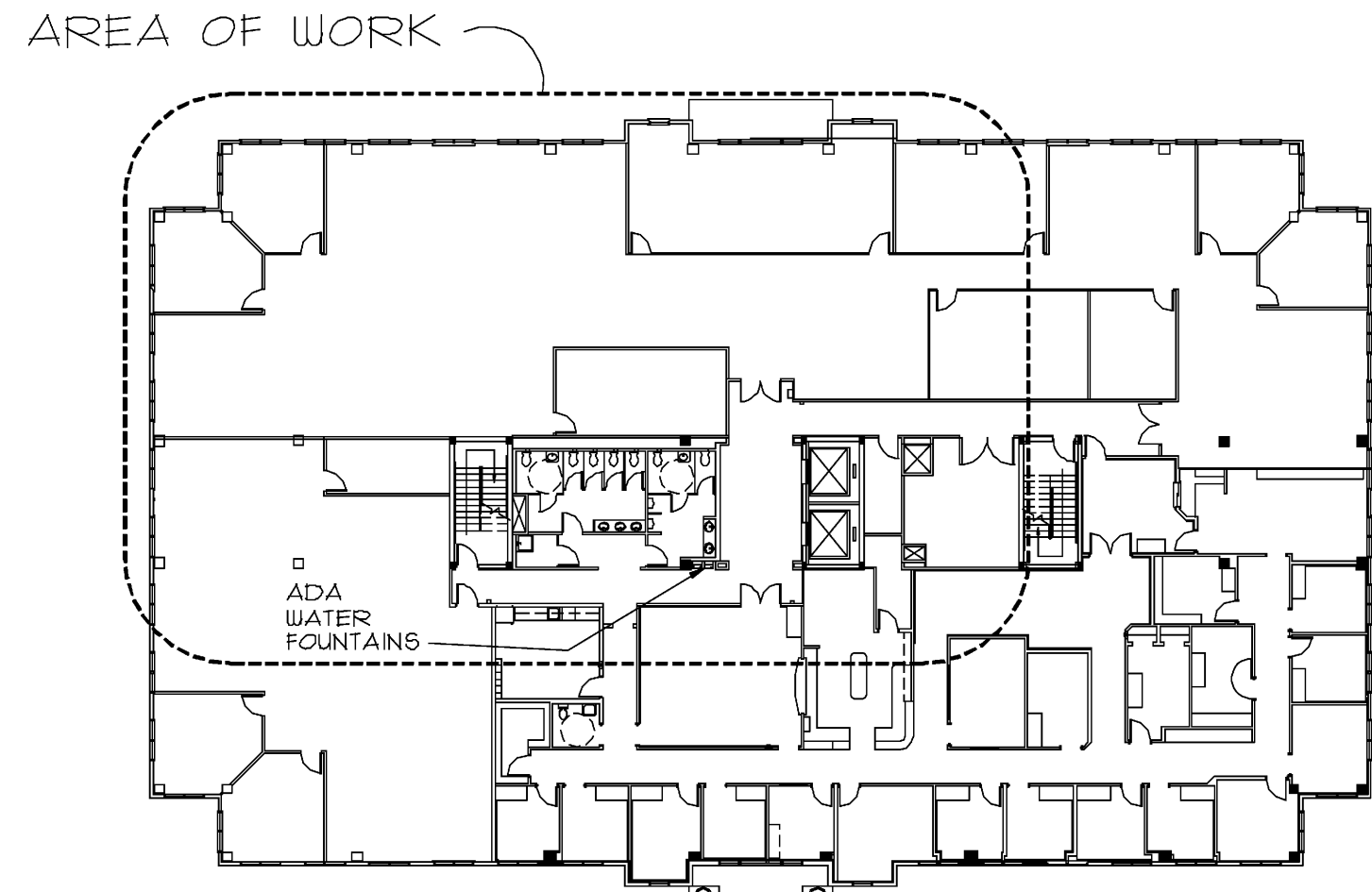


6 ELEVATION
SCALE: 1/4" = 1'-0"

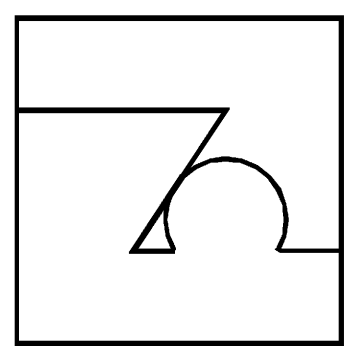


FLOOR PLAN
SCALE: 1/8" = 1'-0"

- NOTES:
- GLASS DOORS ARE NOT BLDG STD.
 - ALL FINISHES SHALL BE BLDG STANDARD UNLESS OTHERWISE NOTED.
 - PROVIDE WOOD BLINDS IN (3) PARTNER OFFICES AND (2) SMALL CONF. RMS.
 - STAINED WID WAINSCOT IN (3) PARTNER OFFICES, LG CONF. RM, AND LOBBY.
 - TRAVERTINE (MARBLE) FLOORING IN LOBBY, (2) SMALL CONF. ROOMS, AND LARGE CONF. RM WITH A CARPET IN-LAY.
 - LG. CONF. RM SHALL HAVE A COVE CEILING WITH CROWN MOLDING.
 - INSULATE ALL WALLS IN THE (3) CONF. ROOMS.
 - SEE PROP. MGR FOR EXISTING DOORS WHICH SHALL BE CUT, SEE SKETCH.
 - INSTALL FIRE RATED WOOD BACKING IN WALLS AT TV LOCATIONS CABINETS OR ANY OTHER AREAS WHERE WALL MOUNTED ITEMS ARE LOCATED, INSTALL PER MANUF RECOMMENDATIONS
 - LOCATION FOR CATV AND 110V OUTLET AND BRACKET FOR WALL MOUNTED LCD TV. OUTLETS AT 10" AFF OR VERIFY WITH LD/TENANT
- FE ADA FIRE EXTINGUISHER



KEY PLAN
NTS



DATE: 10-18-10

DRAWN: TA

CHECKED:

REVISIONS:

TROY AMMONS ARCHITECT
1907 NE 4TH ST. #1, DEERFIELD BEACH, FL. 33441
PHONE: 954-480-6191 AR # 11849

MUSCARA & ASSOCIATES - INTERIOR DESIGN
11402 DOLPHIN LANE N. PALM BEACH, FL. 33408
PHONE: 954-481-3700

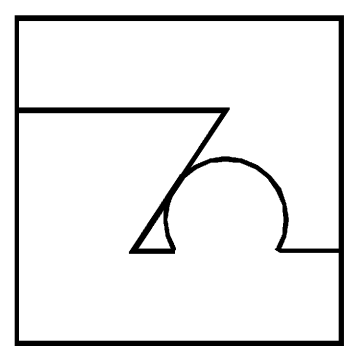
HICKS, MOTTO, EHRLICH
CHASE BLDG - 3RD FLOOR SUITE 300
3999 PGA Blvd Palm Beach Gardens 33410

ISSUE FOR PERMIT

SHEET NO.
A101
OF 5

COPYRIGHT 2010 TROY AMMONS, ARCHITECT

LIGHTING LEGEND	
	2'x2' SUSPENDED LIGHT GRID (WHITE) W/ UPGRADED 2'x2' CEILING TILE SEE 'D' DRAWINGS
	2'x4' FLUORESCENT PARABOLIC LIGHT FIXTURE MATCH EXISTING COLUMBIA P4-243G-49363-3-3E88-211
	2'x2' FLUORESCENT LIGHT FIXTURE NEW OR RELOCATED
	LIGHTED FIRE EXIT SIGN
	JUNCTION BOX
	SURFACE MOUNTED INCANDESCENT LIGHT FIXTURE
	RECESSED FLUORESCENT LIGHT FIXTURE
	RECESSED FLUORESCENT LIGHT FIXTURE WALL WASHER
	BATTERY PACK EGRESS EMERGENCY LIGHT
	GYPSUM WALLBOARD CEILING @ INTERIOR ON METAL STUDS AT 16" O.C. SUSPENDED FROM DECK ABOVE
	AC DIFFUSER METALARE 5600 MATCH EXISTING
	AC PLENUM RETURN ALUMINUM PERFORATED MATCH EXISTING
	EXISTING SPRINKLER HEAD
	FIRE ALARM DEVICE
	FIRE ALARM PULL STATION
	CAM CAMERA TYPE AND SPECS PROVIDED BY TENANT
	R - RELOCATED



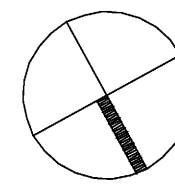
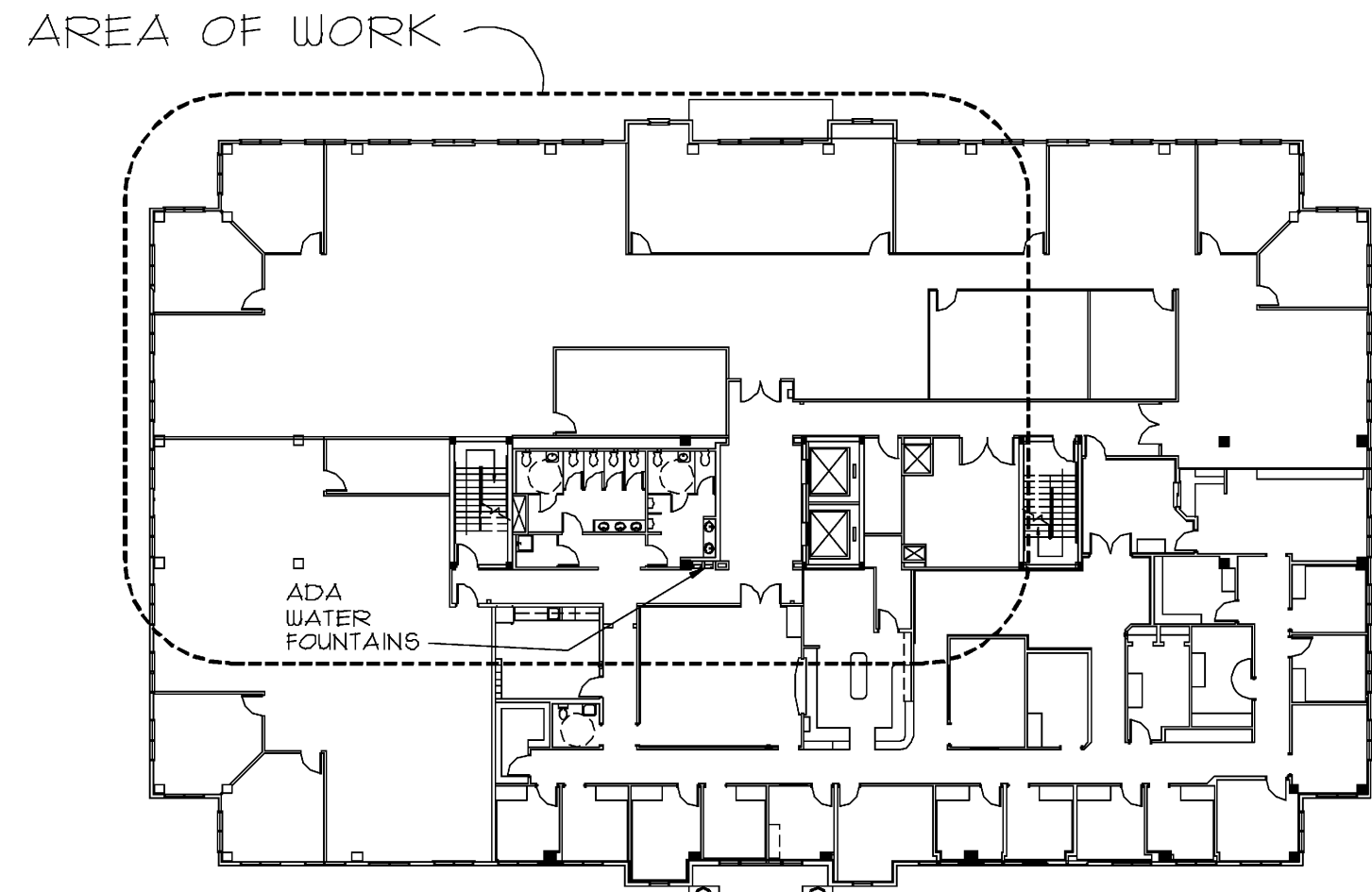
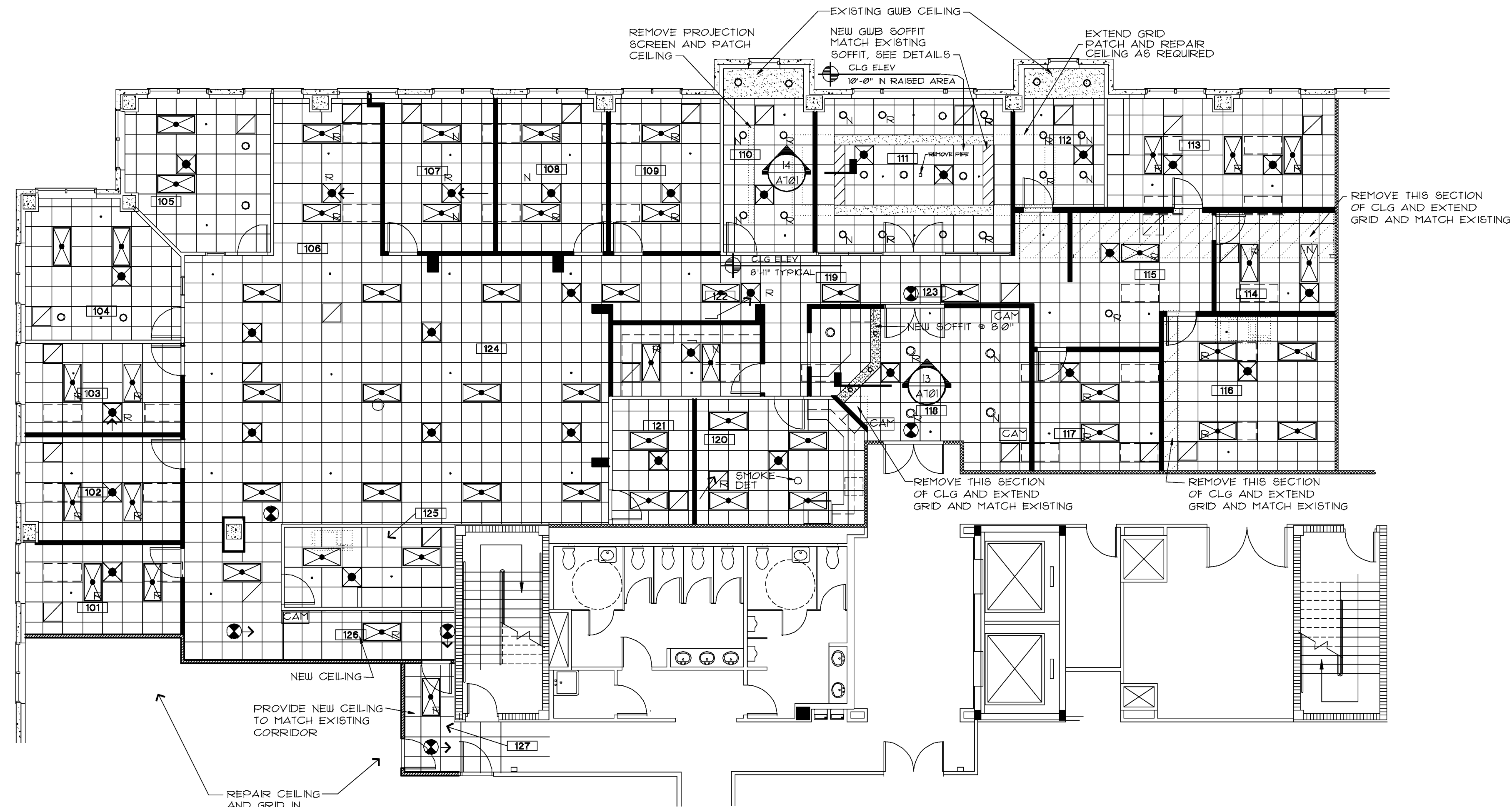
DATE: 10-18-10
 DRAWN: TA
 CHECKED:
 REVISIONS:

TROY AMMONS ARCHITECT
 1907 NE 4TH ST. #1, DEERFIELD BEACH, FL. 33441
 PHONE: 954-480-6191 AR # 11849
 MUSCAIRA & ASSOCIATES - INTERIOR DESIGN
 11402 DOLPHIN LANE N. PALM BEACH, FL. 33408
 PHONE: 954-481-3700

HICKS, MOTTO, EHRLICH
 CHASE BLDG - 3RD FLOOR SUITE 300
 3999 PGA Blvd. Palm Beach Gardens 33410

ISSUE
 FOR
 PERMIT

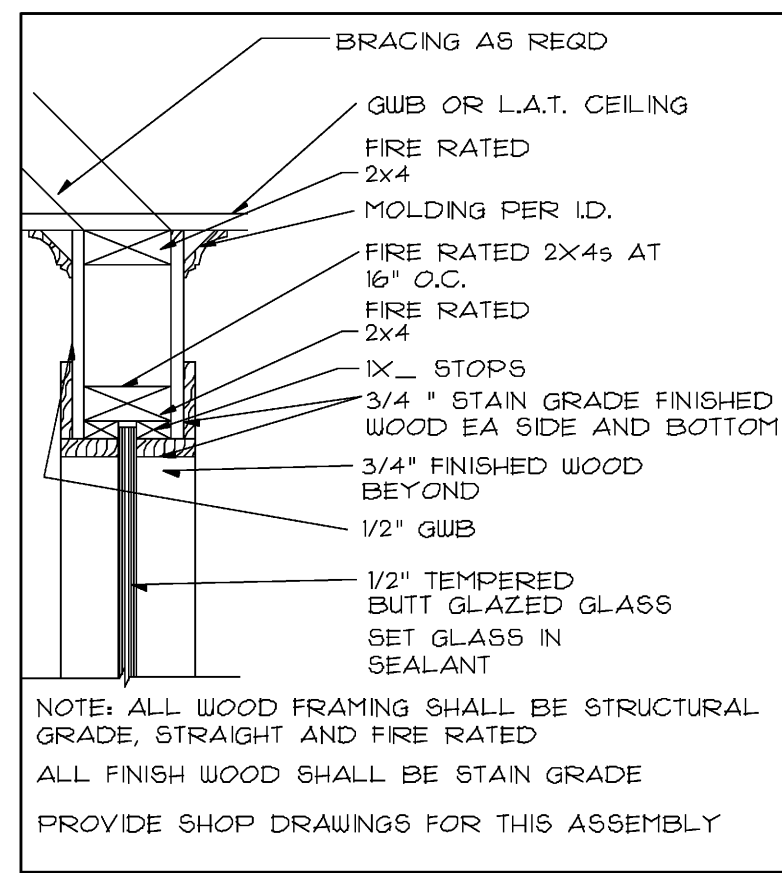
SHEET NO.
A102
 OF 5



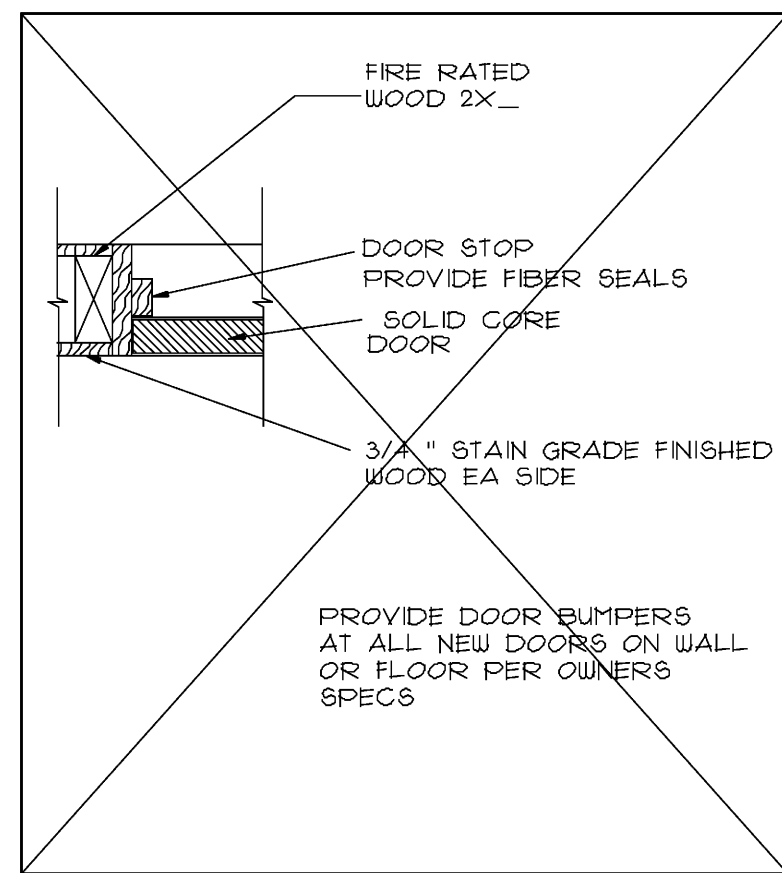
REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"
 NOTE: CONTRACTOR SHALL PROVIDE SPRINKLER DRAWINGS FOR PERMIT.
 SEE ENGINEERING DRAWINGS FOR ACTUAL CEILING FIXTURES.
 SEE ENGINEERING DRAWINGS FOR EMERGENCY LIGHTING
 AND FIRE ALARM DEVICES
 NOTE:
 1. COORDINATE WITH THE PROPERTY MAINTENANCE
 FOR FIXTURES ON SITE TO BE USED.

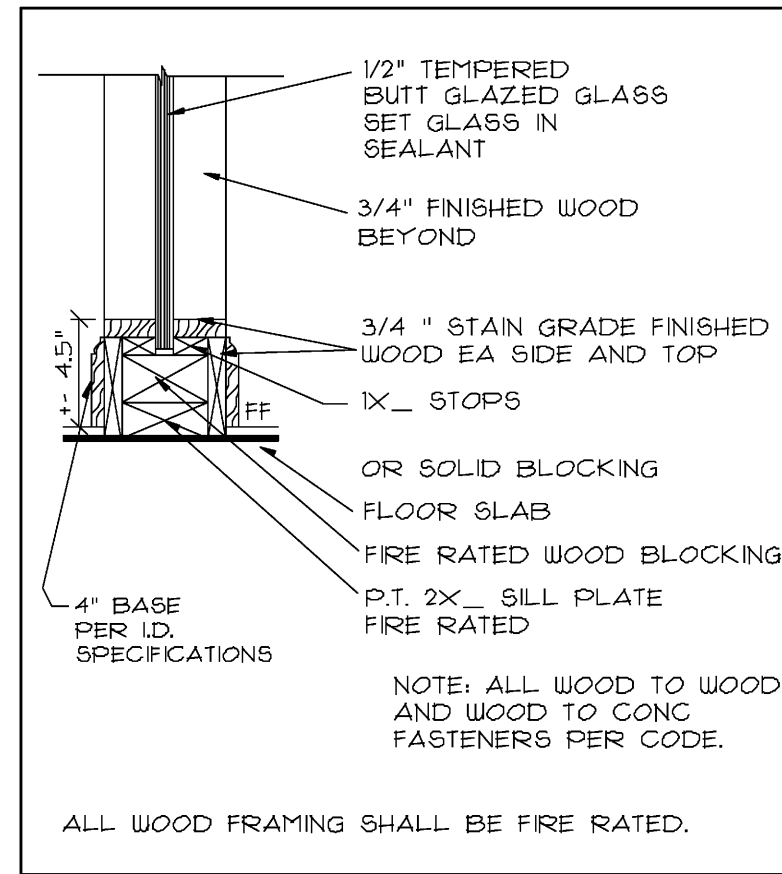
KEY PLAN
 NTG



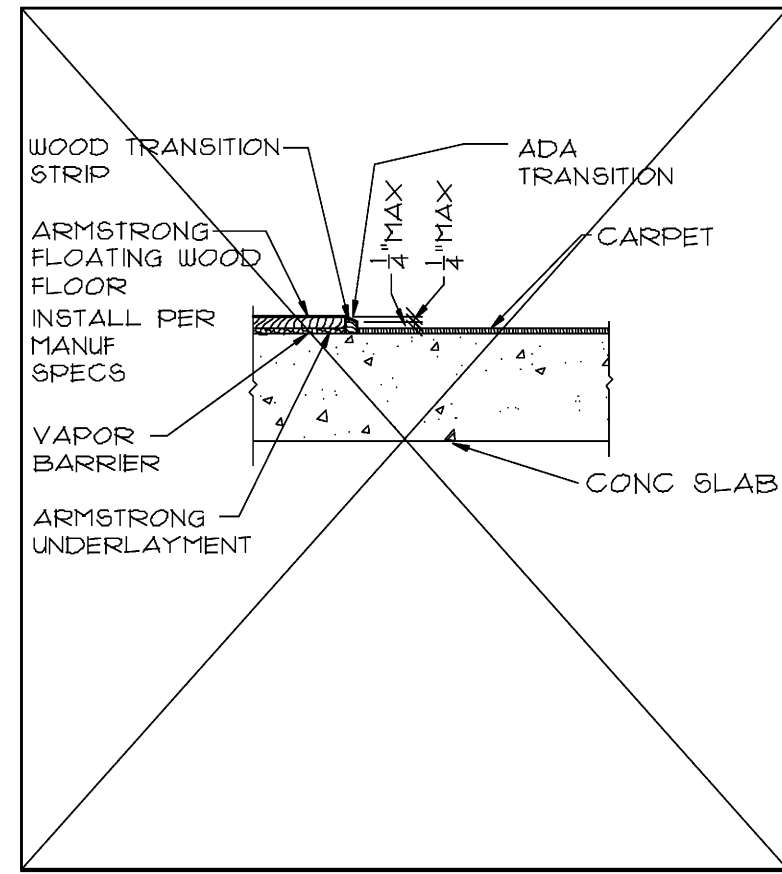
1 HEAD DETAIL
1 1/2"=1'-0"



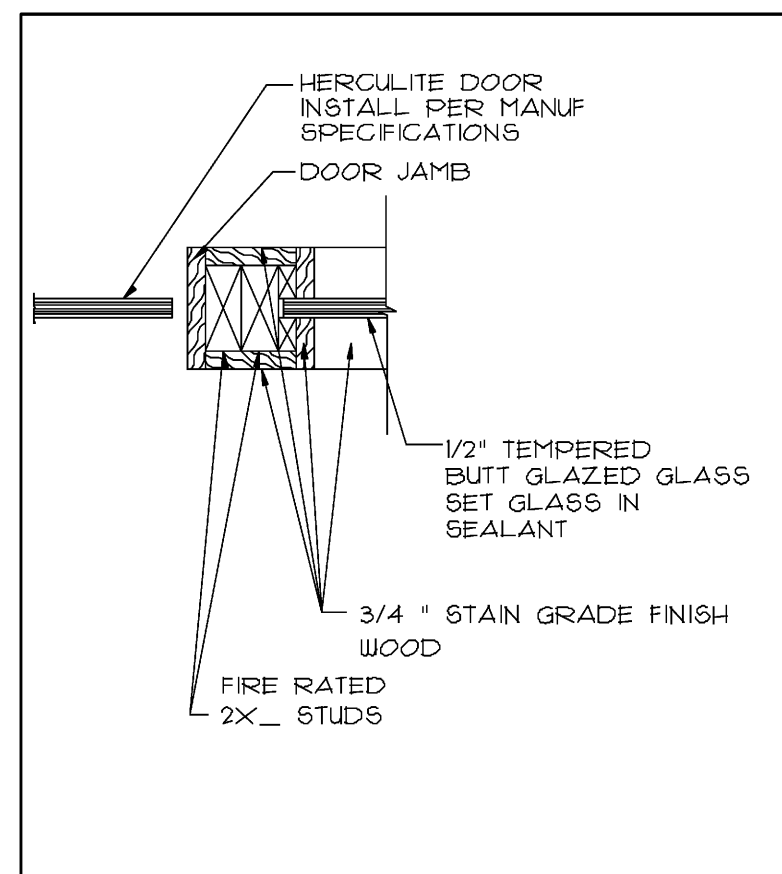
5 JAMB DETAIL
1 1/2"=1'-0"



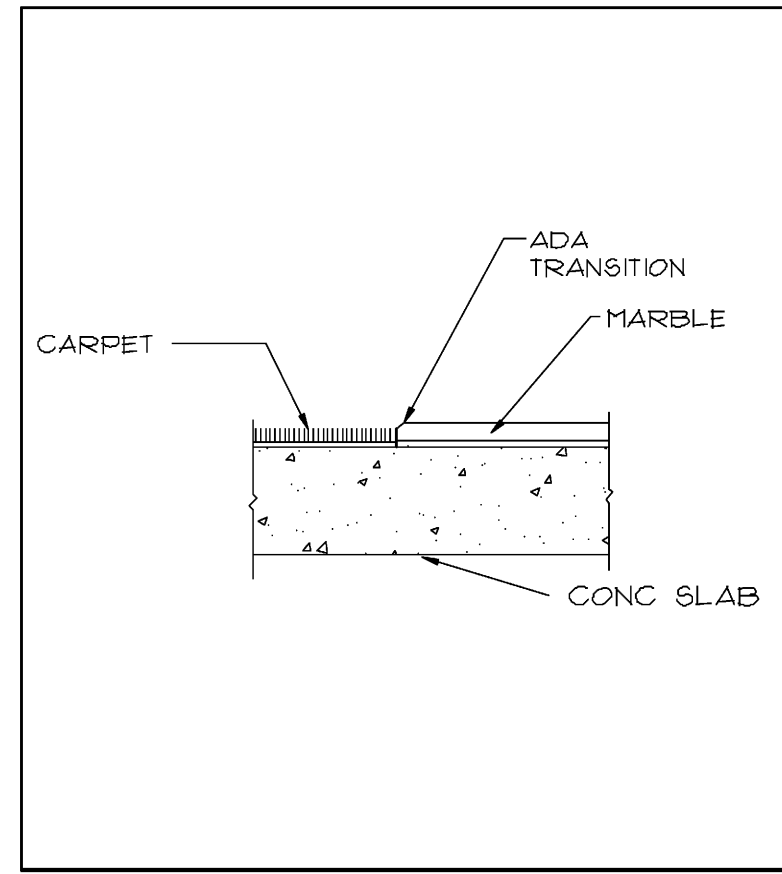
2 SILL DETAIL
1 1/2"=1'-0"



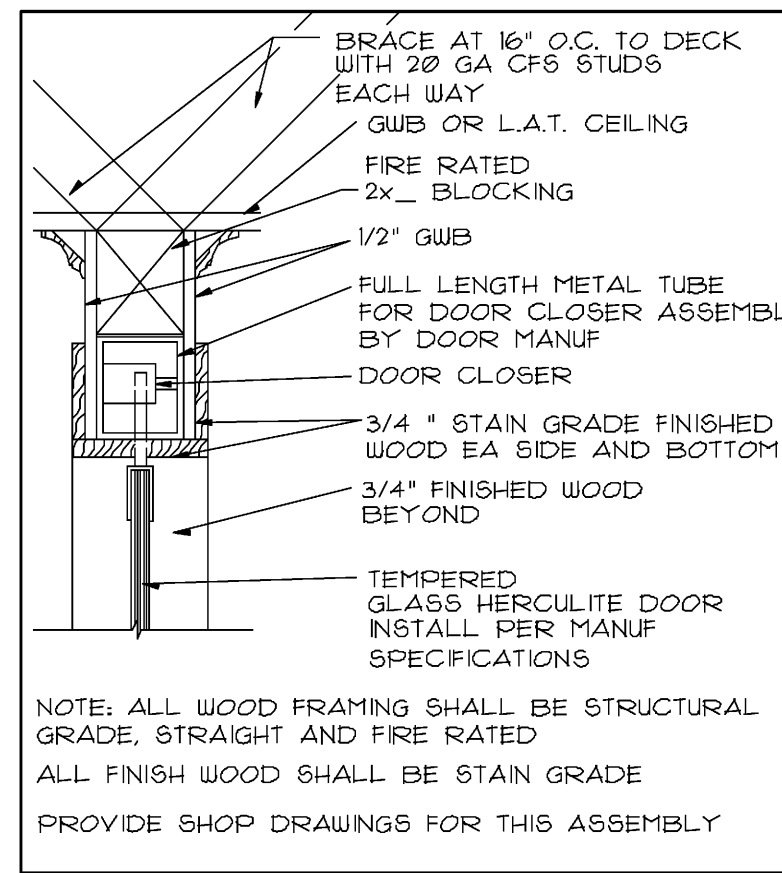
6 CPT/WOOD TRANSITION
1 1/2"=1'-0"



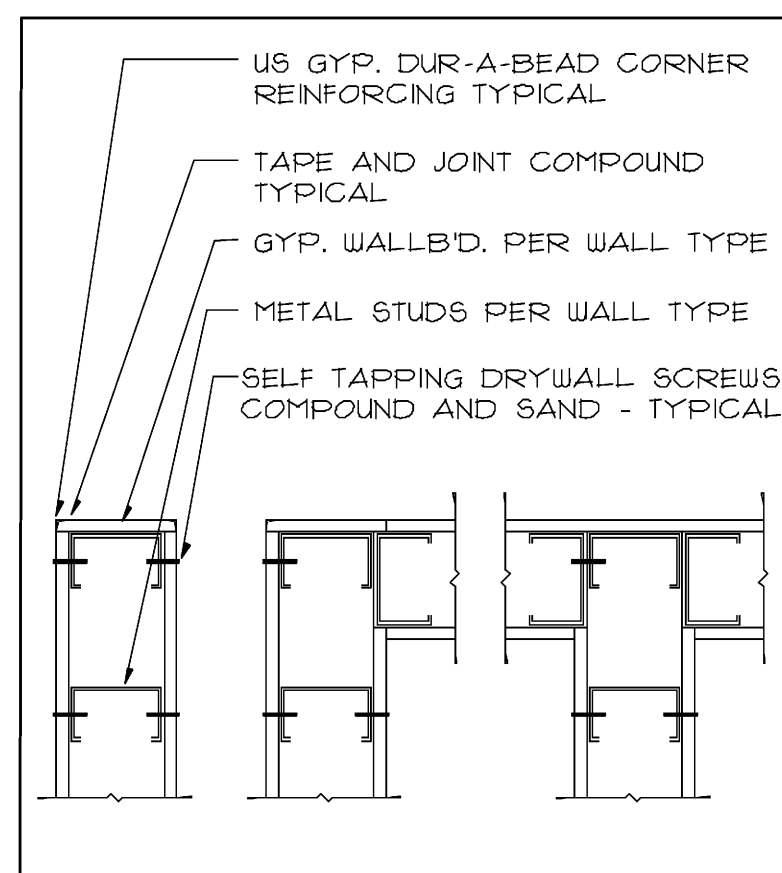
3 JAMB DETAIL
1 1/2"=1'-0"



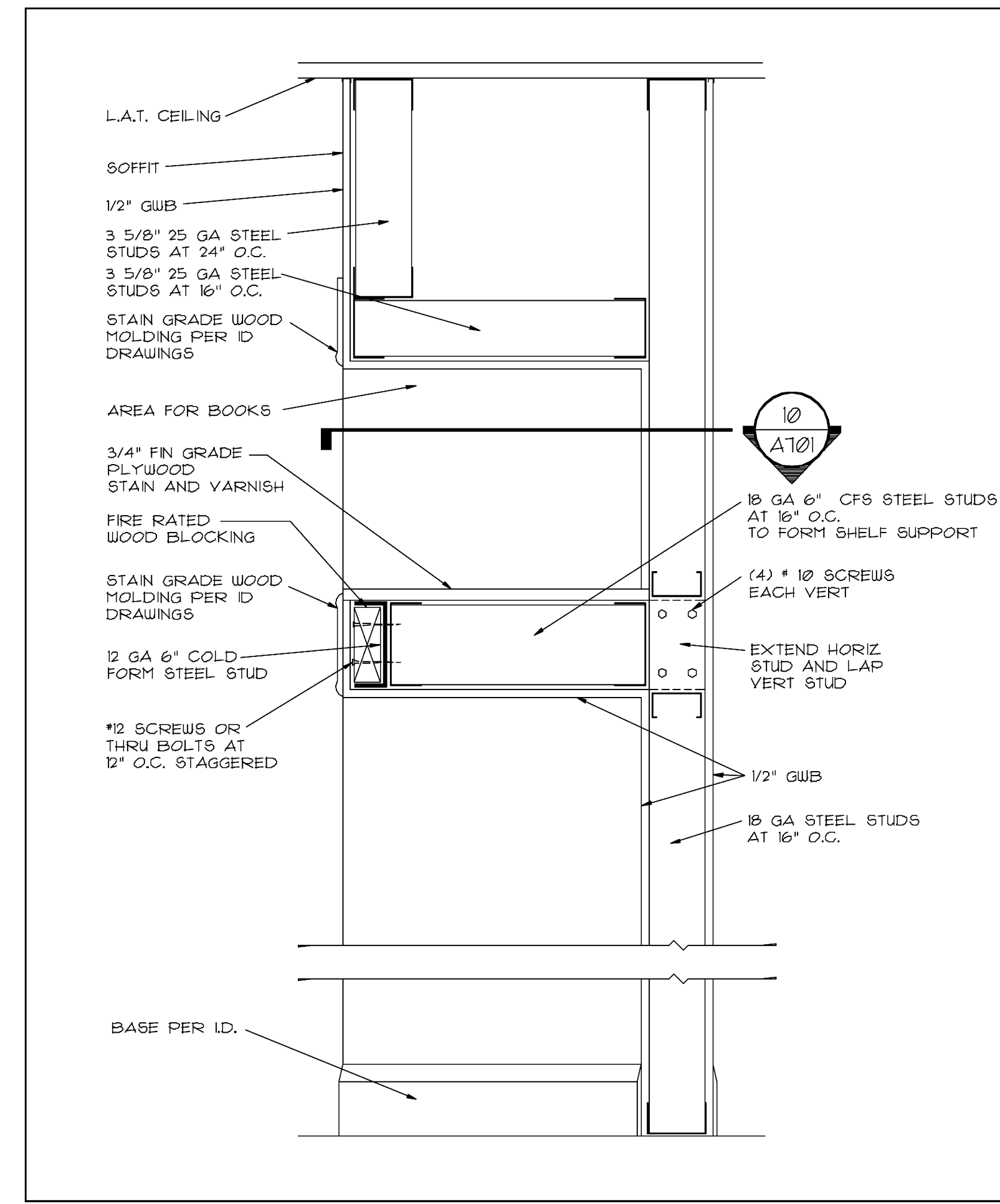
7 WOOD/MARBLE TRANSITION
1 1/2"=1'-0"



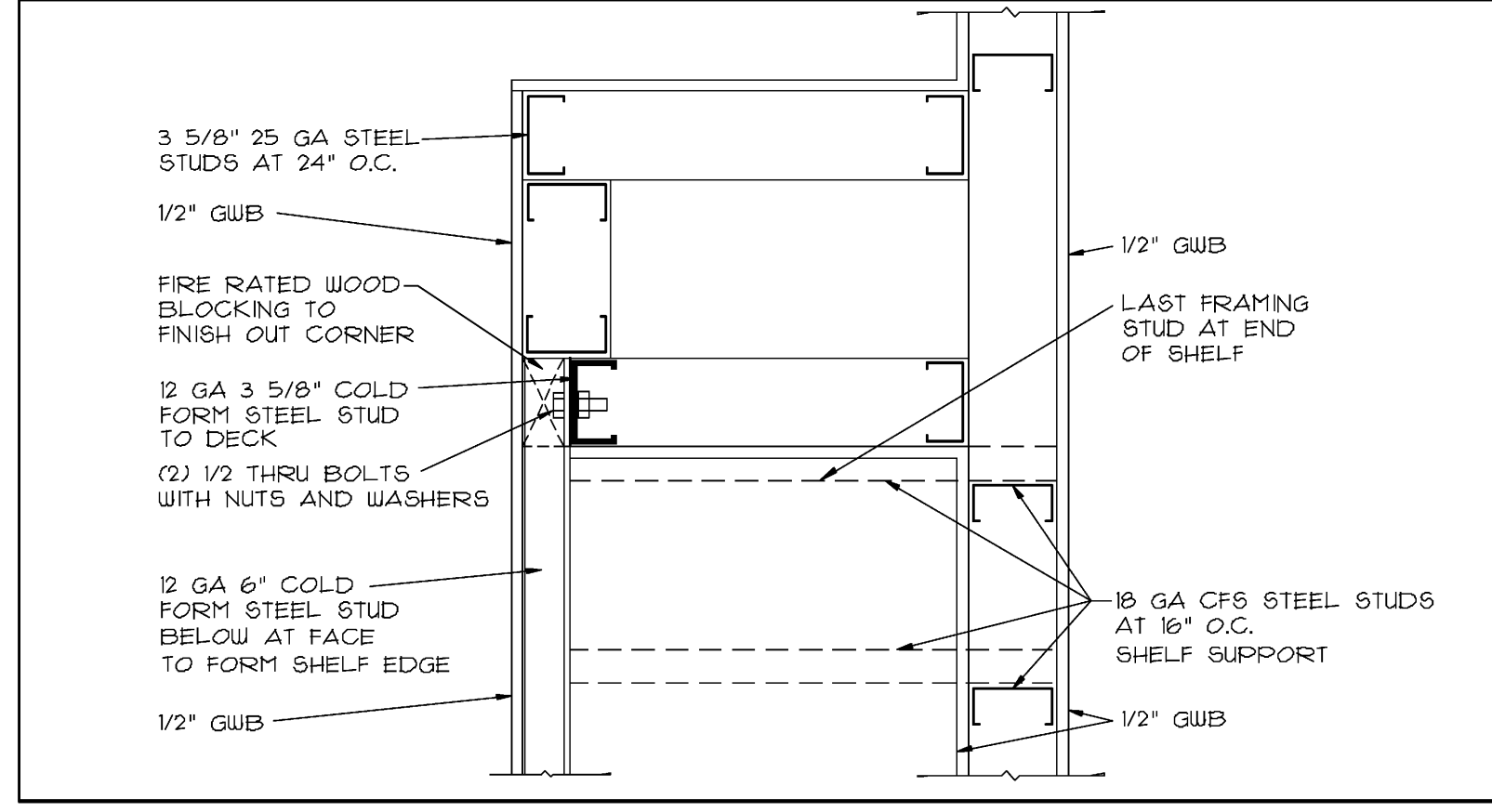
4 HEAD DETAIL
1 1/2"=1'-0"



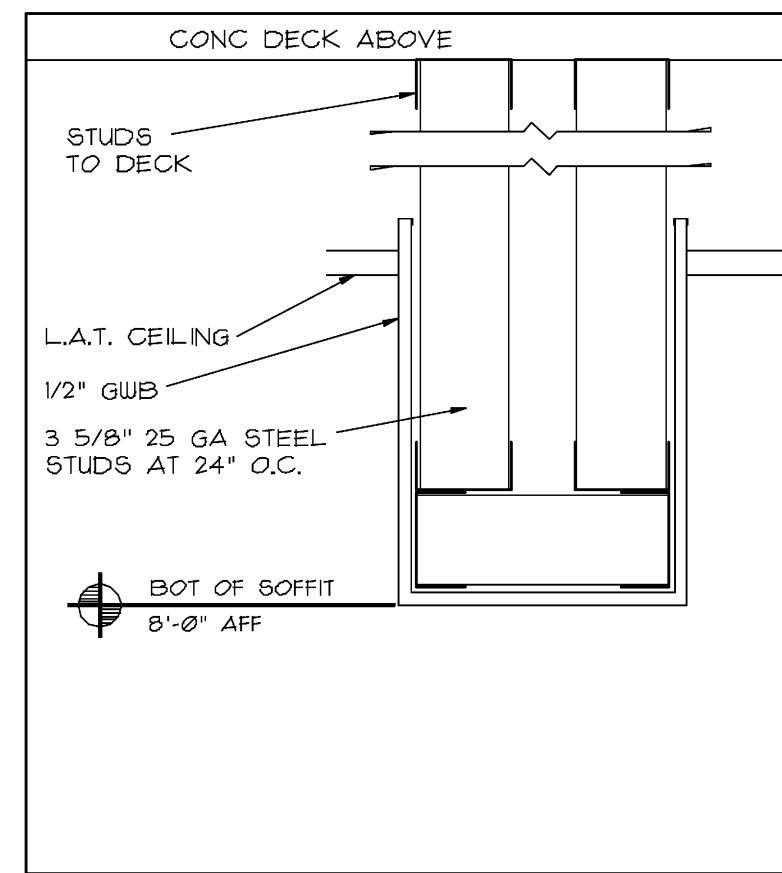
8 G.W.B. WALL DET
1 1/2"=1'-0"



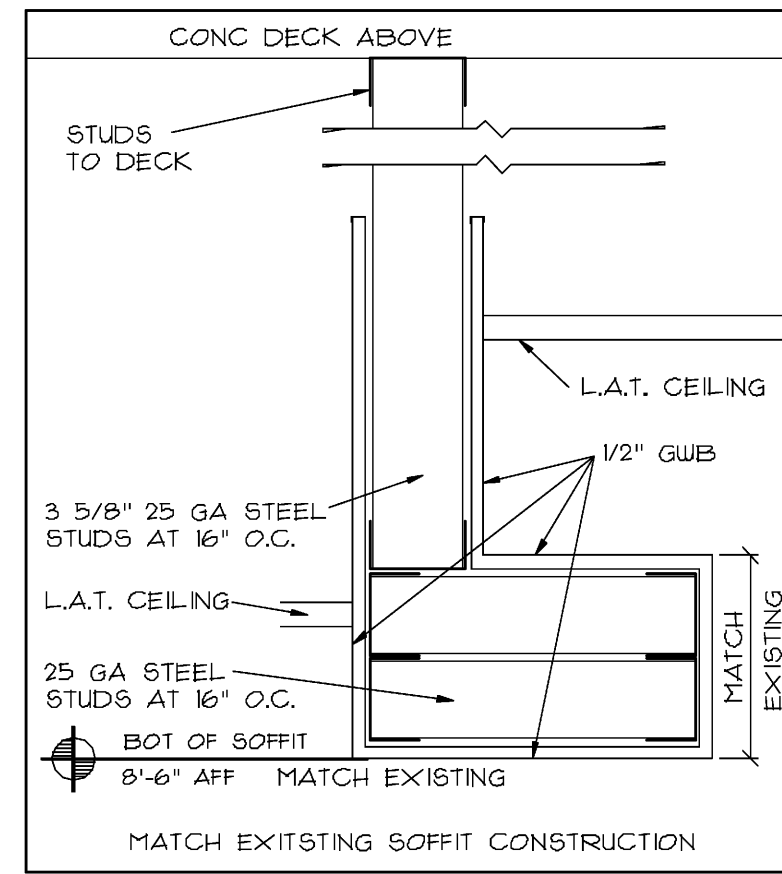
9 SECTION THRU BOOKSHELF
1 1/2"=1'-0"



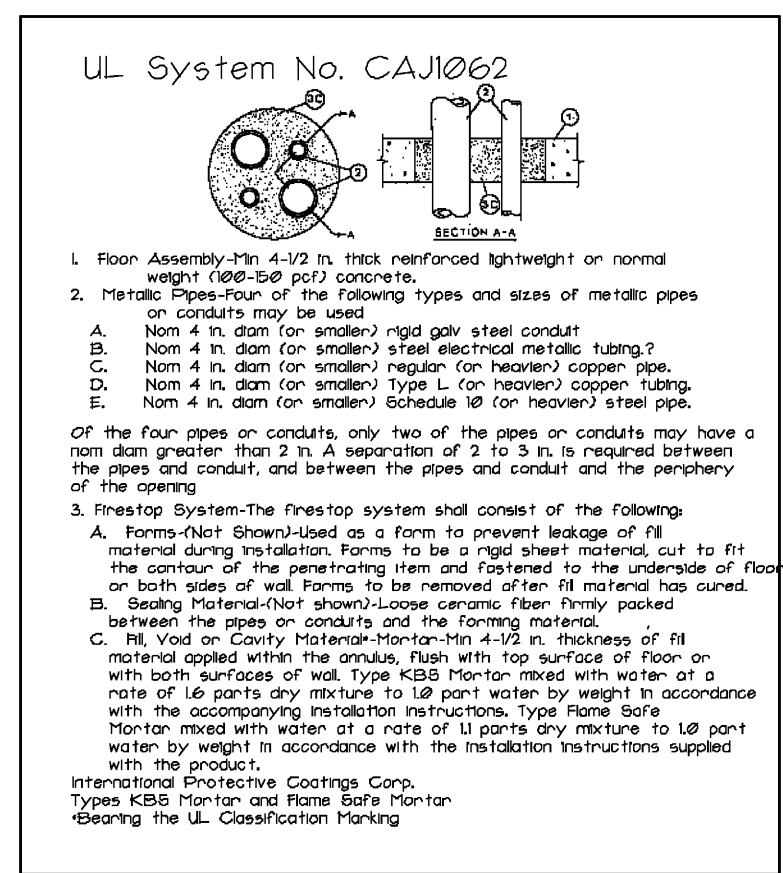
10 PLAN SECTION
1 1/2"=1'-0"



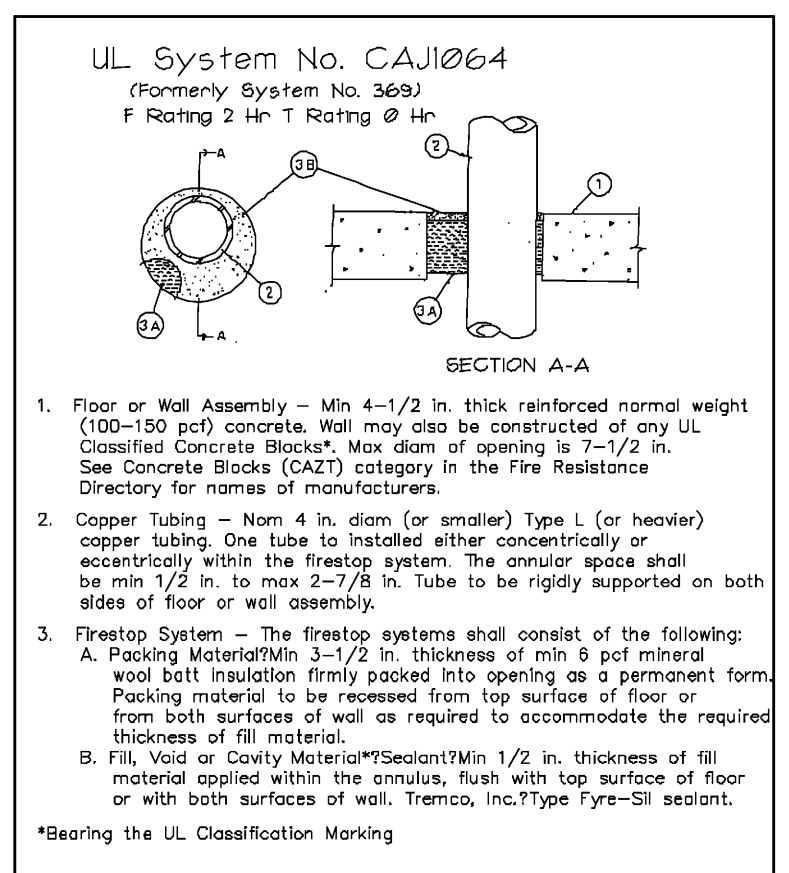
13 SOFFIT DETAIL
1 1/2"=1'-0"



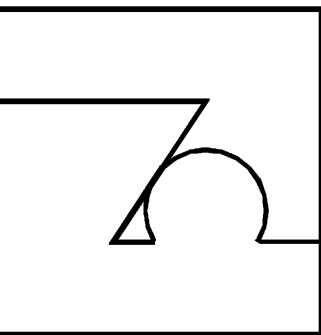
14 SOFFIT DETAIL
1 1/2"=1'-0"



11 FIRE STOP
NTS



12 FIRE STOP
NTS



DATE: 10-18-10
DRAWN: TA
CHECKED:
REVISIONS:

TROY AMMONS ARCHITECT
1907 NE 4TH ST. #1, DEERFIELD BEACH, FL. 33441
PHONE: 954-480-6191 AR # 11849
MUSCARA & ASSOCIATES - INTERIOR DESIGN
11402 DOLPHIN LANE N. PALM BEACH, FL. 33408
PHONE: 954-481-3700

HICKS, MOTTO, EHRLICH
CHASE BLDG - 3RD FLOOR SUITE 300
3999 PGA Blvd/Palm Beach Gardens 33410

ISSUE
FOR
PERMIT

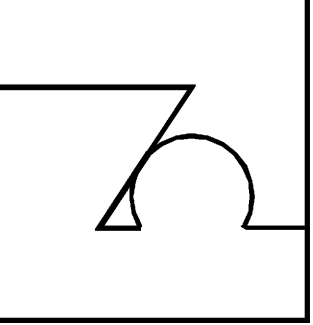
SHEET NO.
A701
OF 5

DEMOLITION LEGEND

- EXISTING PARTITIONS TO REMAIN
- EXISTING WALLS AND HEADERS TO BE REMOVED
- - - - - EXISTING DOORS TO BE REMOVED

NOTE: REMOVE ALL 110V OUTLETS, CUBICAL POWER AND DATA FEEDS, NORMAL TELEPHONE AND NORMAL DATA OUTLETS NOT SHOWN ON THE POWER PLAN. AT WALLS COVER WITH BLANK PLATE OR REMOVE BOX AND REPAIR WITH GWB PER OWNERS AND OR TENANTS REQUEST.

AT FLOORS REMOVE ALL POWER/DATA FEED BOXES AND PATCH HOLE WITH EPOXY GROUT. PER CODE

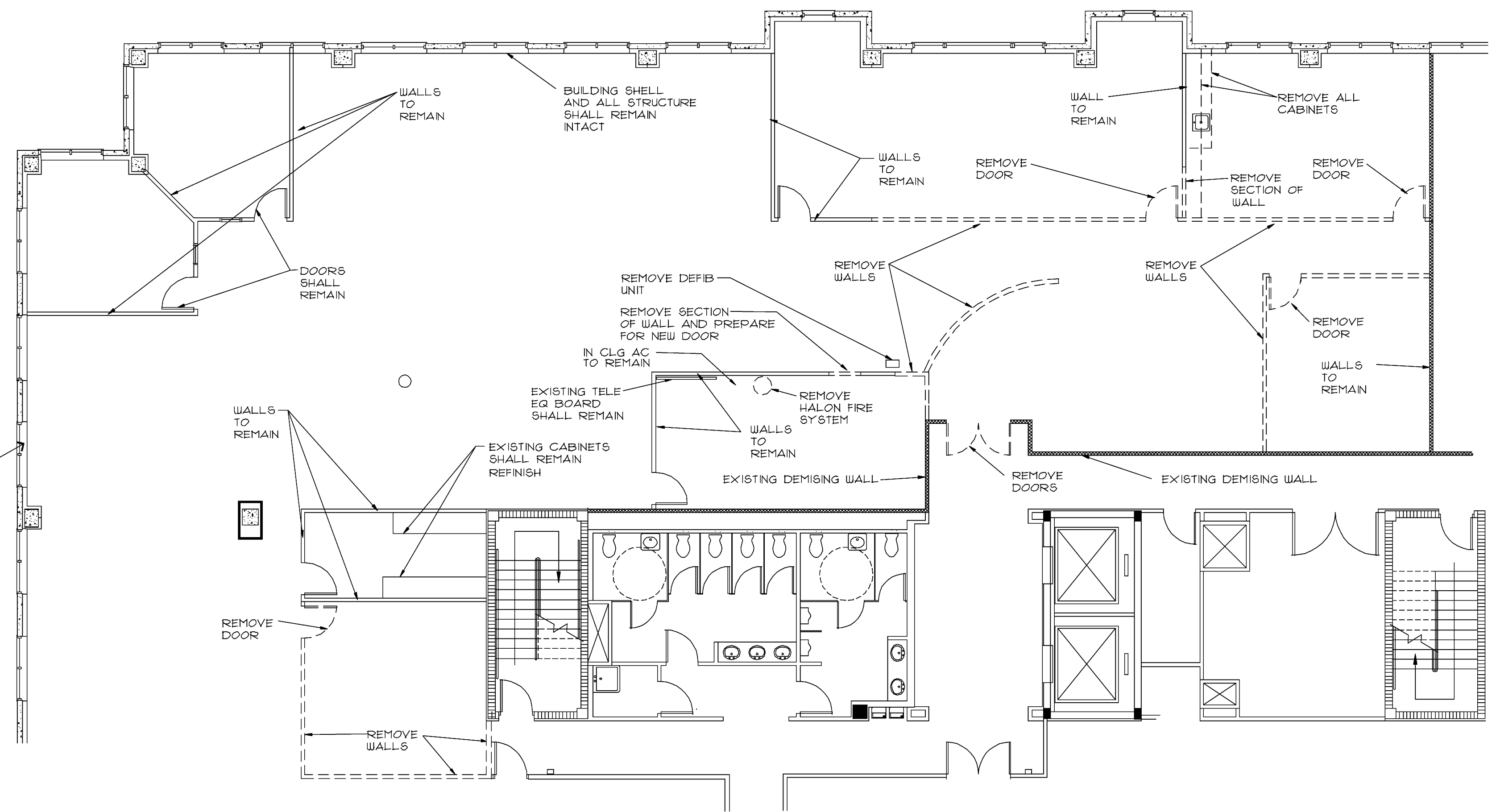


DATE: 10-18-10

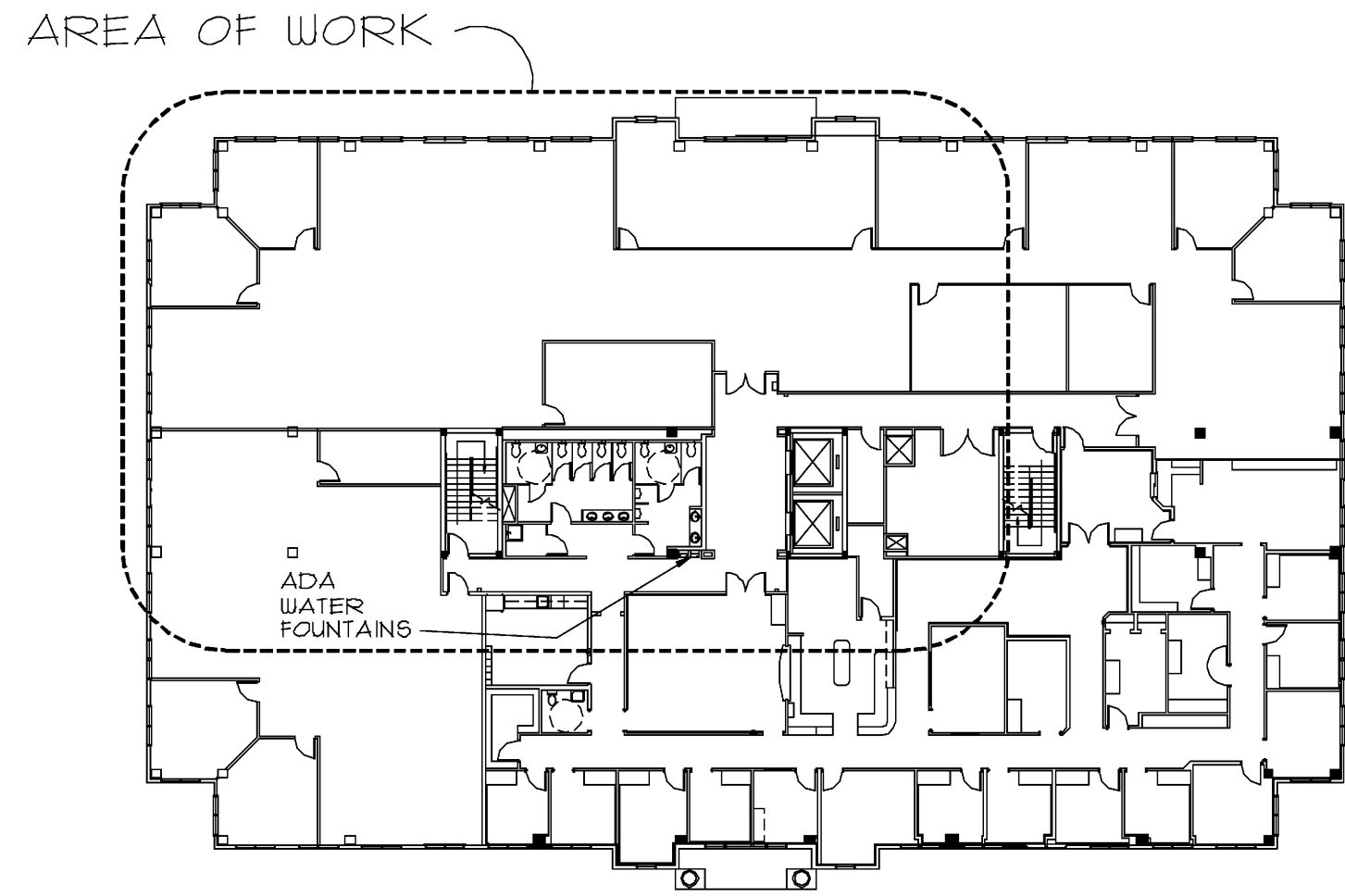
DRAWN: TA

CHECKED:

REVISIONS:



WINDOW BLINDS SHALL BE REMOVED LABELED REPAIR TO A LIKE NEW CONDITION AND REINSTALLED TYPICAL THROUGHOUT SUITE



DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

- NOTE: ALL DOORS TO BE REMOVED, SHALL BE SAVED FOR RELOCATION OR TURNED OVER TO THE OWNER FOR FUTURE USE.
- NOTE: REMOVE ALL POWER AND DATA FEEDS TO CUBICLES THAT ARE NOT BEING USED.
- NOTE: REMOVE ALL BLANK PLATES AND REPAIR WALL WITH GWB. MATCH EXISTING. VERIFY WITH TENANT AND OWNER.

KEY PLAN
NTS

TROY AMMONS ARCHITECT
1907 NE 4TH ST. #1, DEERFIELD BEACH, FL. 33441
PHONE: 954-480-6191 AR # 11849

MUSCAIRA & ASSOCIATES - INTERIOR DESIGN
11402 DOLPHIN LANE N. PALM BEACH, FL. 33408
PHONE: 954-481-3700

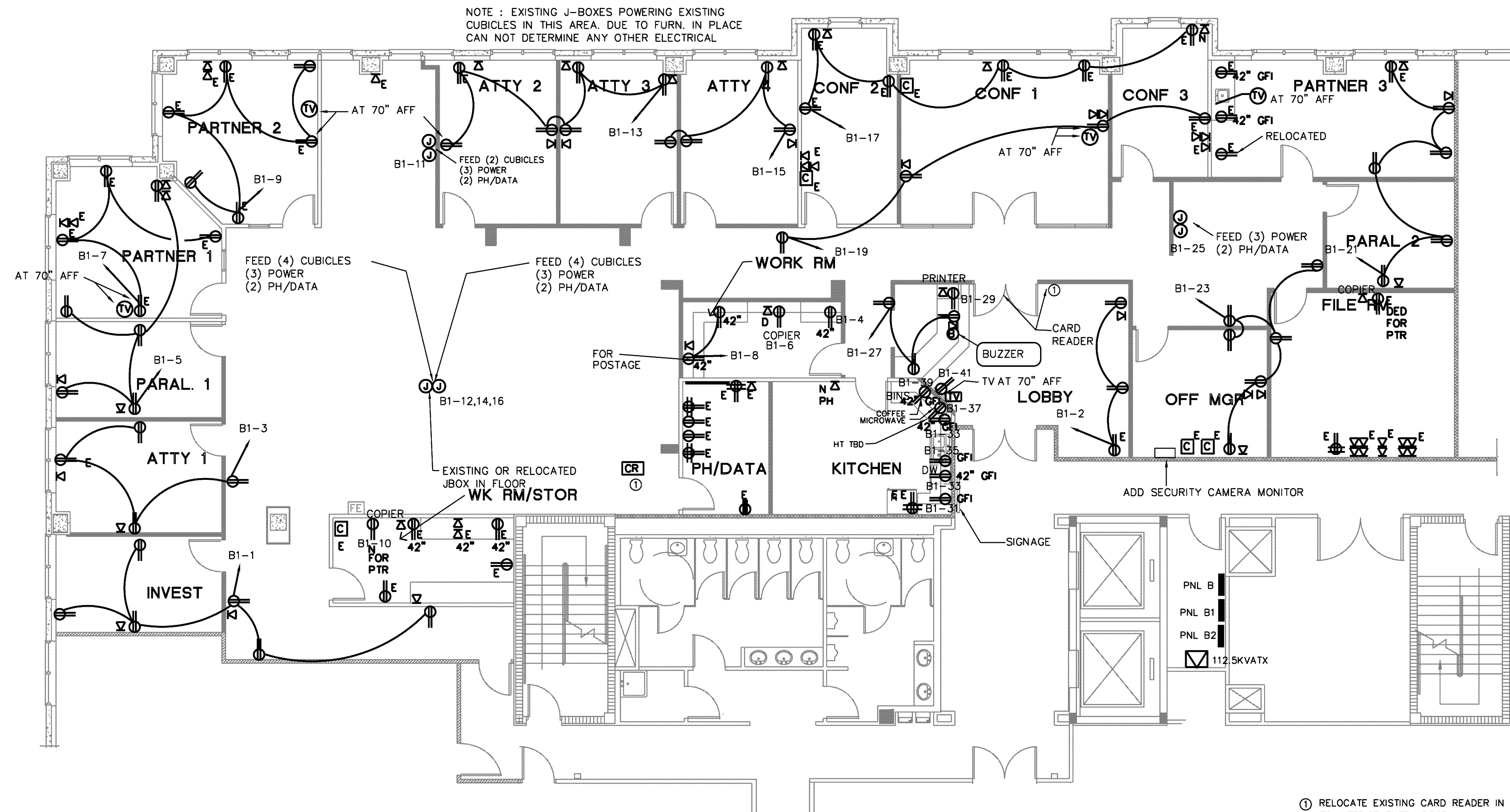
HICKS, MOTTO, EHRLICH
CHASE BLDG - 3RD FLOOR SUITE 300
3999 PGA Blvd Palm Beach Gardens 33410

ISSUE FOR PERMIT

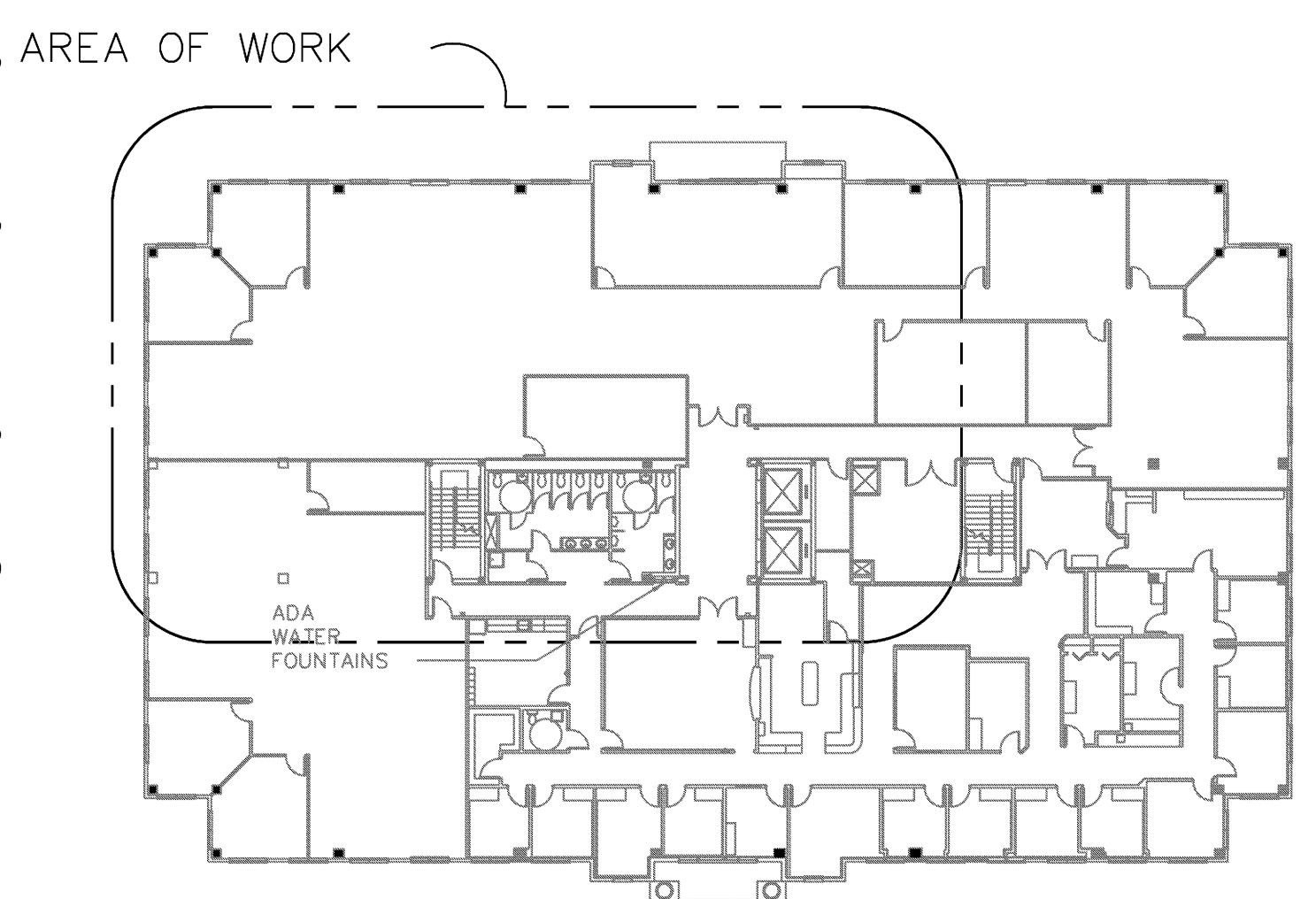
SHEET NO.
D101
OF 5

COPYRIGHT 2010 TROY AMMONS, ARCHITECT

E:\2010\10200-10290\10279 Hicks, Motto, Ehrlich @ Chase Bldg - Ammons\Drawings\10279E.dwg, 10/20/2010 5:13:00 PM, ALISON, Louds Engineering, Inc., All Rights Reserved 2010

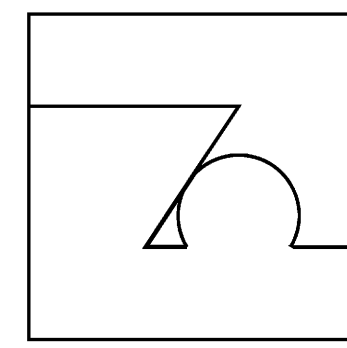


ELECTRICAL POWER PLAN
SCALE: 1/8" = 1'-0"



KEYPLAN
N.T.S.

ELECTRICAL LEGEND	
	1x4 FLUORESCENT LIGHT
	2x2 FLUORESCENT LIGHT
	2x4 FLUORESCENT LIGHT
	2x4 FLUORESCENT LIGHT WITH EMERGENCY BALLAST
	2x4 RADIANT HEAT PANEL
	FLUORESCENT STRIP
	CEILING FAN
	EXTERIOR FLOOD LIGHT
	RECESSED EYEBALL
	RECESSED INCANDESCENT LIGHT
	SURFACE MOUNTED INCANDESCENT LIGHT
	WALL WASH LIGHT
	TRACK LIGHT
	EXTERIOR WALL LIGHT
	INTERIOR WALL SCONCE
	EXIT SIGN
	EXIT SIGN WITH DIRECTIONAL ARROW
	EXIT SIGN WITH TWO-WAY DIRECTIONAL ARROW
	CEILING MOUNTED EXIT SIGN/EMERGENCY LIGHT COMBO
	WALL MOUNTED EMERGENCY LIGHT
	CEILING MOUNTED WALL LIGHT
	DISCONNECT
	DIMMER SWITCH
	SWITCH
	3-WAY SWITCH
	EXHAUST FAN / MOTOR
	SIMPLEX RECEPTACLE
	DUPLEX RECEPTACLE
	QUADRUPLEX RECEPTACLE
	220V RECEPTACLE
	JUNCTION BOX
	FLOOR DUPLEX RECEPTACLE
	FLOOR QUADRUPLEX RECEPTACLE
	POWER POLE
	TELEPHONE JACK
	DATA JACK
	FLOOR TELEPHONE JACK
	FLOOR DATA JACK
	AMPLIFIER JACK
	MICROPHONE JACK
	BUZZER
	TV CABLE OUTLET
	SMOKE DETECTOR
	FIRE STROBE
	FIRE STROBE WITH HORN
	PULL STATION
	TIMER SWITCH
	PUSH BUTTON
	SECURITY CAMERA
	ELECTRICAL PANEL
	GROUND FAULT INTERRUPT
	ISOLATED GROUND
	WEATHER PROOF
	CARD READER
	CAMERA



DATE: 10-18-10
DRAWN: TA
CHECKED:
REVISIONS:

TROY AMMONS ARCHITECT
1907 NE 4TH ST. #1, DEERFIELD BEACH, FL. 33441
PHONE: 954-480-6191 AR # 11849
MUSCARA & ASSOCIATES - INTERIOR DESIGN
11402 DOLPHIN LANE N. PALM BEACH, FL. 33408
PHONE: 954-481-3700

HICKS, MOTTO, EHRLICH
CHASE BLDG - 3RD FLOOR
3398 PGA Blvd Palm Beach Gardens 33410

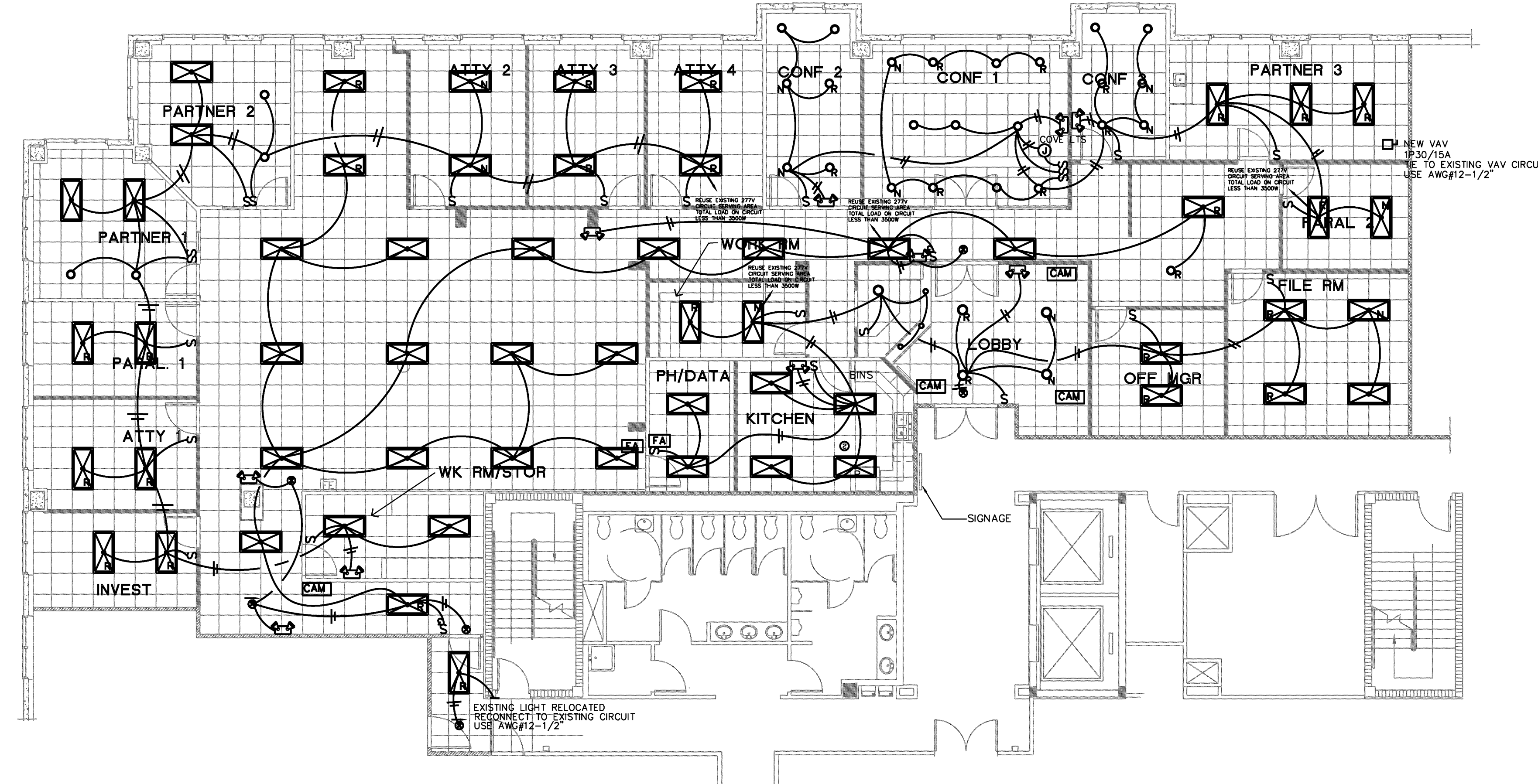
ISSUE FOR CONSTRUCTION

SHEET NO.
E1
OF

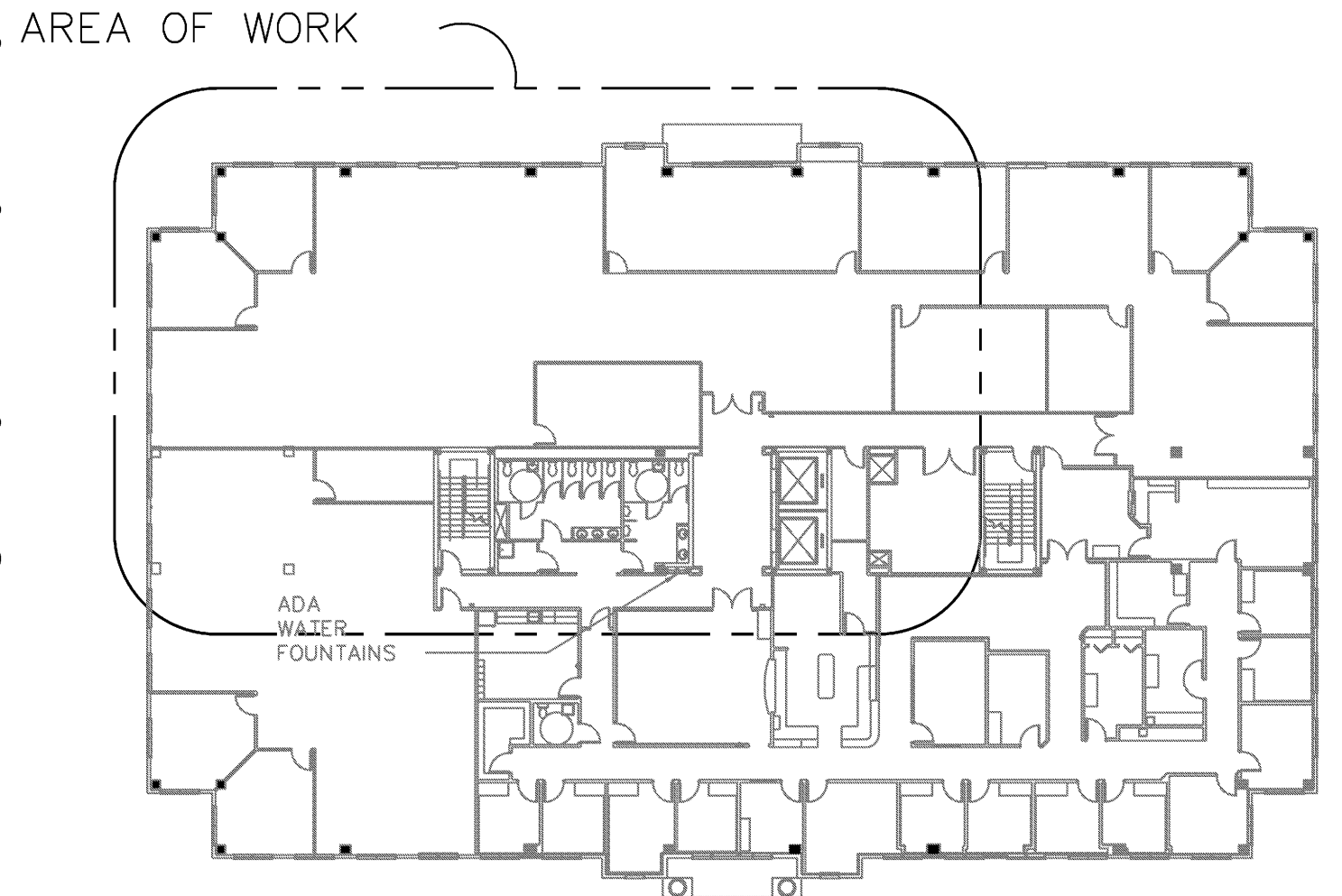
louds engineering inc.
consulting engineers
E. PALHU P.E. FL REG 49832
F. DEZIOR P.E. FL REG 62458
4520 N.E. 18th ave. ste. 200, Ft. Lauderdale, FL 33334
TEL. (954) 938-1881 FLA. REG. #EB-0003306

COPYRIGHT 2010 TROY AMMONS, ARCHITECT

E:\2010\10200-10290\10279\Hicks, Motto, Ehrlich @ Chase Bldg - Ammons\Drawings\10279\EL.dwg, 10/20/2010 5:13:07 PM, ALISON, Loucks Engineering, Inc., All Rights Reserved 2010



ELECTRICAL LIGHTING PLAN
SCALE: 1/8" = 1'-0"



KEYPLAN
N.T.S.

ELECTRICAL LEGEND	
	1x4 FLUORESCENT LIGHT
	2x2 FLUORESCENT LIGHT
	2x4 FLUORESCENT LIGHT
	2x4 FLUORESCENT LIGHT WITH EMERGENCY BALLAST
	2x4 RADIANT HEAT PANEL
	FLUORESCENT STRIP
	CEILING FAN
	EXTERIOR FLOOD LIGHT
	RECESSED EYEBALL
	RECESSED INCANDESCENT LIGHT
	SURFACE MOUNTED INCANDESCENT LIGHT
	WALL WASH LIGHT
	TRACK LIGHT
	EXTERIOR WALL LIGHT
	INTERIOR WALL SCNCE
	EXIT SIGN
	EXIT SIGN WITH DIRECTIONAL ARROW
	EXIT SIGN WITH TWO-WAY DIRECTIONAL ARROW
	CEILING MOUNTED EXIT SIGN/EMERGENCY LIGHT COMBO
	WALL MOUNTED EMERGENCY LIGHT
	CEILING MOUNTED WALL LIGHT
	DISCONNECT
	DIMMER SWITCH
	SWITCH
	3WAY SWITCH
	EXHAUST FAN / MOTOR
	SIMPLEX RECEPTACLE
	DUPLEX RECEPTACLE
	QUADRUPLEX RECEPTACLE
	220V RECEPTACLE
	JUNCTION BOX
	FLOOR DUPLEX RECEPTACLE
	FLOOR QUADRUPLEX RECEPTACLE
	POWER POLE
	TELEPHONE JACK
	DATA JACK
	FLOOR TELEPHONE JACK
	FLOOR DATA JACK
	AMPLIFIER JACK
	MICROPHONE JACK
	BUZZER
	TV CABLE OUTLET
	SMOKE DETECTOR
	FIRE STROBE
	FIRE STROBE WITH HORN
	PULL STATION
	TIMER SWITCH
	PUSH BUTTON
	SECURITY CAMERA
	ELECTRICAL PANEL
	GROUND FAULT INTERRUPT
	ISOLATED GROUND
	WEATHER PROOF
	CARD READER
	CAMERA

DATE: 10-18-10
DRAWN: TA
CHECKED:
REVISIONS:

TROY AMMONS ARCHITECT
1907 NE 4TH ST. #1, DEERFIELD BEACH, FL. 33441
PHONE: 954-480-6191 AR # 11849
MUSCARA & ASSOCIATES - INTERIOR DESIGN
11402 DOLPHIN LANE N. PALM BEACH, FL. 33408
PHONE: 954-481-3700

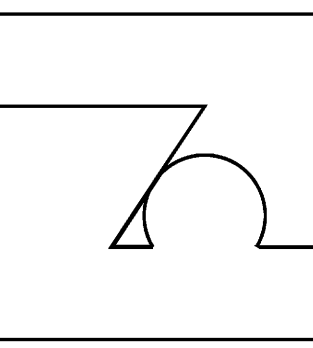
HICKS, MOTTO, EHRLICH
CHASE BLDG - 3RD FLOOR
3398 PGA Blvd Palm Beach Gardens 33410

ISSUE FOR CONSTRUCTION

SHEET NO.
E2
OF

loucks engineering inc.
consulting engineers
E. PILHUJ P.E. FL REG 49832
F. DEZNER P.E. FL REG 62459
4520 N.E. 18th Ave. Ste. 200, Ft. Lauderdale, FL 33334
TEL. (954) 938-1881 FLA. REG. #EB-0003306

COPYRIGHT 2010 TROY AMMONS, ARCHITECT



DATE: 10-18-10

DRAWN: TA

CHECKED:

REVISIONS:

TROY AMMONS ARCHITECT
1907 NE 4TH ST. #1, DEERFIELD BEACH, FL. 33441
PHONE: 954-480-6191 AR # 11849
MUSCARA & ASSOCIATES - INTERIOR DESIGN
11402 DOLPHIN LANE N. PALM BEACH, FL. 33408
PHONE: 954-481-3700

HICKS, MOTTO, EHRLICH
CHASE BLDG - 3RD FLOOR
3398 PGA Blvd Palm Beach Gardens 33410

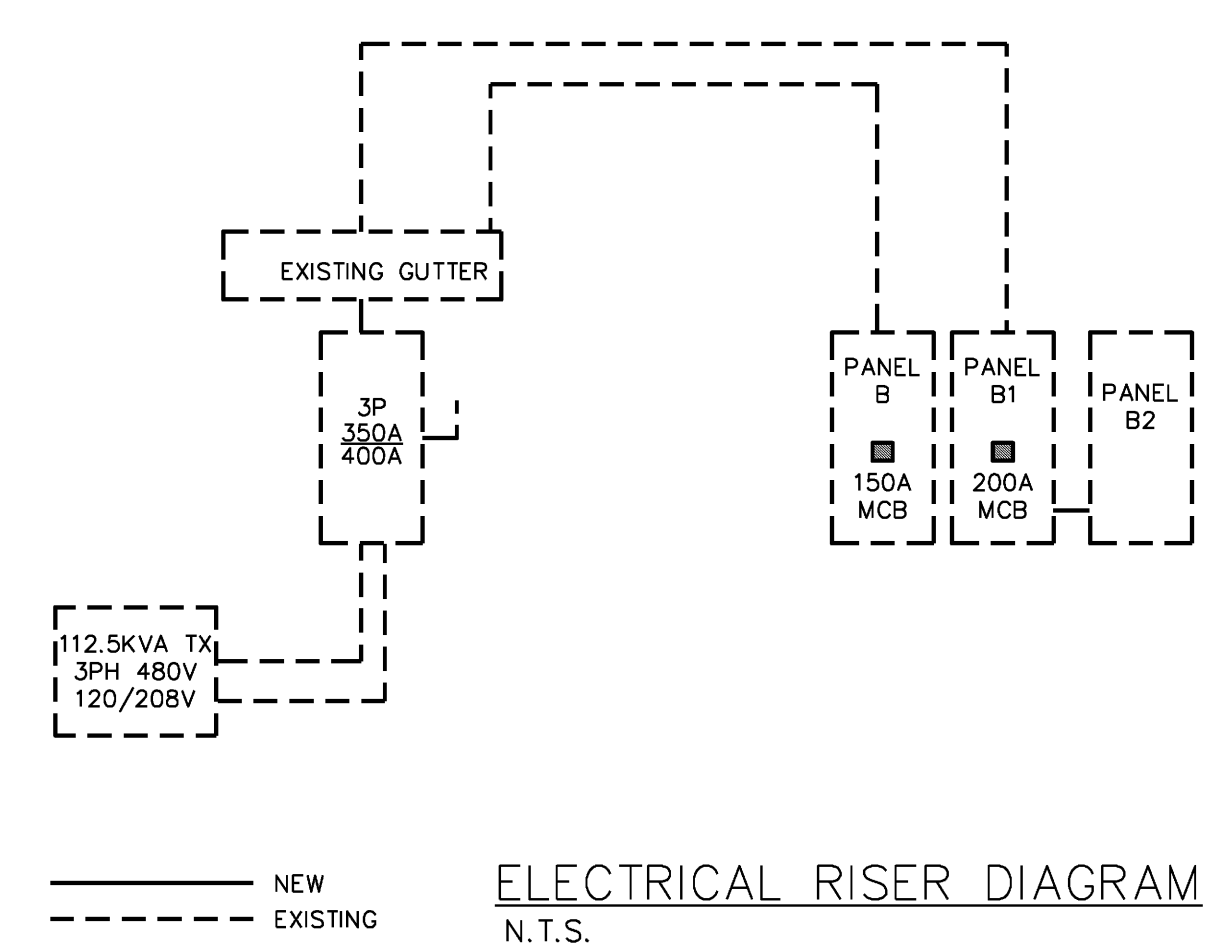
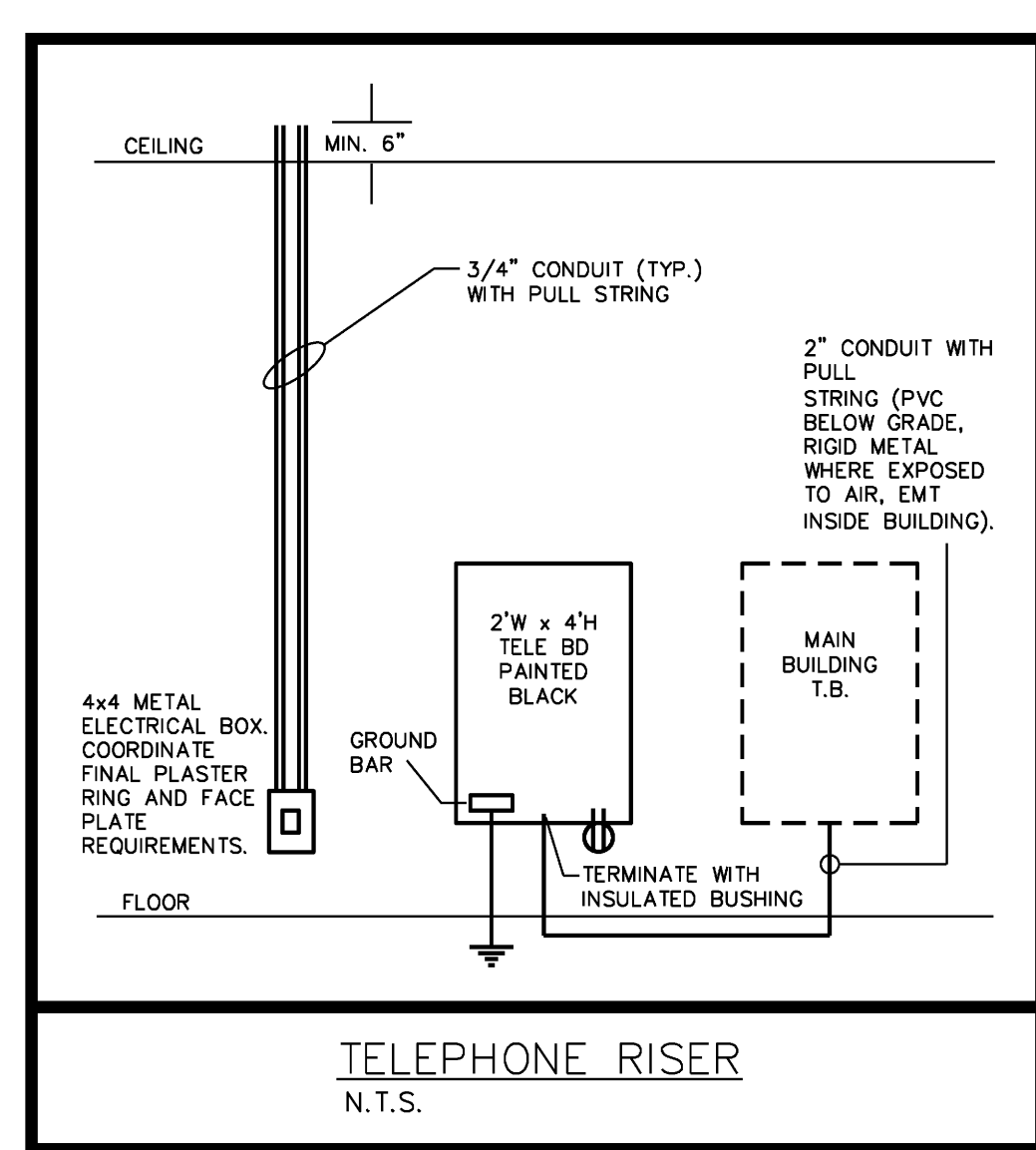
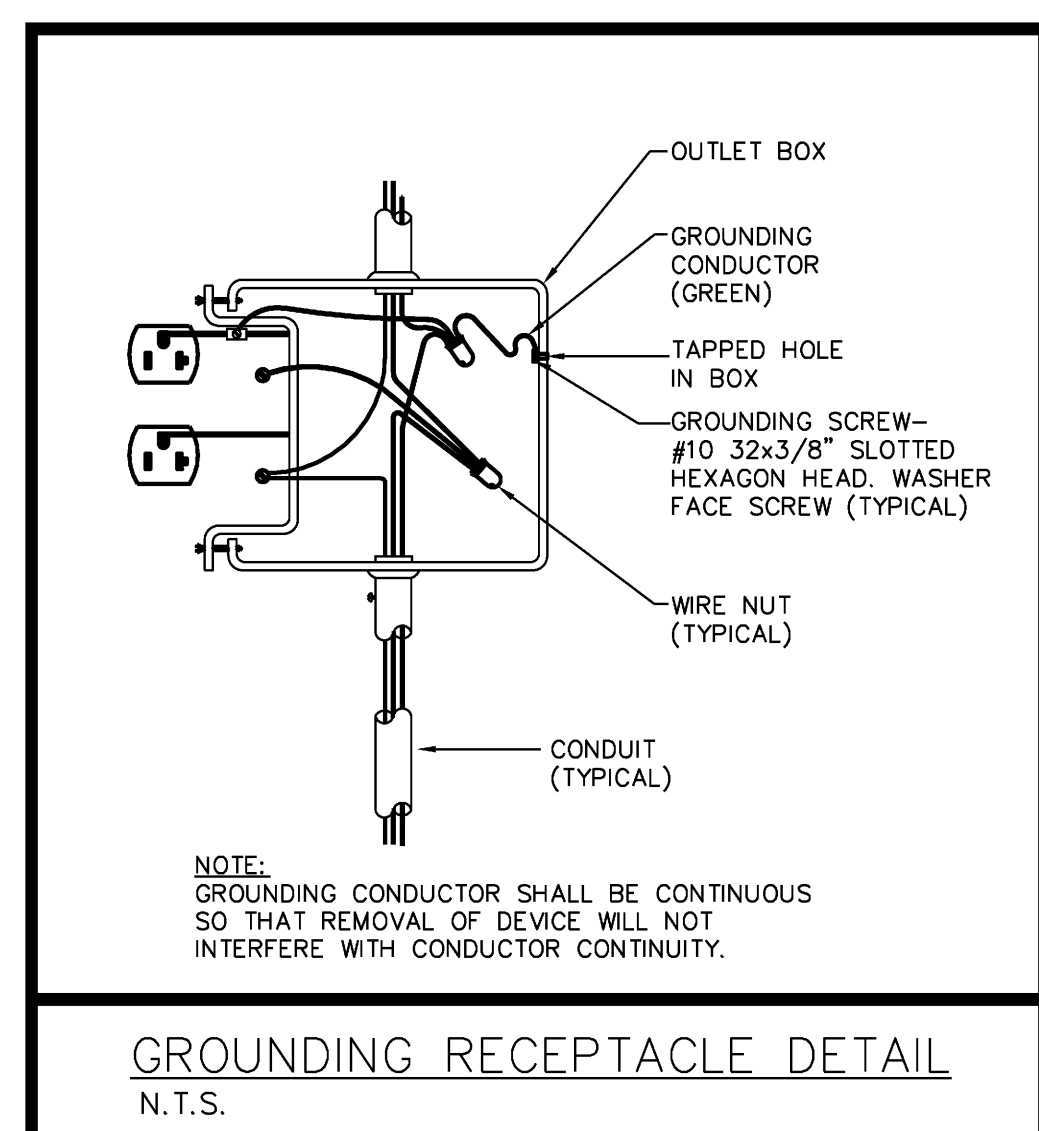
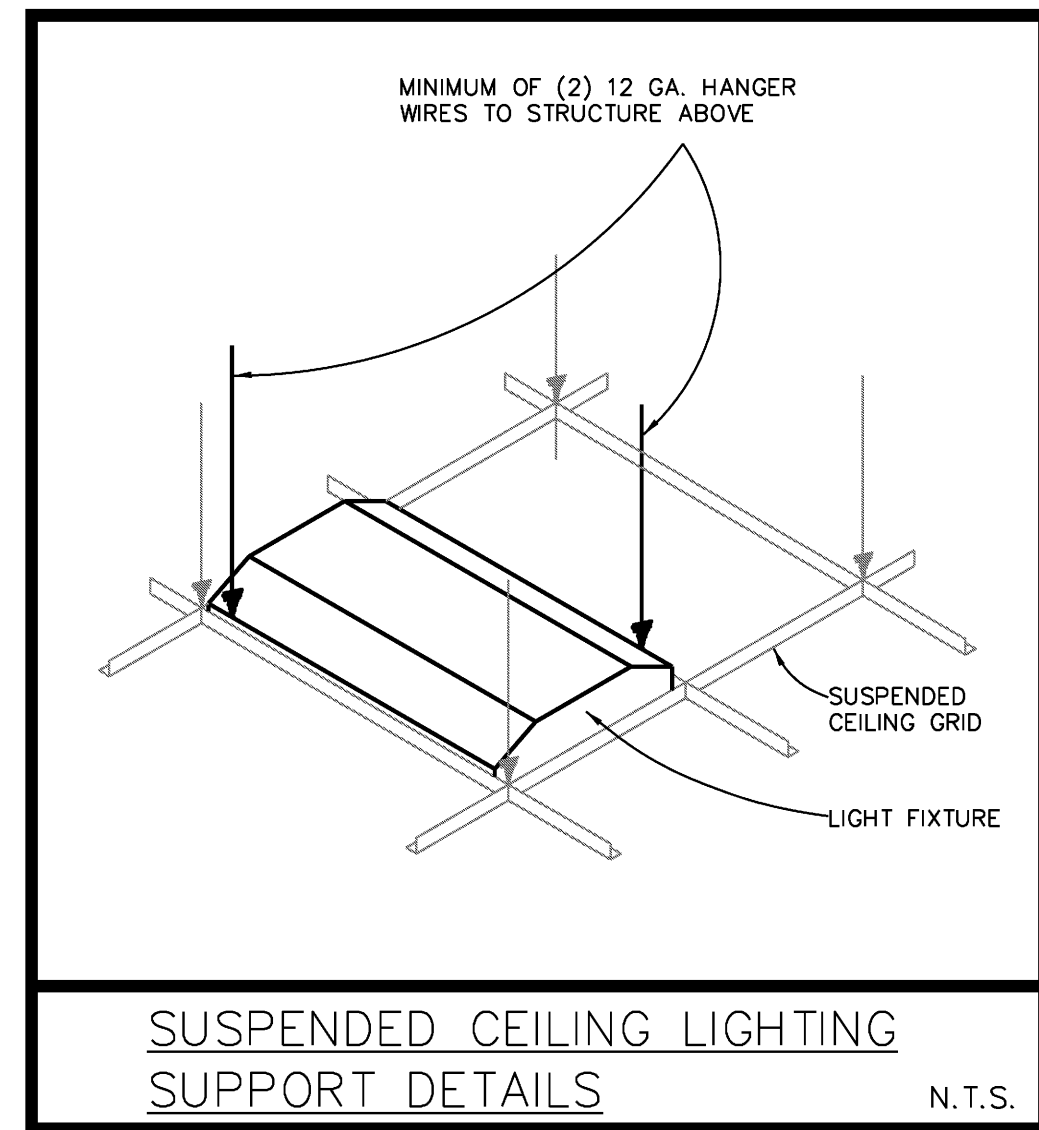
ISSUE FOR CONSTRUCTION

SHEET NO.

E3

OF

PANEL B1				200A MCB				3φ4W				120/208V				
Wire	Ø	No. Poles	Trip	Description	Load	No. Poles	Trip	Description	Load	Ø	Wire	Description	Load	Ø	Wire	
12	A	01	1	20	RECEP IVEST	1080	02	1	20	LOBBY	540	A	12			
12	B	03	1	20	RECEP ATTY 1	720	04	1	20	WORK RM	900	B	12			
12	C	05	1	20	RECEP PARALL 1	720	06	1	20	COPIER	1200	C	12			
12	A	07	1	20	RECEP PARTNER 1	900	08	1	20	WORK RM	900	A	12			
12	B	09	1	20	RECEP PARTNER 2	1080	10	1	20	WORK RM	900	B	12			
12	C	11	1	20	FURN	540	12	1	20	FURNITURE	540	C	12			
12	A	13	1	20	ATTY 3	1080	14	1	20	FURNITURE	540	A	12			
12	B	15	1	20	ATTY 4	720	16	1	20	FURNITURE	540	B	12			
12	C	17	1	20	ATTY 2	1080	18	1	20	RECEP	720	C	E			
12	A	19	1	20	CONF 1	720	20	1	20	RECEP	720	A	E			
12	B	21	1	20	PARALL 2	1080	22	1	20	RECEP	720	B	E			
12	C	23	1	20	OFF MRG	720	24	1	20	RECEP	720	C	E			
12	A	25	1	20	FURNITURE	360	26	1	20	RECEP	720	A	E			
12	B	27	1	20	LOBBY	540	28	1	20	RECEP	720	B	E			
12	C	29	1	20	PRINTER	600	30	1	20	RECEP	720	C	E			
12	A	31	1	20	APP	1000	32	1	20	RECEP	720	A	E			
12	B	33	1	20	APP	1000	34	1	20	RECEP	720	B	E			
12	C	35	1	20	DW	900	36	1	20	RECEP	720	C	E			
12	A	37	1	20	MW	1000	38	3	100	PNL B2	28,360	A	E			
12	B	39	1	20	APP	1000	40	-	-	-	-	B	E			
12	C	41	1	20	TV	900	42	-	-	-	-	C	E			
													PANEL LOAD	59,360W		
														165A		



ELECTRICAL NOTES:

- ALL WORK TO BE DONE ACCORDING TO F.B.C. 2007 W/2009 AMENDMENTS, 2002 NFPA-72, 2006 NFPA-101, 2006 NFPA-1, AND N.E.C. 2008.
- CONTRACTOR TO VISIT SITE AND VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS. NOTIFY ENGINEER OF ANY DISCREPANCIES AT ONCE. FAILURE TO DO SO AND CONTRACTOR PROCEEDS AT HIS OWN RISK.
- MAINTAIN AS-BUILTS ON A DAILY BASIS. SUBMIT 3 COPIES TO ARCHITECT AND OWNER 3 DAYS PRIOR TO ANY REQUIRED INSPECTIONS.
- ALL CONDUIT TO BE METAL EMT INSIDE AND RIGID ON THE EXTERIOR. P.V.C. WILL BE ACCEPTED PROVIDED THAT THE CORRECT GROUND AS PER N.E.C. TABLE 250-66.122 IS INCLUDED WHEN ALLOWED BY CODE. NO PVC WILL BE ALLOWED IN R.A. PLENUMS OR FIRE RATED ASSEMBLIES. ALL MATERIALS IN R.A. PLENUMS TO BE PLENUM RATED.
- CONDUCTOR TO BE COPPER THWN OR THHN. MORE THAN THREE CURRENT CARRYING CONDUCTORS IN A CONDUIT TO BE INSTALLED PER NEC 310.15(B)(2)
- ALL EXTERIOR EQUIPMENT TO NEMA 3R RATED.
- ALL FUSES TO BE BUSSMAN CURRENT LIMITING AT SERVICE ENTRANCE. ALL OTHERS FUSES ACCORDING TO MANU. SPECIF.
- PROVIDE 6 SETS OF SHOP DRAWINGS FOR APPROVAL. NO EQUIPMENT TO BE ORDERED BEFORE SHOP DRAWINGS ARE APPROVED.
- VERIFY ALL NAMEPLATE DATA OF EQUIPMENT FOR PROPER PROTECTION AND LOADS PRIOR TO INSTALL OR WIRING.
- MAINTAIN A MINIMUM OF 36" IN FRONT OF ALL ELECTRICAL EQUIPMENT. PRIOR TO INSTALLING ANY EQUIPMENT COORDINATE WITH OTHER TRADES TO INSURE THAT CLEARANCES ARE MAINTAINED.
- CONTRACTOR TO REMOVE ALL TRASH/UNUSED MATERIALS AT THE END OF DAY.
- ALL CONDUITS, FIXTURES, DEVICES TO HAVE GROUND EXTEND AS PER TABLE 250-122 N.E.C.
- POWER TO BE ON CONTINUOUSLY 5 WEEK PRIOR TO COMPLETING PROJECT.
- ALL LOW VOLTAGE CABLING AND SYSTEM ARE THE RESPONSIBILITY OF THE VENDOR THAT IS PROVIDING THE SYSTEM INCLUDING PERMITTING.
- CONTRACTOR TO LAMP/RELAMP ALL FIXTURES.
- CONTRACTOR TO VERIFY QUANTITIES OF EXISTING AND NEW DEVICES AND FIXTURES REQUIRED TO COMPLETE PROJECT PRIOR TO SUBMITTING BID.
- CONTRACTOR TO VERIFY EXISTING CIRCUITS AND MUST PROVIDE NEW PANEL SCHEDULES IDENTIFYING ALL CIRCUITS IN PANEL.
- NEUTRALS NOT TO BE SHARED. PROVIDE #8 NEUTRAL TO ALL FURNITURE SYSTEMS, IF APPLICABLE.
- ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL ALL EQUIPMENT MENTIONED OR NOT TO POWER, DATA AND VOICE TO ALL EQUIPMENT AND SYSTEMS INSTALLED.
- ALL DEVICES TO MATCH BUILDING STANDARD OR BE DECORA SERIES.
- TYPICAL LIGHT SWITCHES TO BE @ 48" A.F.F. ON CENTER. TYPICAL RECEPTACLE TO BE 18" A.F.F. ON CENTER. ALL SWITCHES TO BE GANGED WITH CONTINUOUS FACEPLATES. ALL DEVICES THAT ARE ADJACENT TO BE SPACED 6" ON CENTER.
- ALL ELECTRICAL ELEMENTS TO BE THOROUGHLY PROTECTED FROM DAMAGE AFTER INSTALLATION AND SHALL HAVE TRIM INSTALLED AFTER ADJOINING FINISH MATERIALS ARE INSTALLED.
- AT THE COMPLETION OF THE PROJECT ALL EQUIPMENT, DEVICES AND FIXTURES TO BE CLEANED.
- ALL EMERGENCY AND EXIT LIGHTS ARE TO HAVE A MINIMUM 90 MINUTE BATTERY BACK-UP.
- CONTRACTOR IS TO PROVIDE STEP DOWN TRANSFORMERS FOR ALL FANS WHEN REQUIRED.
- NO ALUMINUM CONDUCTOR BUSS WILL BE ALLOWED - ALL MUST BE COPPER.
- ALL DATA, TEL. TV BOXES TO BE 4x4x2 DOUBLE GANG BOXES. STUB ALL CONDUITS WITH LAY IN CEILINGS TO 6" ABOVE CEILING. ALL CONCEALED OR EXPOSED APPLICATIONS TO BE HOME RUN TO MAIN DISTRIBUTION LOCATION.
- CONTRACTOR TO PROVIDE TEMPORARY POWER FOR ALL TRADES.
- NEW ELECTRICAL PANELS TO HAVE BOLT ON BREAKERS.
- NO ELECTRICAL CIRCUITS OR WIRING FROM ADJACENT SPACES TO BE USED IN THIS PROJECT.
- ALL INTERIOR LIGHTING TO HAVE SWITCHES WITH OCCUPANCY SENSORS IN THEM CAPABLE OF STAYING ON NO MORE THAN 30 MINUTES. CIRCUITS WHICH HAVE MOTION SENSORS ON THEM MAY USE STANDARD SWITCHES.
- CONTRACTOR TO REMOVE ALL ABANDONED OR UNUSED WIRING, CONDUIT AND BOXES.
- PROVIDE 2" RIGID CONDUIT FROM BUILDINGS MAIN TELEPHONE ROOM COMMUNICATION CENTER AS REQUIRED. COORDINATE CABLE, TV, VOICE AND DATA REQUIREMENTS WITH OWNER TO MEET THEIR REQUIREMENTS.
- VERIFY EXISTING FIRE ALARM HAS SUFFICIENT ROOM FOR EXPANSION AND EQUIPMENT IS STILL READILY AVAILABLE. CONTRACTOR TO PROVIDE COMPLETE SHOP DWGS INCLUDING RISER, CUT SHEETS, BATTERY CALCULATIONS AND ALL OTHER NECESSARY INFORMATION.
- LABEL ALL OUTLETS AND JUNCTION BOXES WITH PANEL AND CIRCUIT NUMBER.
- ANY ELECTRICAL EQUIPMENT POTENTIALLY NEEDING ADJUSTMENT, SERVICING, OR MAINTENANCE WHILE ENERGIZED MUST BE PLACED IN ACCORDANCE WITH N.E.C. 110.16.
- ALL NIGHT LIGHTS AND EMERGENCY LIGHTS TO BE CONNECTED AHEAD OF ANY CONTROL DEVICE.
- ALL TRANSFORMERS ARE TO HAVE A MINIMUM K-RATING OF K-13. KVA SIZING OF TRANSFORMER IS SHOWN ON THE ELECTRICAL RISER DRAWING.
- ALL CIRCUIT BREAKERS SERVING FURNITURE SYSTEMS MUST BE HANDLE TIED AS PER N.E.C. 605.7
- PROVIDE 90 MIN. BATTERY BACK UP FOR NEW AND EXISTING EMERGENCY/NIGHT LIGHTS PLEASE REFER LEGEND.
- PROVIDE MEAN OF DISCONNECTION FOR ALL LIGHTING FIXTURES AS PER NEC 410.130(G)

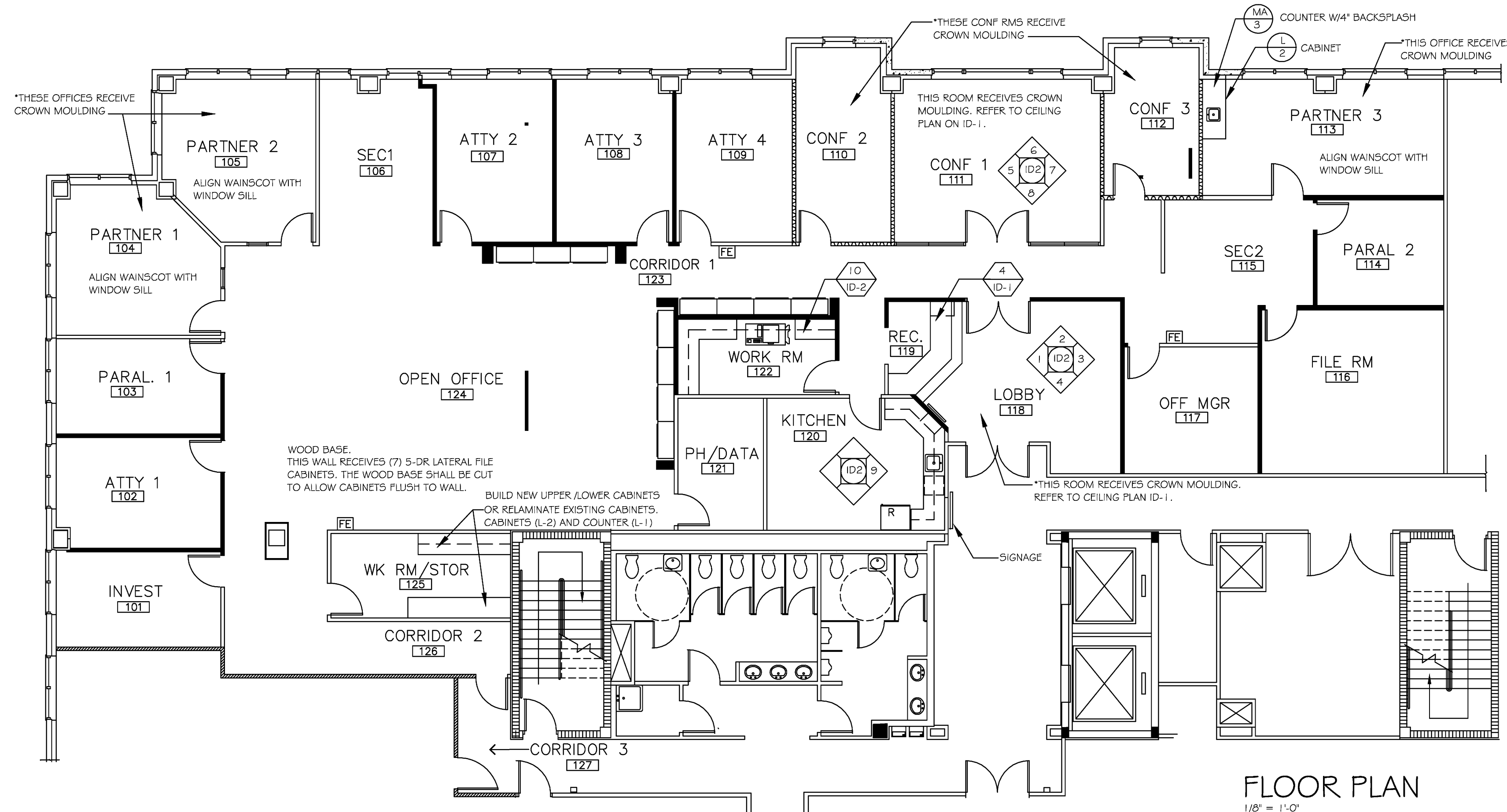
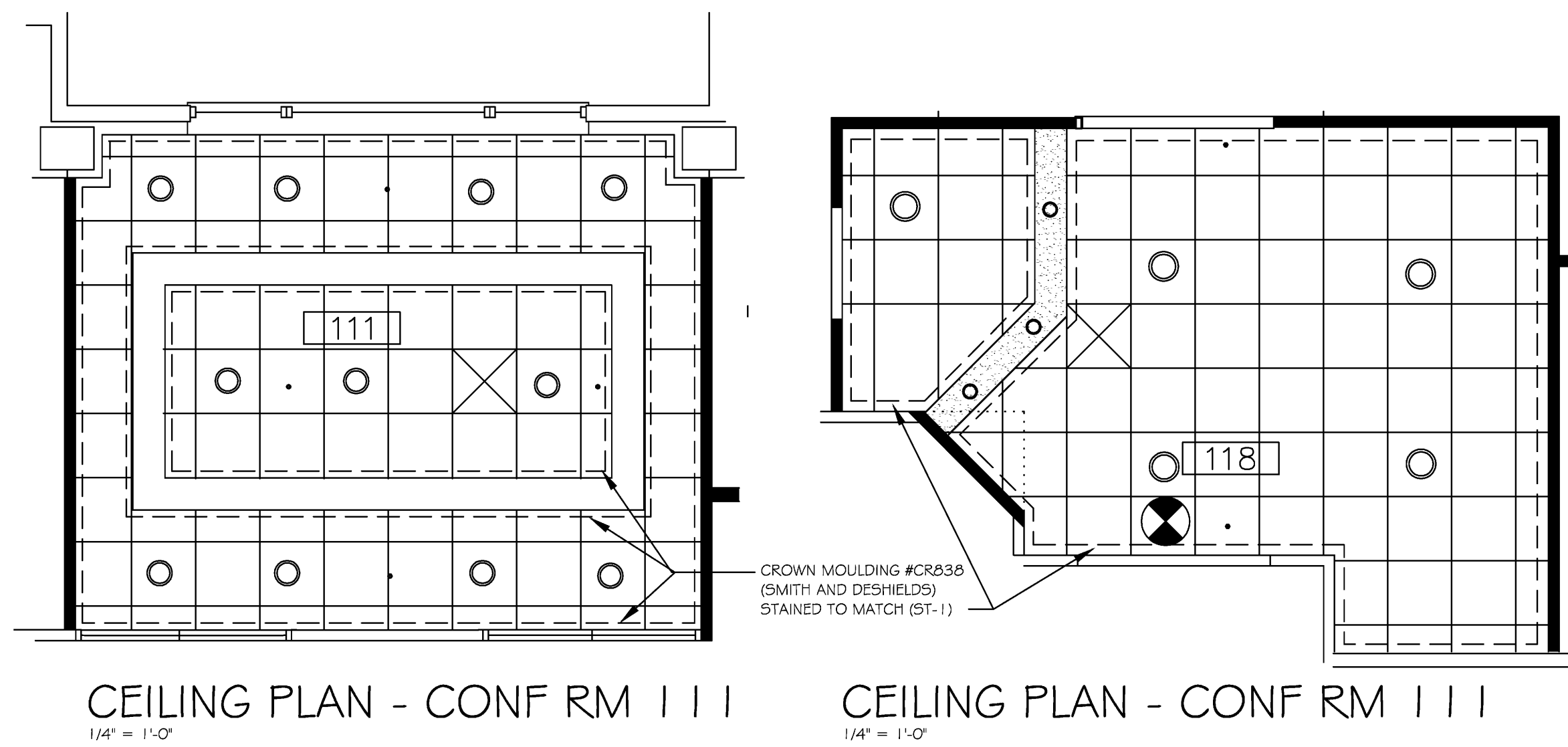
ELECTRICAL DETAILS AND NOTES

SCALE: N.T.S.

loucks engineering inc.
consulting engineers
E. PILIWI P.E. FL REG 49832
F. DEZTOR P.E. FL REG 62459
4520 N.E. 18th Ave. Ste. 200, Ft. Lauderdale, FL 33334
TEL. (954) 938-1881 FLA. REG. #EB-0003306

COPYRIGHT 2010 TROY AMMONS, ARCHITECT

E:\2010\10200-10290\10279 Hicks, Motto, Ehrlich @ Chase Bldg - Ammons\Drawings\10279BEC.dwg, 10/20/2010 5:13:09 PM, ALLISON, Loudks Engineering, Inc., All Rights Reserved 2010

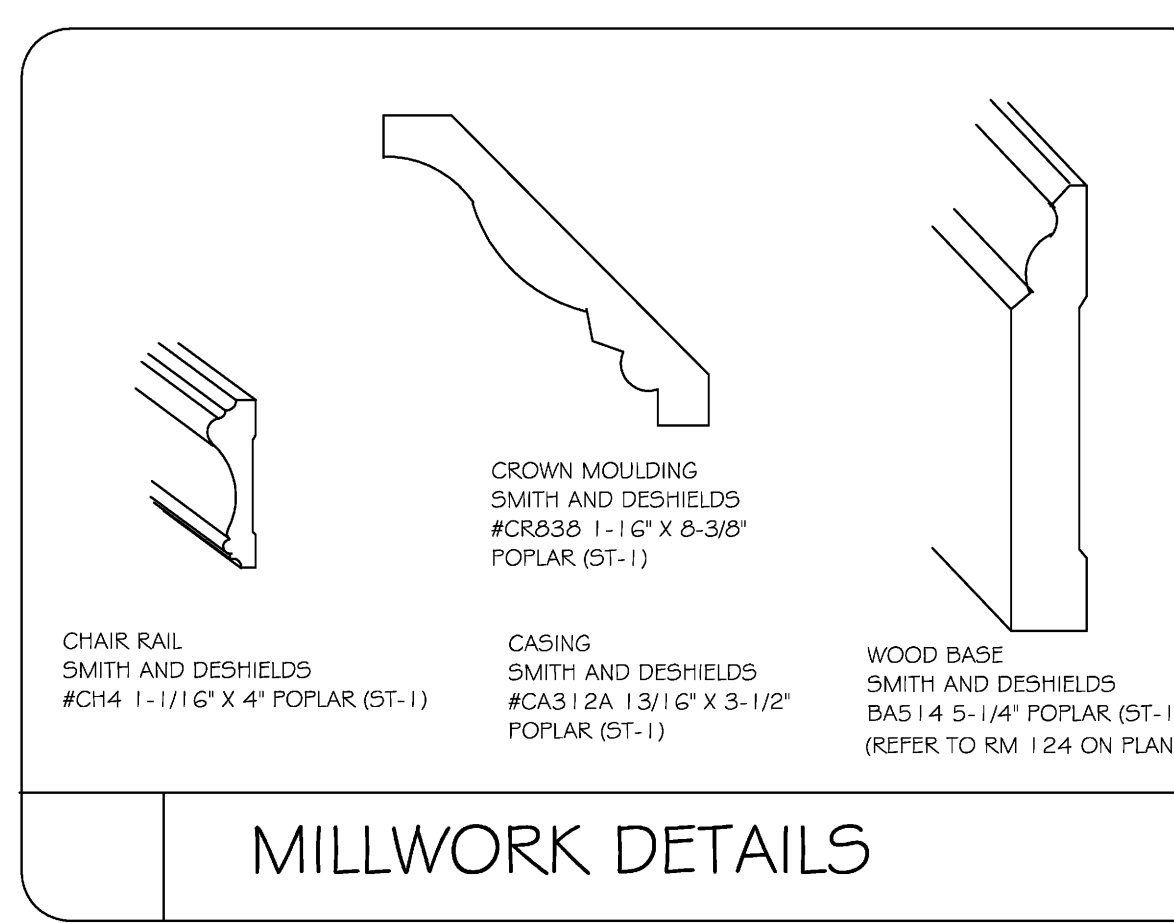


ROOM FINISH SCHEDULE

NO.	ROOM	FLR	BASE	WALL	REMARKS
101	INVESTIGATOR	CA-1	WD-1	PT-1	
102	ATTORNEY 1	CA-1	WD-1	PT-1	
103	PARALEGAL 1	CA-1	WD-1	PT-1	
104	PARTNER 1	CA-1	WD-1	PT-1/WD	WAINSCOTING PERIMETER OF RM REFER TO (4 / ID-1)
105	PARTNER 2	CA-1	WD-1	PT-1/WD	WAINSCOTING PERIMETER OF RM REFER TO (4 / ID-1)
106	SECRETARY 1	CA-1	WD-1	PT-1	
107	ATTORNEY 2	CA-1	WD-1	PT-1	
108	ATTORNEY 3	CA-1	WD-1	PT-1	
109	ATTORNEY 4	CA-1	WD-1	PT-1	
110	CONFERENCE 2	MA-1	WD-1	PT-1/WD	WAINSCOTING PERIMETER OF RM REFER TO FLOORING PLAN
111	CONFERENCE 1	MA-1/CA-2	WD-1	PT-1/WD WC-2	WAINSCOTING PERIMETER OF RM REFER TO FLOORING PLAN
112	CONFERENCE 3	MA-1	WD-1	PT-1/WD	WAINSCOTING PERIMETER OF RM REFER TO FLOORING PLAN
113	PARTNER 3	CA-1	WD-1	PT-1/WD	WAINSCOTING PERIMETER OF RM REFER TO (4 / ID-1)
114	PARALEGAL 2	CA-1	WD-1	PT-1	
115	SECRETARY 2	CA-1	WD-1	PT-1	
116	FILE ROOM	VT-1	VYL-1	PT-1	
117	OFFICE MANAGER	CA-1	WD-1	PT-1	
118	LOBBY	MA-1	WD-1	PT-1/WD	REFER TO FLOORING PLAN
119	RECEPTIONIST	CA-1	WD-1		
120	KITCHEN	VT-1/VT-2	VYL-1	PT-2	REFER TO FLOORING PLAN
121	PHONE / DATA	VT-1	VYL-1	PT-1	
122	WORK ROOM	VT-1	VYL-1	PT-1	
123	CORRIDOR	CA-1	WD-1	PT-1	
124	OPEN OFFICE	CA-1	WD-1	PT-1	
125	WORK RM / STORAGE	VT-1	VYL-1	PT-1	
126	CORRIDOR 2	CA-1	WD-1	PT-1	
127	CORRIDOR 3	CA-3	WD-2	WC-1	

ABBREVIATIONS

AT	ACOUSTICAL TILE	M	MIRROR	VYL	VINYL BASE
CA	CARPET	MA	MARBLE	VT	VINYL TILE
L	LAMINATE	ST	STAIN	WD	WOOD
PT	PAINT	T	TILE (CERAMIC)	WC	WALLCOVERING



LOCATION

CHASE BUILDING
3399 PGA BLVD, SUITE 300
PALM BEACH GARDENS, FLORIDA

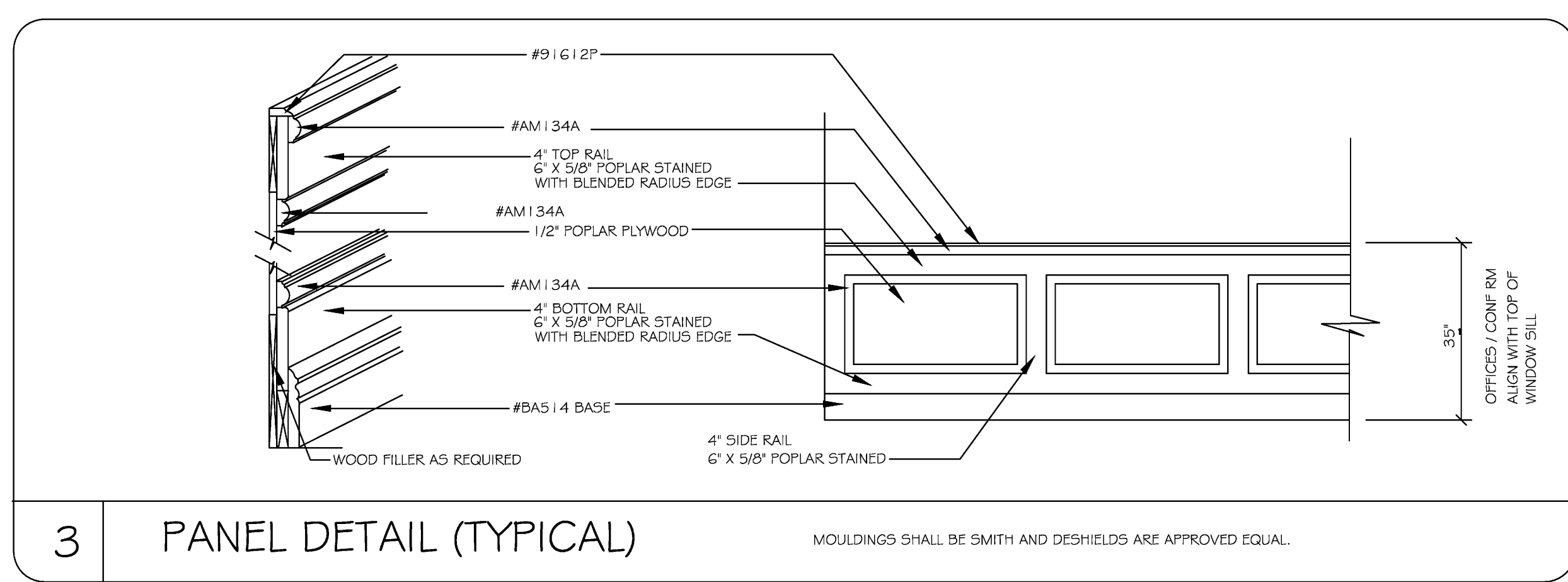
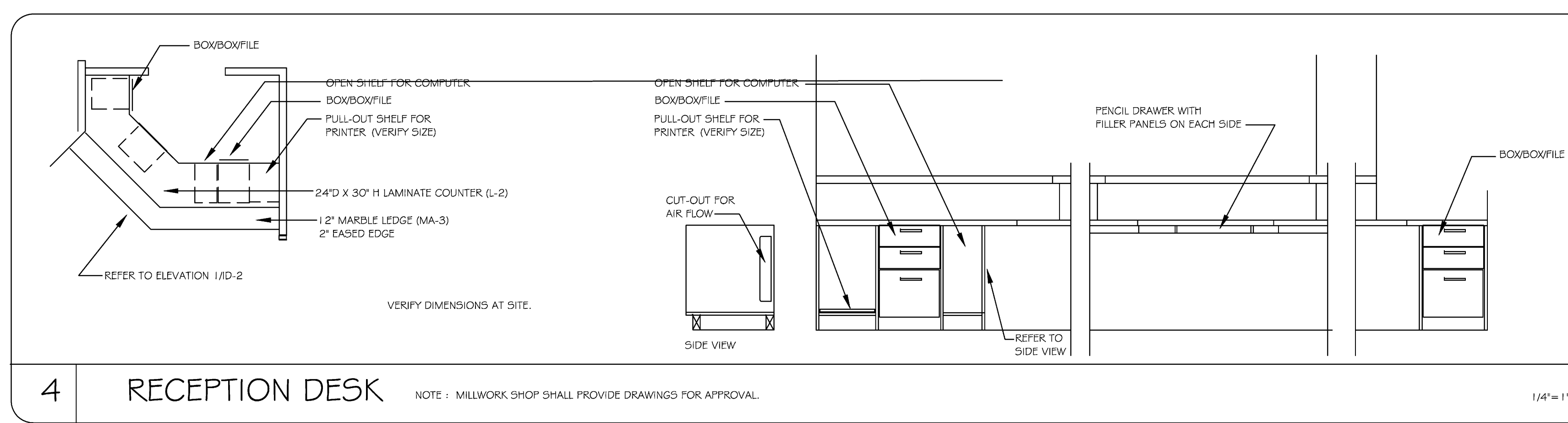
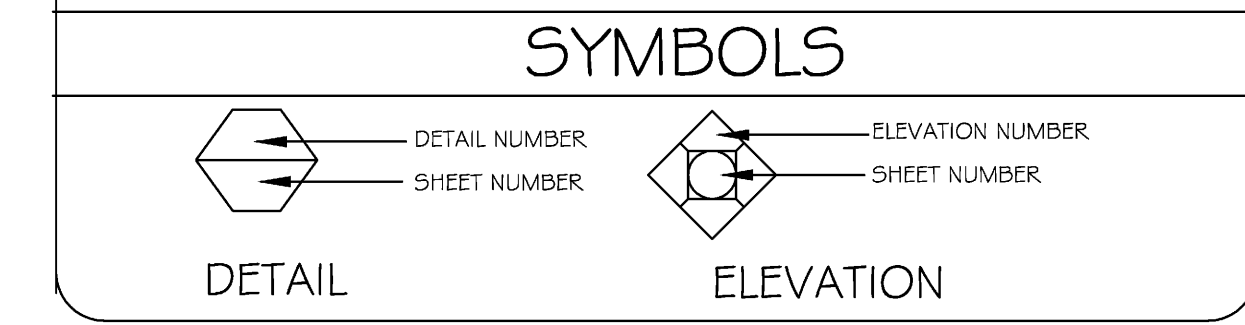
- ### GENERAL NOTES
- CONTRACTORS SHALL HAVE VISITED THE SITE AND VERIFIED CONDITIONS PRIOR TO BIDDING. NO ALLOWANCES SHALL BE MADE.
 - WORK SHALL BE COMPLETED IN A NEAT AND WORKMANLIKE MANNER.
 - CONTRACTOR SHALL VERIFY DIMENSIONS AND SITE CONDITIONS AND NOTIFY DESIGNER OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
 - CONTRACTOR SHALL BECOME FAMILIAR WITH ALL OF THE CONSTRUCTION POLICIES AND PROCEDURES ESTABLISHED BY THE LANDLORD, AND SHALL COORDINATE HIS ACTIVITIES WITH THE OWNERS REPRESENTATIVE.
 - DRAWINGS SHALL NOT BE SCALED.
 - ALL SURFACES SHALL BE PROPERLY PREPARED TO RECEIVE SPECIFIED FINISHES PER MANUFACTURERS WRITTEN SPECIFICATIONS.
 - CONTRACTOR SHALL REMOVE DEBRIS AND RUBBISH DAILY, LEAVE JOB CLEAN UPON COMPLETION OF WORK, INCLUDING CLEANING OF FIXTURES, HARDWARE, AND GLASS, REMOVING OF STAINS, DIRT, DUST AND PAINT, AND POLISHING OF ALL FINISHED FLOORS AND CABINERY.

FINISH SCHEDULE

TAG	DESCRPT.	SPECIFICATION
CA-1	CARPET	PATCRAFT : SWEET #0049-49312 SWEET WINE ECO SOLUTION Q NYLON SOLUTION DYED
CA-2	CARPET	PATCRAFT : URBAN LEGENDS #0128-28015 GAS PUMP BOYCOTT 100% SOLUTION DYED CUT / LOOP
CA-3	CARPET (PUBLIC CORR)	BIGELOW #UFF21 BC 149-7836 RAPHAEL (VERIFY WITH MANAGEMENT)
L-1	LAMINATE	FORMICA : #3526-77 TRAVERTINE (HONED FINISH)
L-2	LAMINATE	FORMICA : #7759-43 SELECT CHERRY
MA-1	MARBLE/GRANITE	CREME MARFIL 24" X 24" INSTALLED PER MFG. RECOMMENDATIONS.
MA-2	MARBLE/GRANITE	TRAVERTINE DARK WALNUT
MA-3	MARBLE/GRANITE	GIALLO TOPAZIO (SOLID PIECE FOR LEDGE)
PT-1	PAINT	BM #OC-110 WHITE SAND - FLAT FINISH
PT-2	PAINT	BM #HC-111 NANTUCKET GRAY - EGGSHELL FINISH
ST-1	STAIN	CHERRY - FIDDLESTONE (SAMPLE PROVIDED)
VT-1	VINYL TILE	AMERICAN TILE : NOVA SERIES #527 (OR APPROVED EQUAL) 12" X 12" 1/8 GA.
VT-2	VINYL TILE	AMERICAN TILE : NOVA SERIES #533 (OR APPROVED EQUAL) 12" X 12" 1/8 GA.
VYL-1	VINYL BASE	JOHNSONITE #49 BEIGE (OR APPROVED EQUAL)
WC-1	WALLCOVERING (PUBLIC CORR)	EYKON : CIRQA SELECTION III #G31-206 - TYPE II 20 OZ. (VERIFY WITH MANAGEMENT)
WC-2	WALLCOVERING	EYKON : IMPROMPTU #A25 18201M HOPSACK
WD-1	WOOD BASE	REFER TO DETAIL WOOD BASE DETAIL - (ST-1)
WD-2	WOOD BASE	6" WOOD FACTORY FINISHED CHERRY WOOD TO MATCH EXISTING

WINDOW BLINDS : EXISTING SHALL BE REMOVED AND LABELED, PUT IN STORAGE, THEN RE-INSTALLED. WOOD BLINDS : TRENDS PALMWOOD BY PLASTIBEC (OR APPROVED EQUAL)

*NOTE : ALL FLOORING SHALL HAVE PROPER TRANSITION FROM ONE FINISH TO ANOTHER. CARPET TO MARBLE AND CARPET TO VINYL TILE.



REVISIONS

NO.	DESCRIPTION

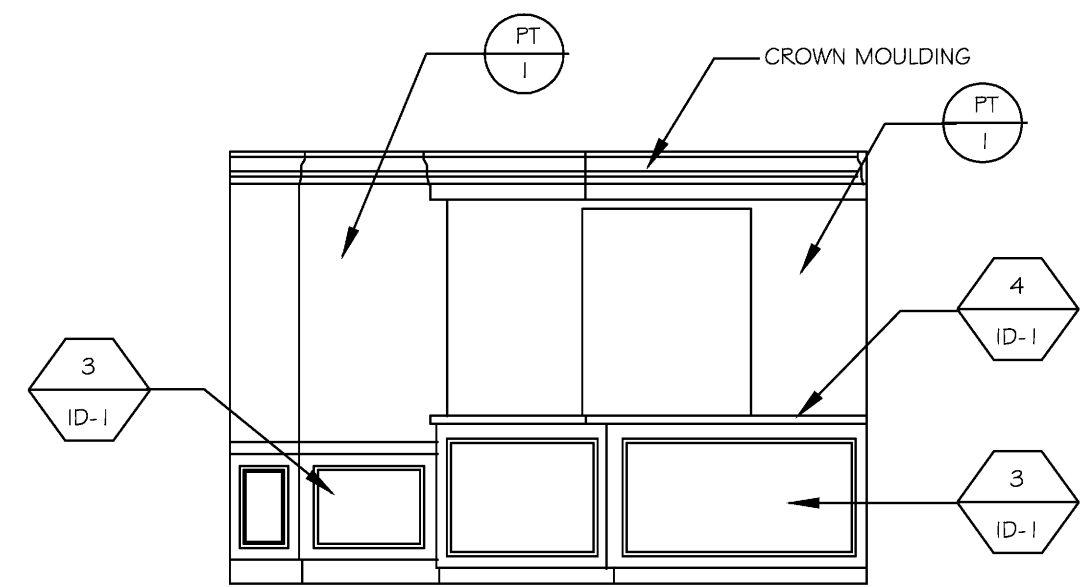
Seal

SEAL

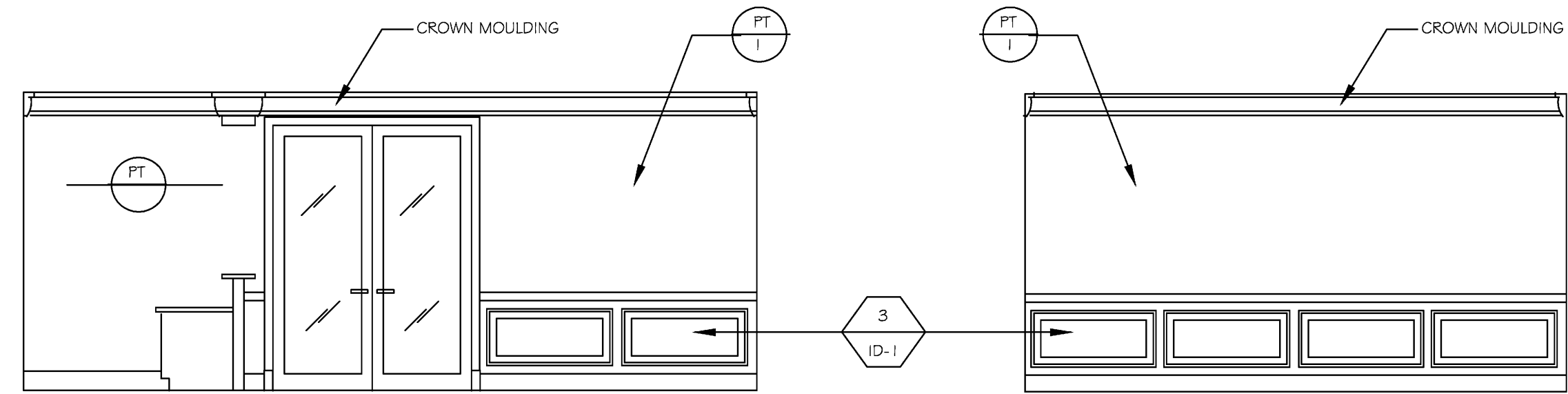
MUSCARA & ASSOCIATES, INC.
11402 Dolphin Lane
North Palm Beach, FL 33408
(561) 630-7733 / (561) 662-2044
bunmyscare@aol.com
FLA LICENSE : IB 0000708

CHASE BUILDING
HICKS, MOTTO & EHRLICH
PALM BEACH GARDENS, FLORIDA

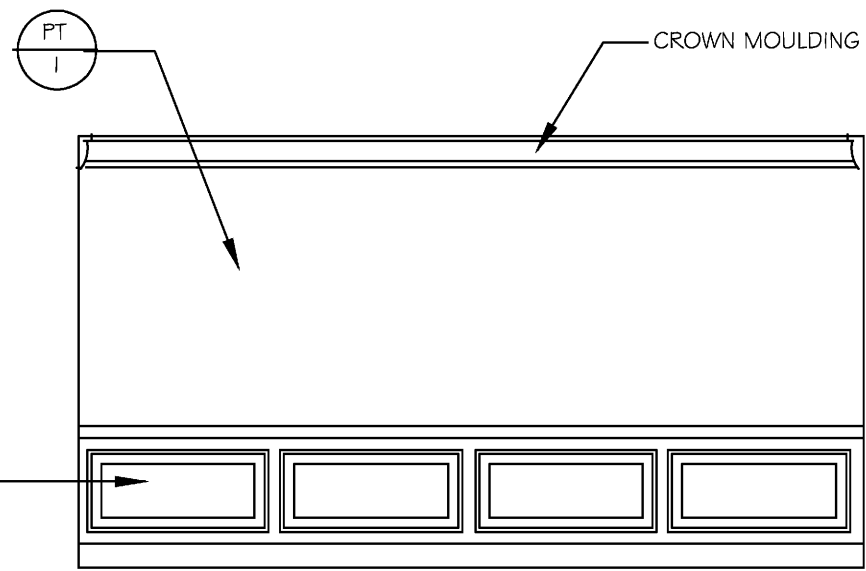
DRAWN BY: BMF
SCALE: AS NOTED
DATE: 10/20/10
JOB NUMBER: #5010103
SHEET: ID-1



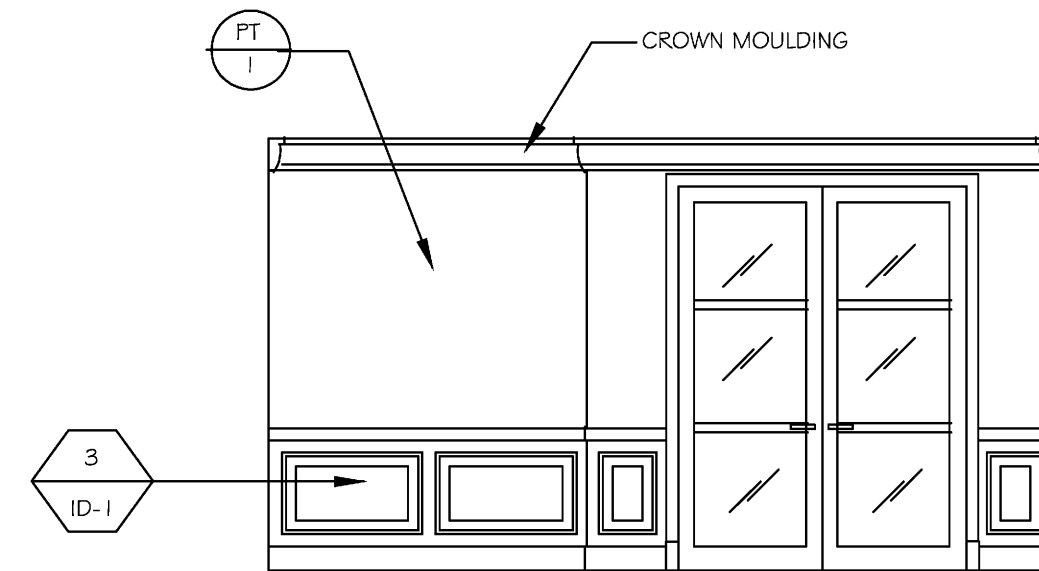
1 ELEVATION
LOBBY
1/4" = 1'-0"



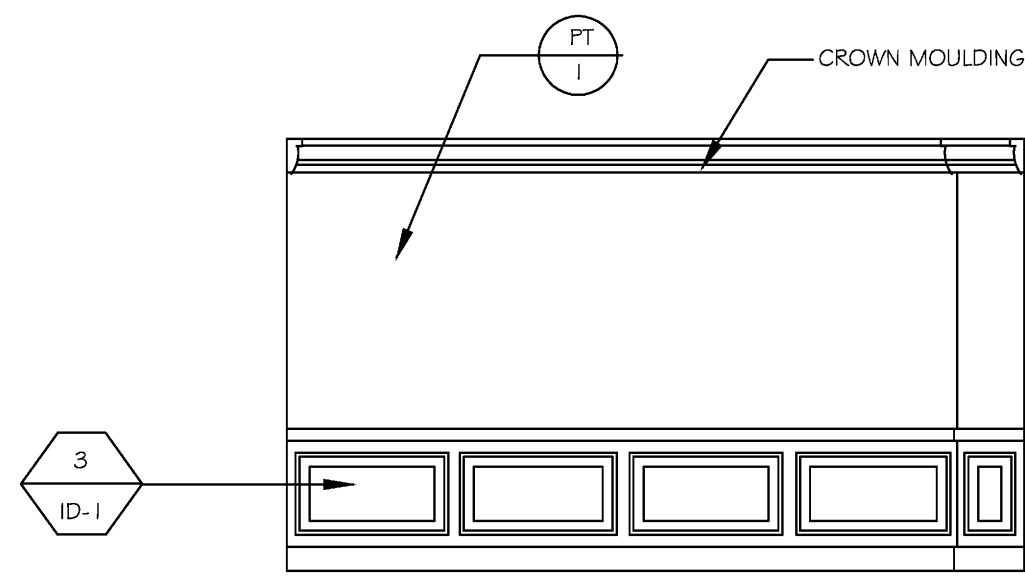
2 ELEVATION
LOBBY
1/4" = 1'-0"



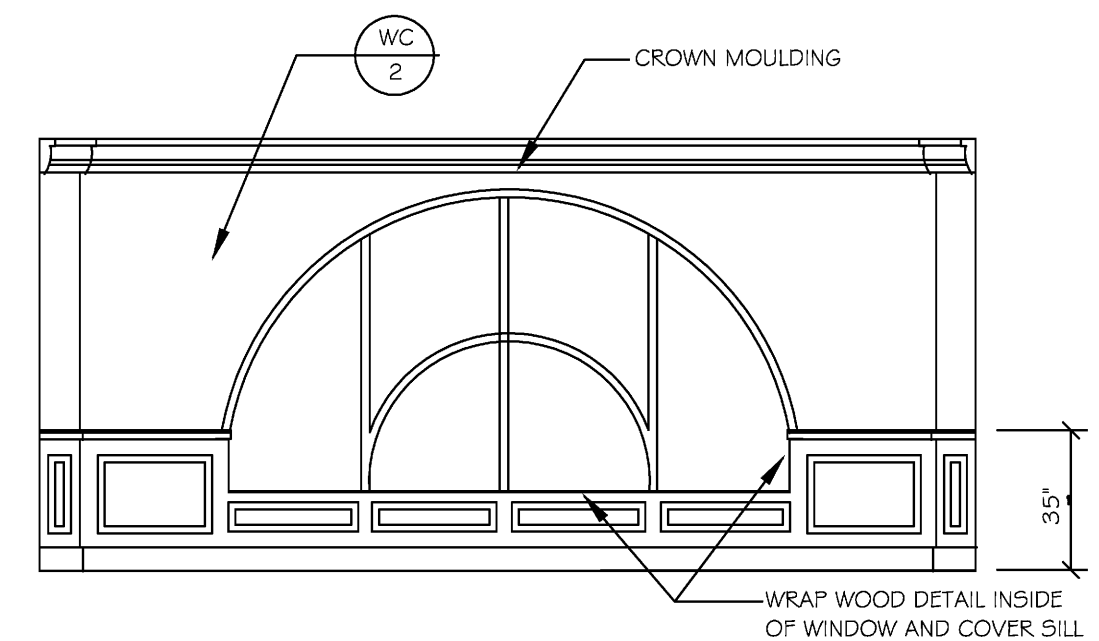
3 ELEVATION
LOBBY
1/4" = 1'-0"



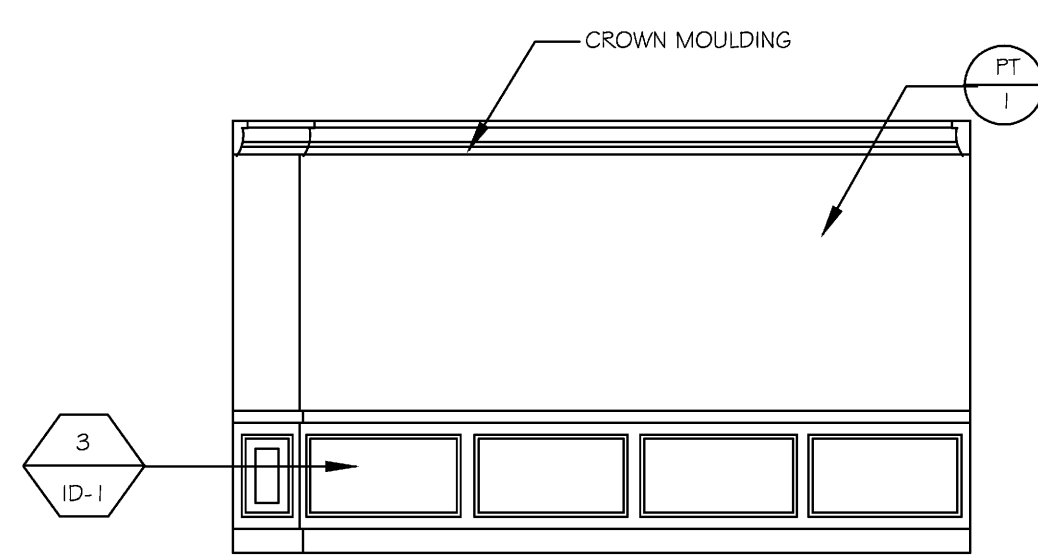
4 ELEVATION
LOBBY
1/4" = 1'-0"



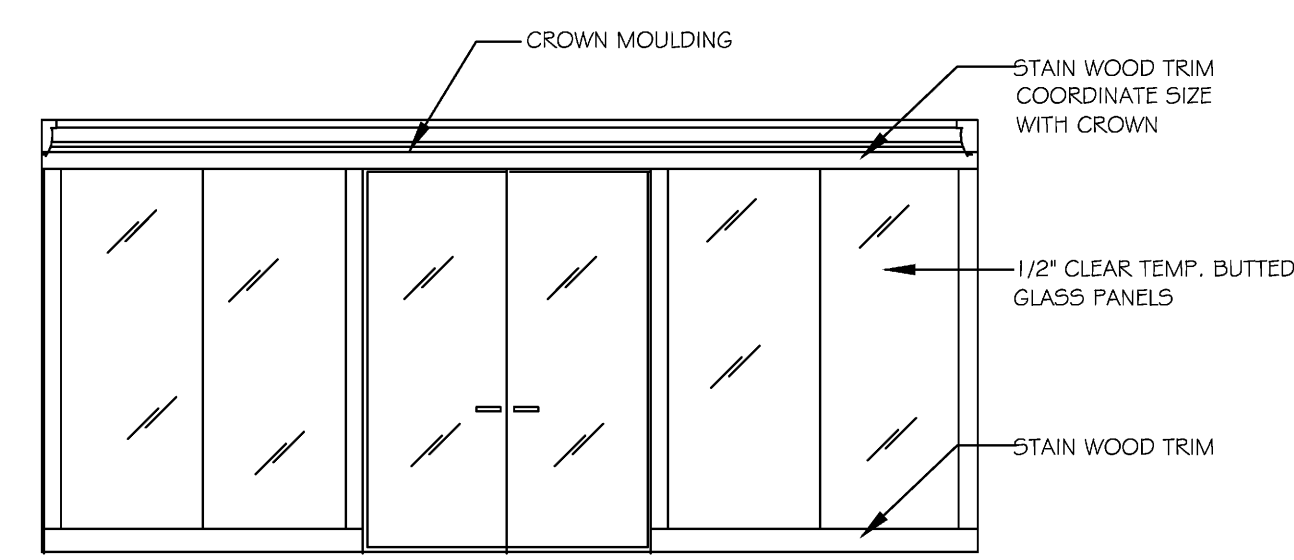
5 ELEVATION
CONFERENCE ROOM
1/4" = 1'-0"



6 ELEVATION
CONFERENCE ROOM
1/4" = 1'-0"

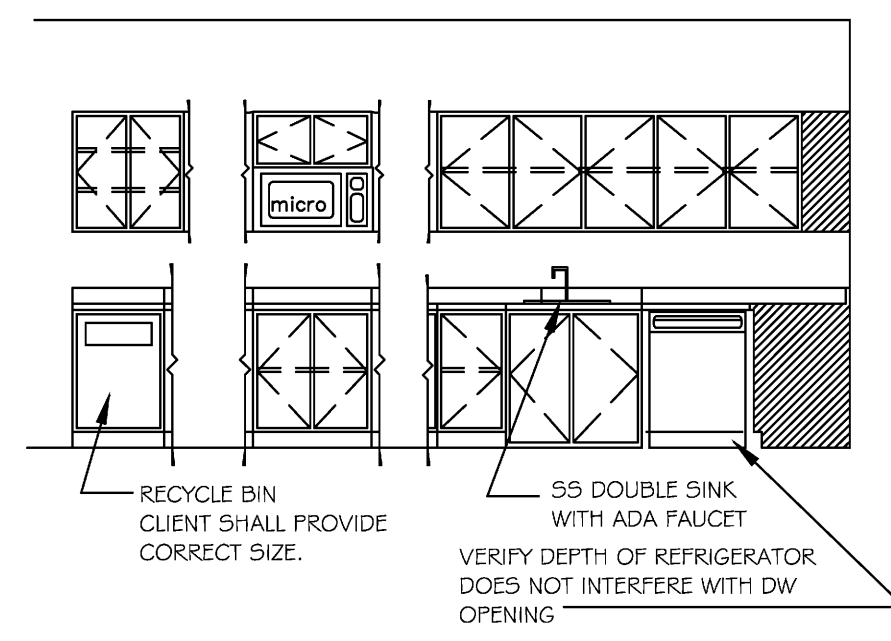


7 ELEVATION
CONFERENCE ROOM
1/4" = 1'-0"

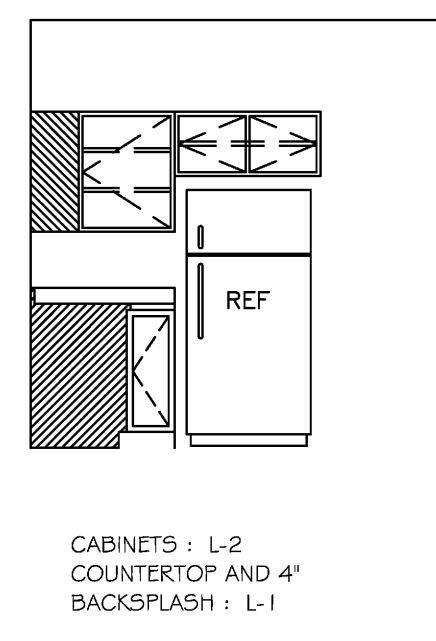


8 ELEVATION
CONFERENCE ROOM
1/4" = 1'-0"

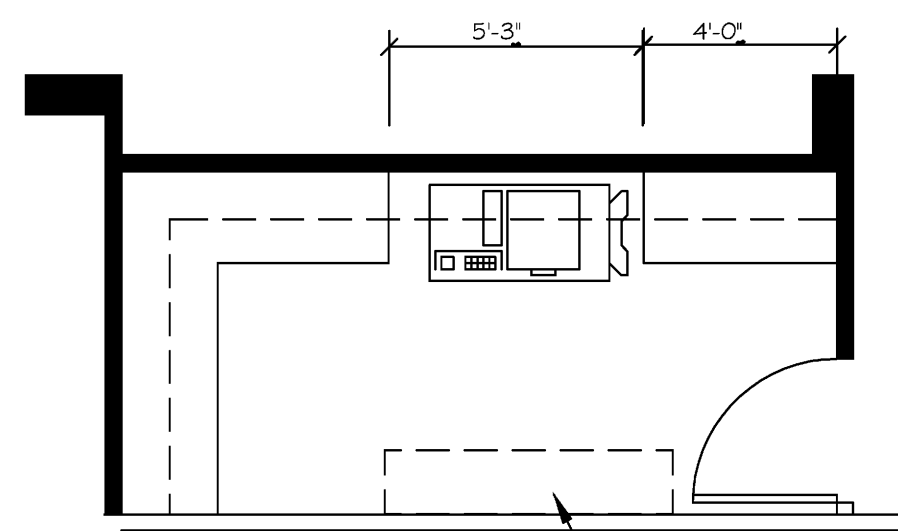
REFER TO ARCHITECTURAL PLANS FOR DOOR DETAIL AND GLASS WALL DETAIL.



9 KITCHEN CABINETS
1/4" = 1'-0"



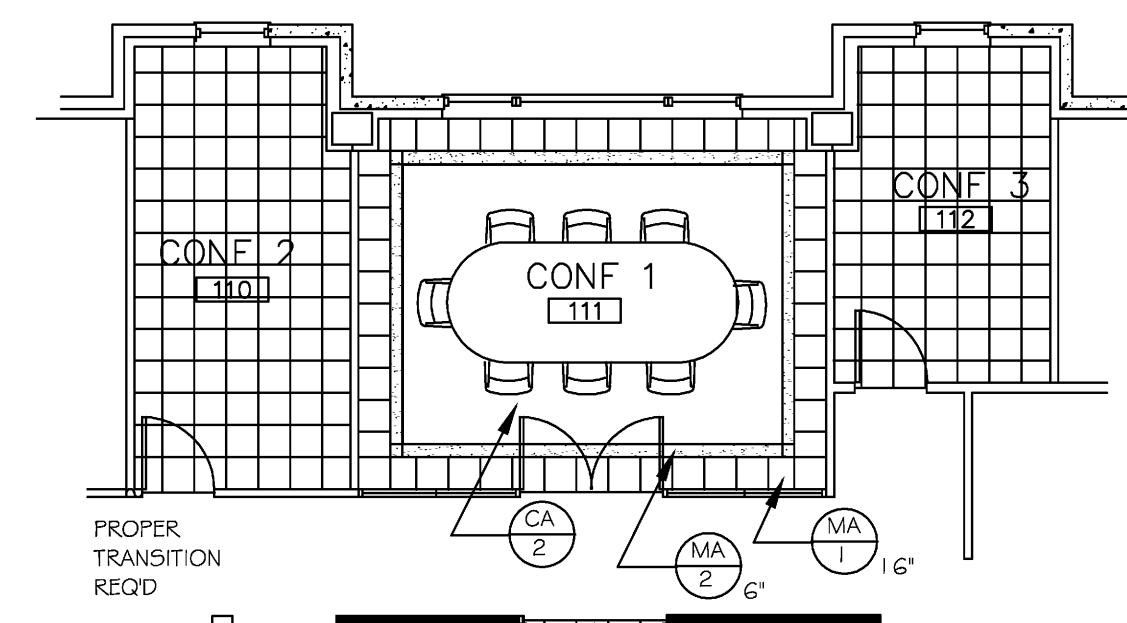
CABINETS : L-2
COUNTERTOP AND 4\"/>



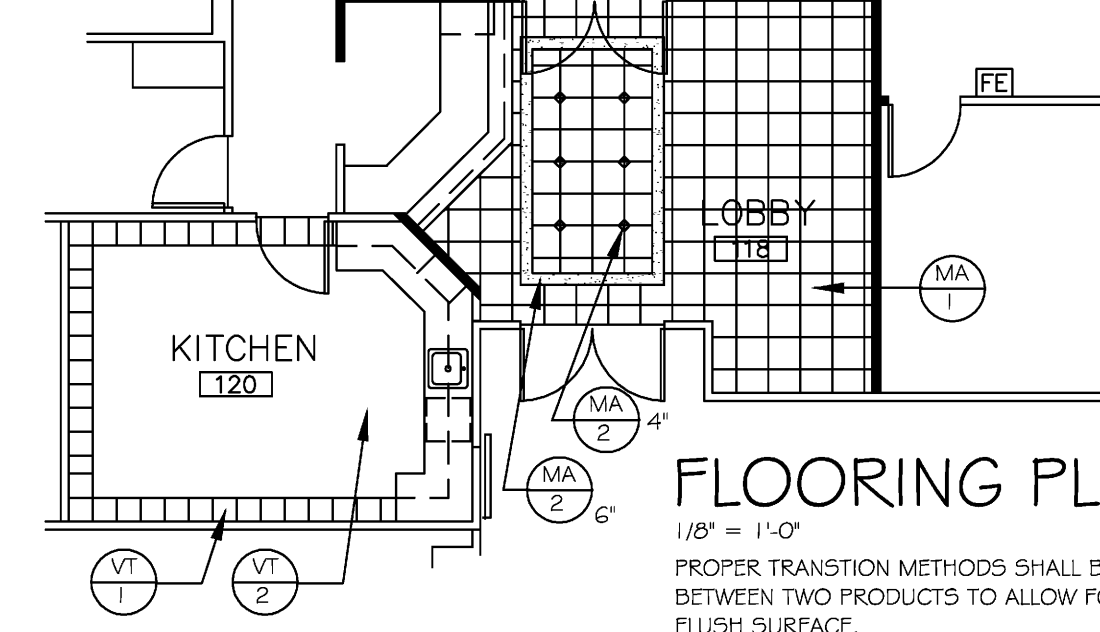
10 WORK ROOM | 22 CABINETS
1/4" = 1'-0"

STANDARD LAMINATE CABINETS (L-2)
COUNTERTOP AND 4\"/>

INSTALL METAL MAIL SLOT ON. VERIFY HT OF INSTALLATION.



PROPER TRANSITION REQD.



FLOORING PLAN
1/8" = 1'-0"
PROPER TRANSITION METHODS SHALL BE USED BETWEEN TWO PRODUCTS TO ALLOW FOR A FLUSH SURFACE.

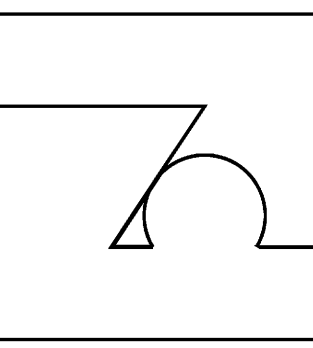
REVISIONS	

See

MUSCARA & ASSOCIATES, INC.
11402 Dolphin Lane, 33408
North Palm Beach, FL
(561) 630-7733 / (561) 662-2044
bunnymuscara@aol.com
FLA LICENSE : IB 0000708

CHASE BUILDING
HICKS, MOTTO & EHRLICH
PALM BEACH GARDENS, FLORIDA

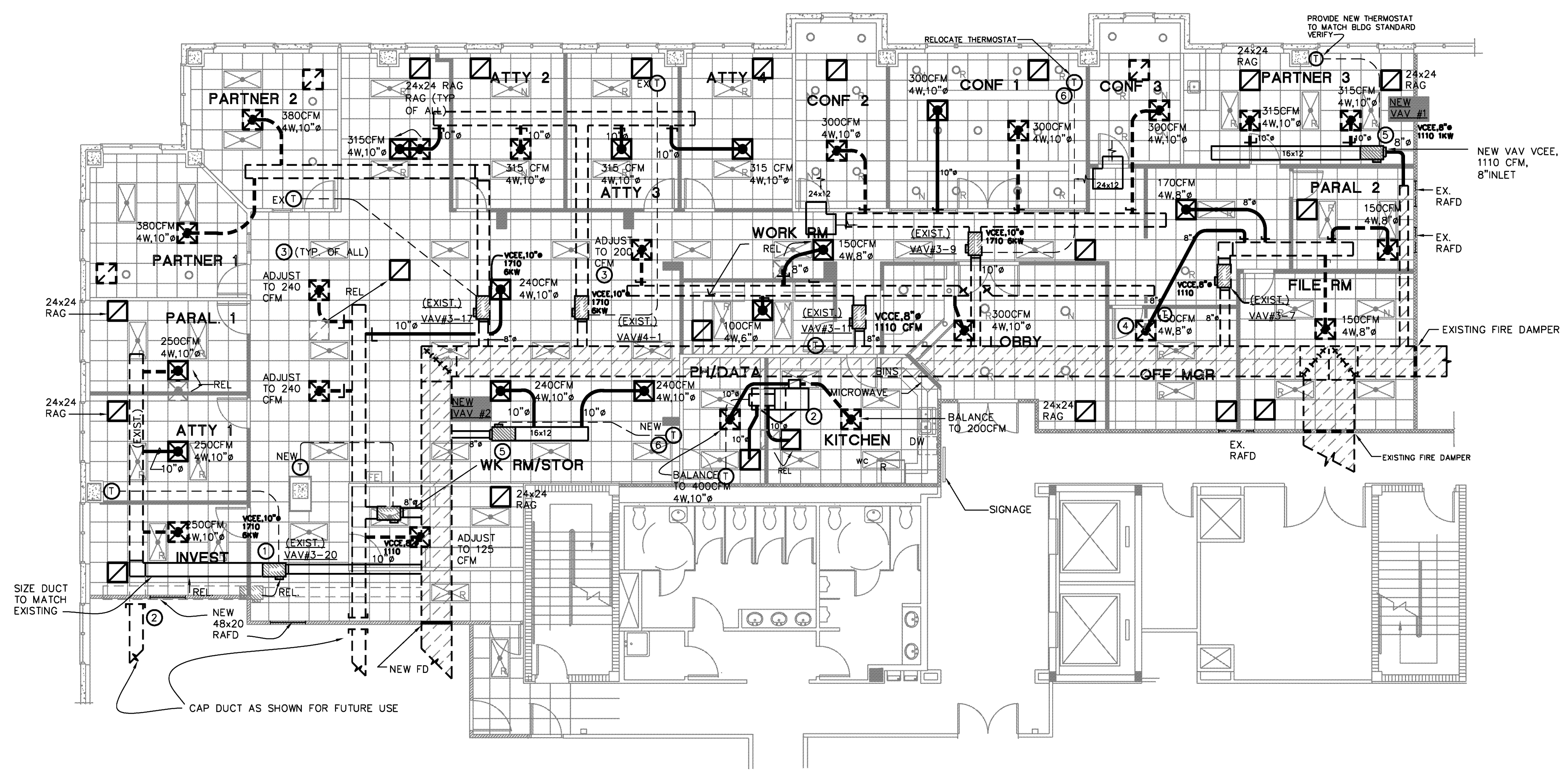
DRAWN BY:	BMF
SCALE:	AS NOTED
DATE:	10/20/10
JOB NUMBER:	#50110/03
SHEET:	ID-2



DATE: 10-18-10
 DRAWN: TA
 CHECKED:
 REVISIONS:

DRAWING NOTES:

- 1 RELOCATE EXISTING VAV AND DUCT TO CLEAR DEMISING WALL AS SHOWN.
- 2 RELOCATED 1.5 TON MINIMATE IN KITCHEN TO CLEAR WALL BETWEEN PH/DATA AND KITCHEN
- 3 WHEN ADJUSTING AIR QUANTITY IN DIFFUSERS, CHECK THE FLEXIBLE DUCT SIZE AND INCREASE DUCT SIZE ACCORDINGLY.
- 4 OFFICE MANAGER: DISCONNECT SUPPLY DIFFUSER IN FROM VAV 3-9 AND TIE IT TO VAV3-7 BY FILE ROOM.
- 5 NEW VAV'S FOR PARTNER 3 & OPEN AREA BY WK RM/STOR:
- 6 PROVIDE NEW THERMOSTAT TO MATCH BUILDING STANDARD.



H.V.A.C. LEGEND

- EXISTING FIBERGLASS DUCTWORK == ==
- NEW FIBERGLASS DUCTWORK == == ==
- EXISTING FLEX --- ---
- EXISTING FLEX TO BE REMOVED - - - -
- NEW FLEX WITH SPIN IN COLLARS/M.V.D. [Symbol]
- NEW OR RELOCATED DIFFUSER [Symbol]
- EXISTING DIFFUSER [Symbol]
- NEW/RELOCATED RETURN AIR GRILLE [Symbol]
- EXISTING RETURN AIR GRILLE [Symbol]
- DIFFUSER TO BE RELOCATED/REMOVED [Symbol]
- RETURN TO BE REMOVED/RELOCATED [Symbol]
- SPIN IN COLLAR W/M.V.D. [Symbol]
- SMOKE DETECTOR [Symbol]
- THERMOSTAT [Symbol]
- FIRE DAMPER [Symbol]
- EXIST. R.A. [Symbol]
- RETURN AIR GRILLE [Symbol]
- EXHAUST FAN [Symbol]
- RELOCATED [Symbol]
- REMOVE AND/OR REUSE [Symbol]
- EXIST. R.A.F.D. [Symbol]

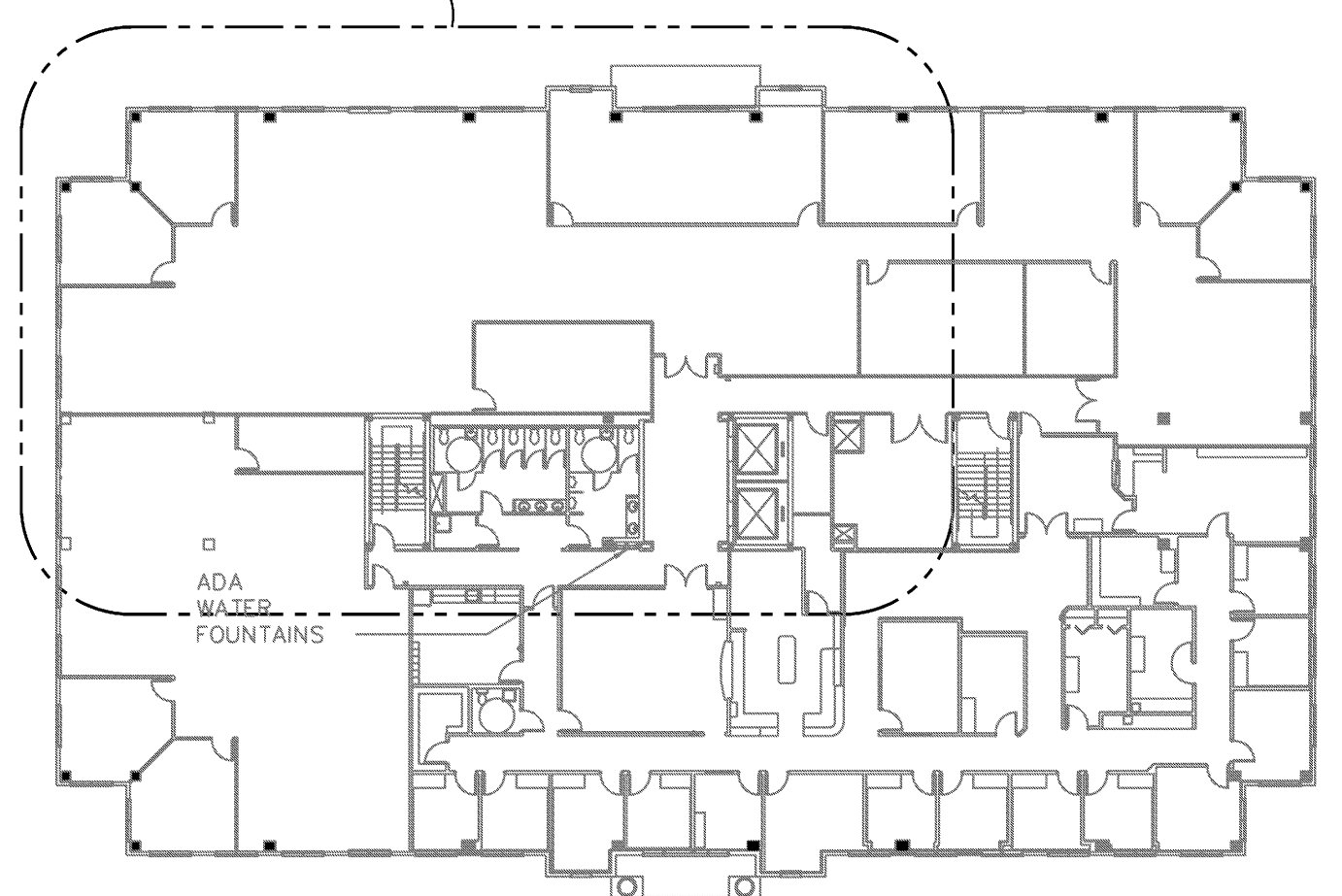
TROY AMMONS ARCHITECT
 1907 NE 4TH ST. #1, DEERFIELD BEACH, FL. 33441
 PHONE: 954-480-6191 AR # 11849
 MUSCARLA & ASSOCIATES - INTERIOR DESIGN
 11402 DOLPHIN LANE N. PALM BEACH, FL. 33408
 PHONE: 954-481-3700

HICKS, MOTTO, EHRLICH
 CHASE BLDG - 3RD FLOOR
 3398 PGA Blvd Palm Beach Gardens 33410

ISSUE FOR CONSTRUCTION

SHEET NO.
 M1
 OF

AREA OF WORK



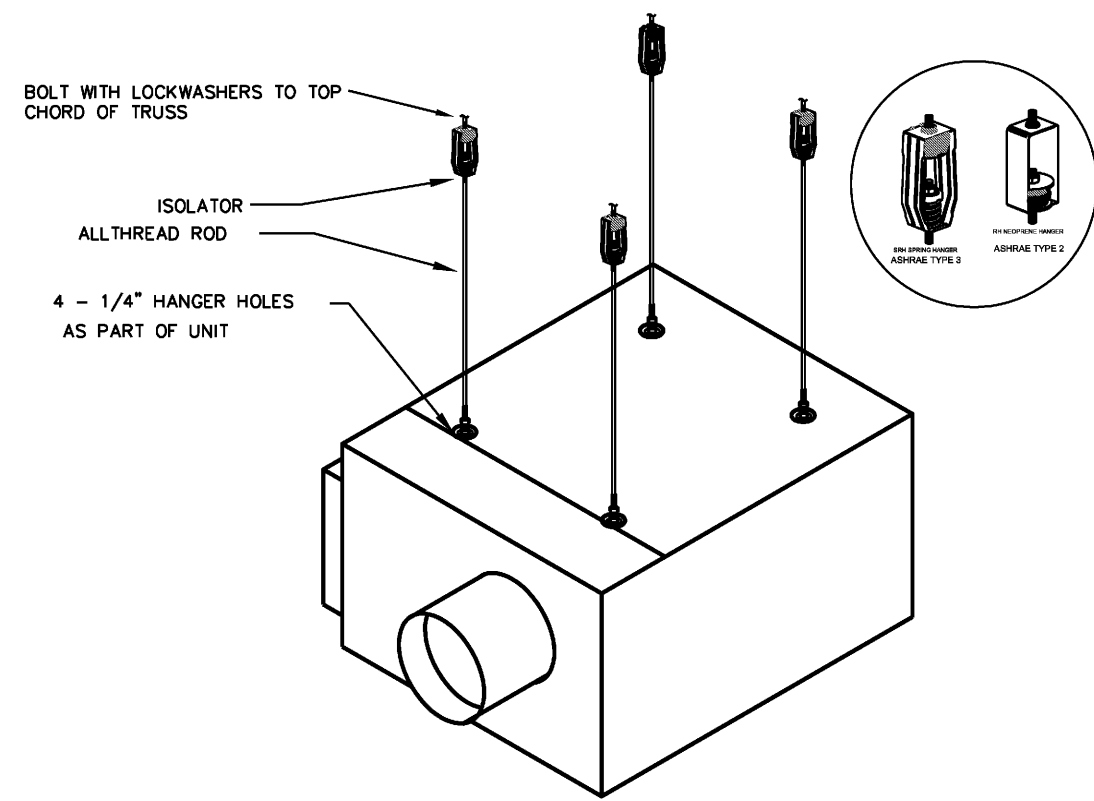
MECHANICAL PLAN
 SCALE: 1/8" = 1'-0"

KEYPLAN
 N.T.S.

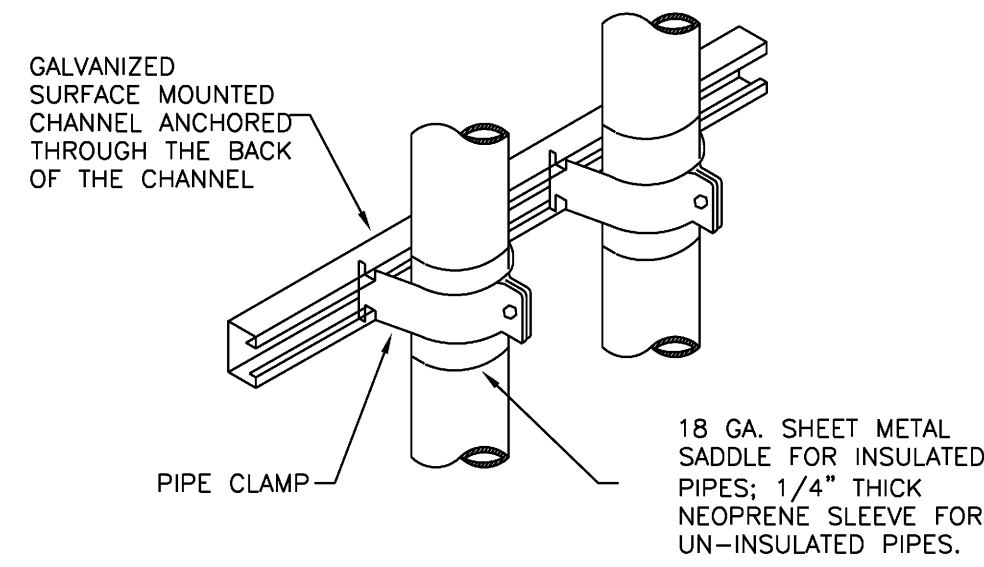
loucks engineering inc.
 consulting engineers
 E. PIHUJ P.E. FL REG 49832
 F. DEZIOR P.E. FL REG 62459
 4520 NE 18th ave. ste. 200, Ft. Lauderdale, FL 33334
 TEL. (954) 938-1881 FLA. REG. #EB-0003306

COPYRIGHT 2010 TROY AMMONS, ARCHITECT

E:\2010\10200-10289\10279 Hicks, Motto, Ehrlich @ Chase Bldg - Ammons\Drawings\10279MT.dwg, 10/20/2010 5:13:11 PM, ALISON, Loucks Engineering, Inc., All Rights Reserved 2010

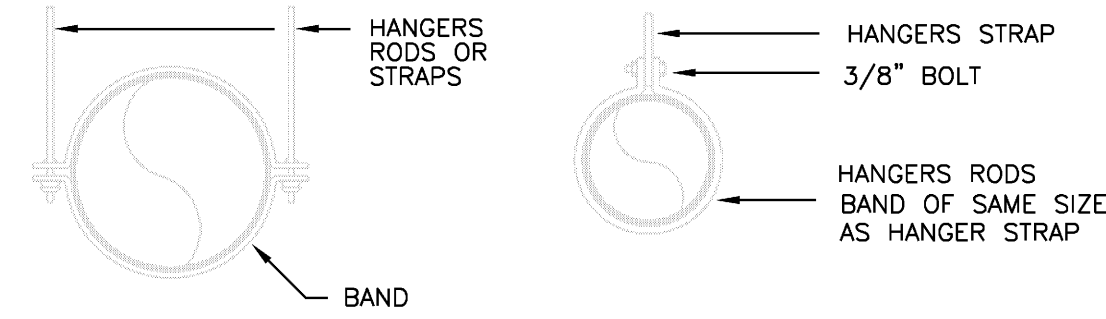


VAV UNIT HANGING DETAIL

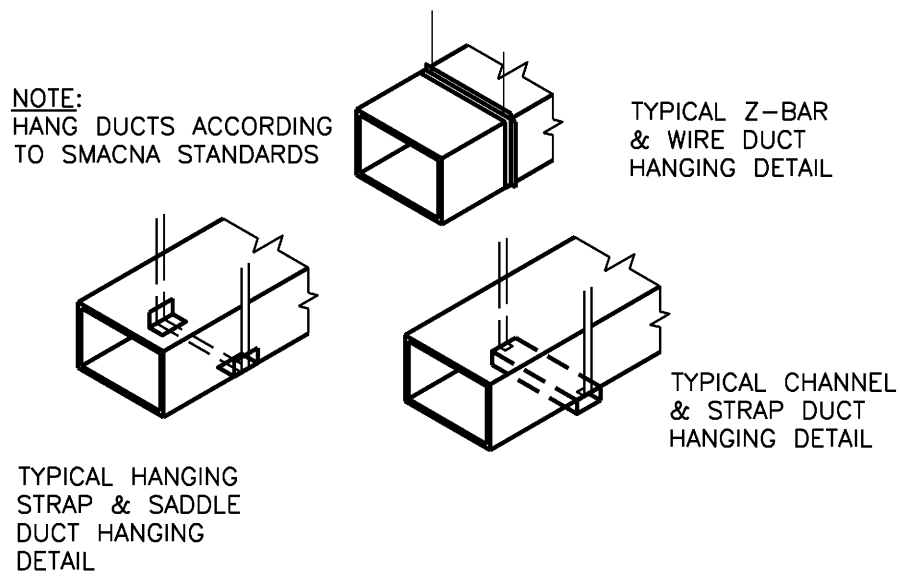


- NOTES:
- 1) APPLICABLE FOR CONTROL TUBING
 - 2) APPLICABLE FOR PIPING NO LARGER THAN 1-1/2"
 - 3) APPLICABLE FOR HORIZONTAL TRAPEZE OR FOR VERTICAL PIPING

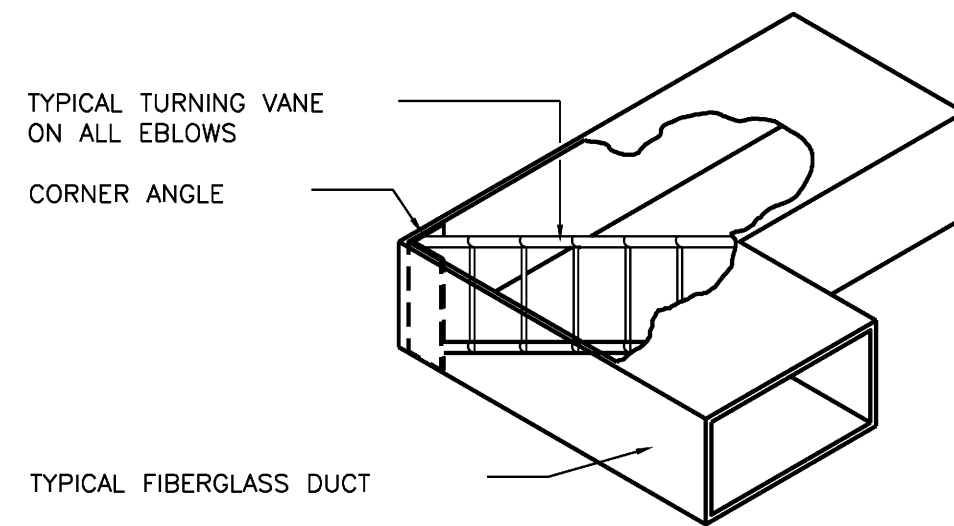
PIPE, TUPE SUPPORT - DETAIL



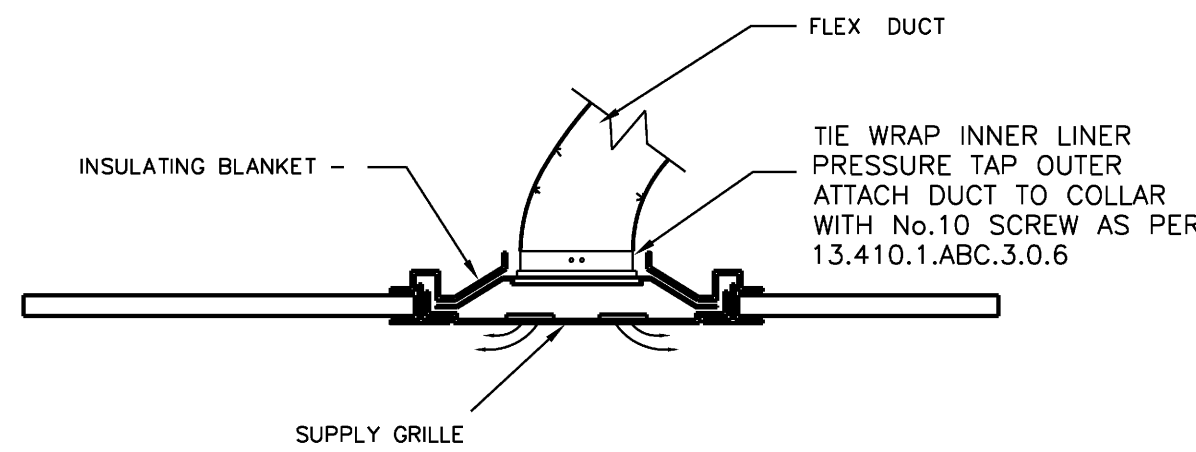
DUCT HANGERS / SUPPORTS - DETAIL



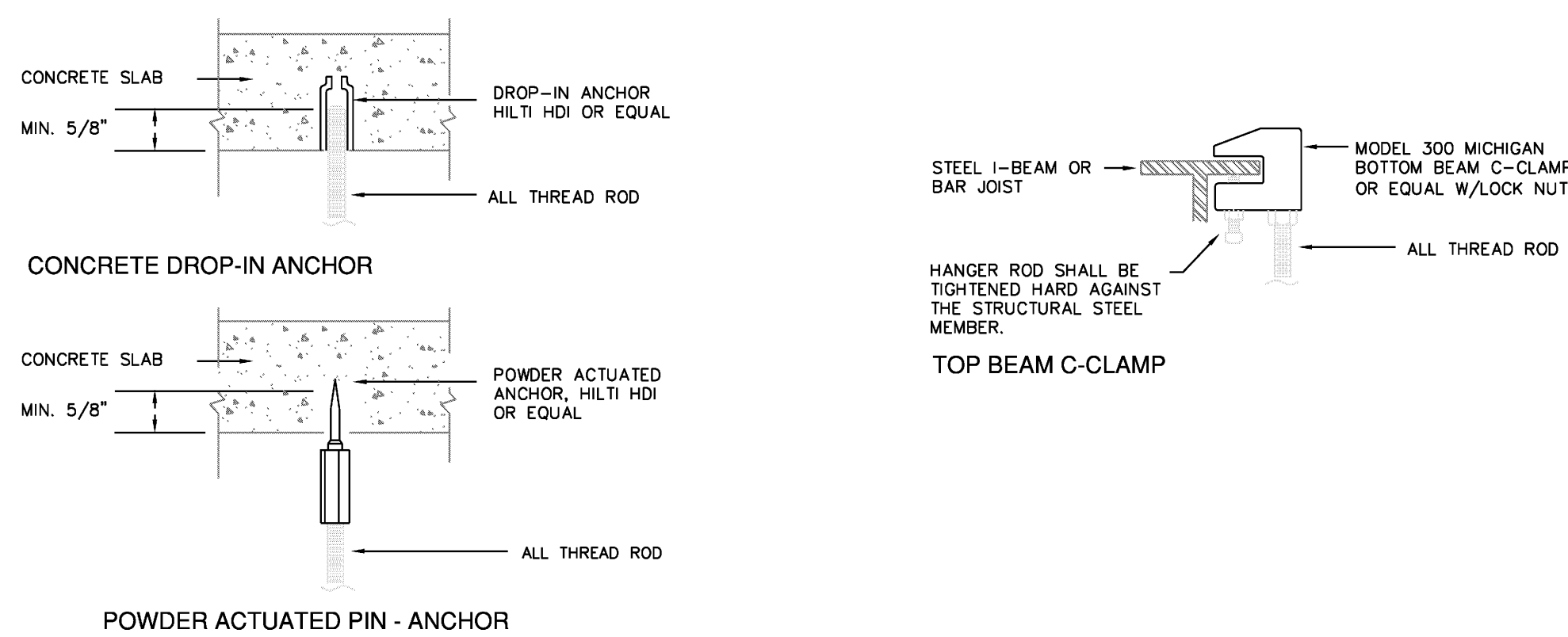
DUCT HANGING DETAIL



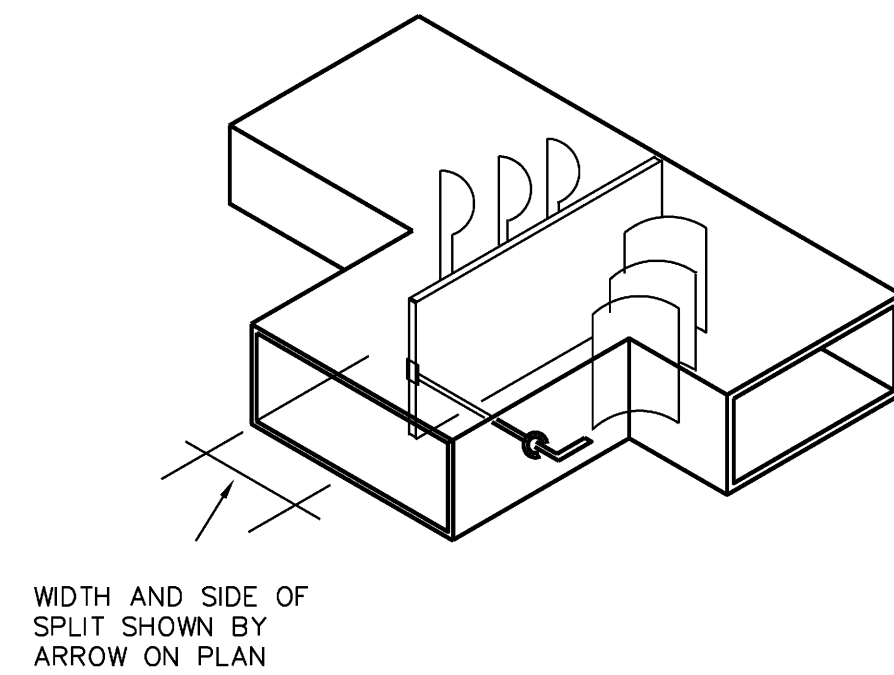
ELBOW TURNING VANE DETAIL



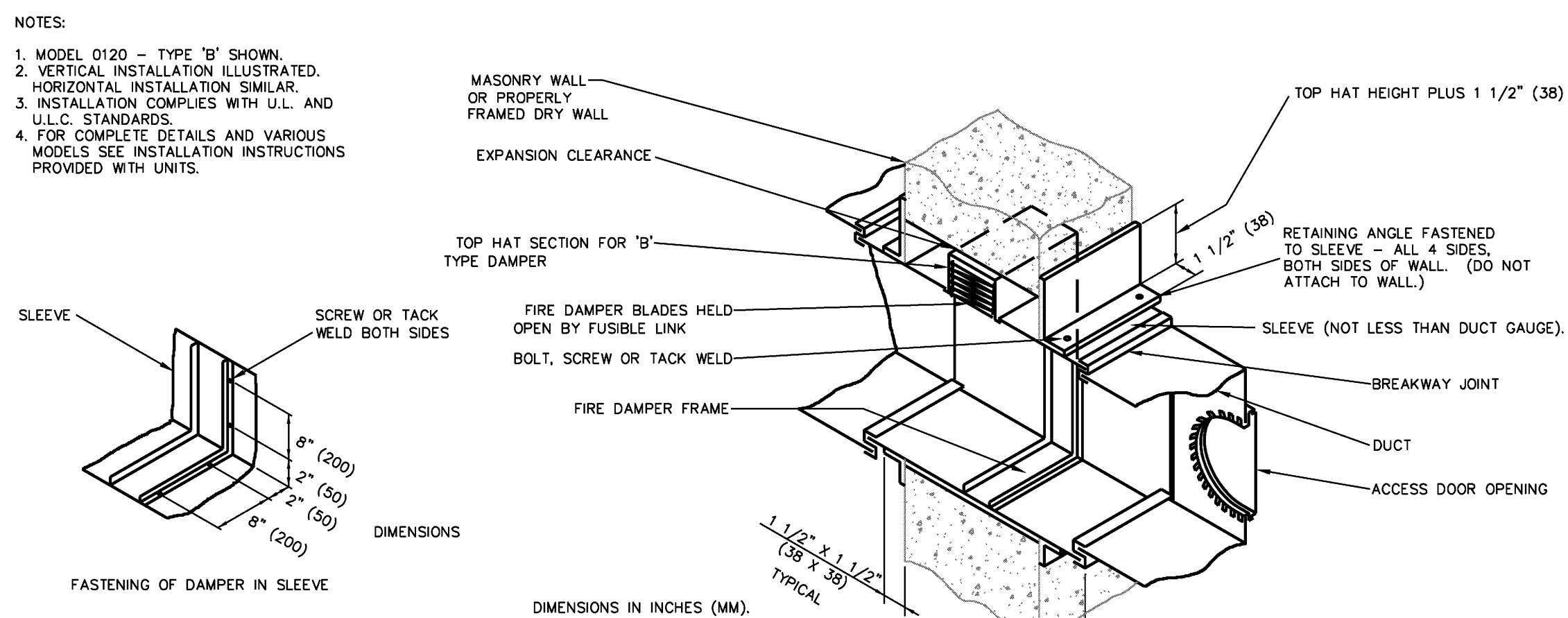
AIR GRILLE DETAIL



ANCHOR SUPPORT - DETAIL



TYPICAL VANED SPLIT NTs



TYPICAL INSTALLATION OF FIRE DAMPER

H.V.A.C. NOTES:

AC SYSTEM:

EXISTING VAV SYSTEM PLUS (2) NEW VAV'S, ONE IS LOCATED IN OFFICE PARTNER #3 AND THE OTHER IN OPEN AREA BY WK RM/ STOR. FOR SPECIFICATION SEE BELOW.

DUCTWORK:

S.M.A.C.N.A. MEDIUM PRESSURE GALVANIZED DUCT, PROVIDE 1.5" R=6 INNER LINER. 48" O.C. ALL TURNS AND TRANSITIONS MASTIC SEAL ALL SEAMS AND JOINTS.

RIGID - FOIL FACED BACKED FIBERGLASS R=6 AT 1.5", SUPPORTED 48" O.C., AT ALL TURNS, TURNS AND TRANSITIONS, TAPED AND MASTIC SEALED ALL SEAMS.

FLEX- U.L. CLASS ONE AIR DUCT. R6 SUPPORT 48" O.C. PROVIDE SPIN IN COLLARS WITH M.V.D. WHEN ACCESSIBLE OR WITH SCOOP WHEN NOT ACCESSIBLE. TIE WRAP INNER LINER TWICE AND TAPE AND MASTIC SEAL OUTER LINER TAKING CARE NOT TO COMPRESS INSULATION.

TYPICAL SUPPLY BRANCH WITH CONICAL TAP, ROUND TO RECTANGULAR TRANSITION TO RECTANGULAR DIFFUSER.

EXHAUST:

GALVANIZED RECTANGLE DUCT OR ROUND SNAP LOCK METAL DUCT WILL BE INSTALLED WITH DUCT SUPPORTS AT 48 INCHES ON CENTER, INSULATE WITH R=6 FOIL FACED INSULATION WRAP U.L. AS REQUIRED.

NOTE: ALL FRESH AIR, OUTSIDE MAKE AIR TO BE INSULATED WITH 1.5" DUCT WRAP, PROVIDE COLLARS AT BRANCH TAKE OFF'S.

DIFFUSERS: MATCH BULDG STANDARDS.

RETURN GRILLES: MATCH BLDG. STANDARD.

THERMOSTAT: MATCHES EXISTING EQUIPMENT

FIRE DAMPER: NAILOR-HART OR EQUAL

VAV--SCHEDULE

TAG NO	LOCATION	MODEL TRANE	INLET(IN)	CFM RANGE	HEAT(KW)	CFM REQUIRED	VOLT
NEW VAV#1	PARTNER #3 OFFICE	VCCE	8"	250-900	1	630	208/3PH
NEW VAV#2	BY WK RM/STOR	VCCE	8"	250-900	NO HEAT	480	-

NEW VAV TO BE TIED TO BUILDING AUTOMATION SYSTEM BY TRANE.

FRESH AIR CALCULATION

OFFICE: 5801 SQ.FT
5801 SQ.FT x 7P/1000SQ.FT x 20 CFM/P = 812 CFM

TOTAL OUTSIDE AIR REQUIRED IS 812 CFM
CONTRACTOR TO ADJUST THE EXISTING SYSTEM TO SATISFY THIS REQUIREMENT.

GENERAL MECHANICAL NOTES

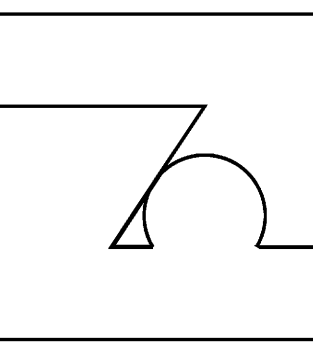
- 1- ALL WORK EXECUTED UNDER THIS OFFICIAL DOCUMENTS SHOULD BE PERFORMED BY A LICENSED AND INSURED MECHANICAL CONTRACTOR AND BE IN COMPLIANCE WITH THE LATEST FLORIDA BUILDING CODE (FBC), SHEET METAL & AIR CONDITIONING CONTRACTOR'S ASSOCIATION (SMACNA) STANDARDS, AND ALL OTHER APPLICABLE STATE AND LOCAL CODE.
- 2- ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANSHIP MANNER TO PRODUCE A COMPLETE SYSTEM THAT IS FULLY BALANCED, AND ADHERED TO ALL APPLICABLE CODE AND REGULATIONS.
- 3- MECHANICAL CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE THAT THE COMPLETE SYSTEM INSTALLED IS FREE OF DEFECTS OF MATERIALS AND WORKMANSHIP FOR A PERIOD OF A YEAR AFTER THE WORK IS COMPLETE AND TURNED TO THE OWNER.
- 4- THE MECHANICAL CONTRACTOR IS RESPONSIBLE TO OBTAIN HIS OWN PERMIT AND PAY ALL PERMIT AND INSPECTION FEES.
- 5- AT THE COMPLETION OF THE PROJECT THE CONTRACTOR IS RESPONSIBLE TO PROVIDE A SET OF PRINTS CLEARLY MARKED AND DEPICTED ALL AS-BUILT CONDITIONS TO THE ENGINEER FOR RECORD.
- 6- CONTRACTOR SHALL PAY SPECIAL ATTENTION TO OWNER EQUIPMENT, FURNITURE, AND CARPETING TO PREVENT CONTAMINATION BY COVERING AND WRAPPING FURNITURE AND EQUIPMENT. ALL WASTE AND DEBRIS SHALL BE REMOVE AT THE END OF EACH DAY TO MAINTAIN ACCEPTABLE INDOOR AIR QUALITY LEVEL DURING THE CONSTRUCTION.
- 7- ANY PORTION OF EXISTING BUILDING (FLOOR, WALL, CEILING, OR ROOF) THAT IS AFFECTED BY EITHER REMOVAL, RELOCATION OR INSTALLATION OF A NEW EQUIPMENT SHALL BE REPAIRED AND MATCHED FINISHED EXISTING CONDITIONS ACCORDING TO ARCHITECTURAL DRAWINGS OR SPECIFICATIONS.
- 8- WHEREVER DUCT RUNS THROUGH STRUCTURAL ELEMENT SUCH AS BEAM PRECAUTION SHALL BE TAKEN TO COORDINATE WITH OTHER TRADES TO RELOCATE OR TO PROVIDE NECESSARY SLEEVE BEFORE CONCRETE IS BEING POURED.
- 9- SUPPLY 6 COPIES OF SHOP DRAWINGS FOR REVIEW TO ARCHITECT. NO EQUIPMENT IS TO BE ORDERED PRIOR TO THEIR APPROVAL.
- 10- MECHANICAL CONTRACTOR TO PROVIDE TWO (2) COMFORT BALANCE VISITS TO SUIT THE NEEDS OF THE CLIENTS.
- 11- OPENING AND DUCT TRAVELING THROUGH FIRE RATED WALL, TENANT DEMISING WALL, MECHANICAL AND ELECTRICAL ROOM, WALL AND FLOOR PARTITION, FLOOR AND ROOF SLAB SHALL BE INSTALLED WITH "B"-FIRE DAMPER.
- 12- DIFFUSERS, SUPPLY AND RETURN GRILLES, CEILING EXHAUST FAN, INSTALLED IN FIRE RATED CEILING SHALL BE PROVIDED WITH RADIATION DAMPER. SUPPLY AND RETURN DIFFUSER SHALL BE METAL-AIRE BZZU FIRE RATED.
- 13- H.V.A.C. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A FULLY OPERATIONAL AND BALANCED SYSTEM THAT ADHERES TO ALL APPLICABLE CODES AND REGULATIONS.
- 14- CONTRACTOR TO PROVIDE CERTIFIED TEST AND BALANCE OF ALL SYSTEMS, INCLUDING BUT LIMITED TO HOODS SUPPLIES AND EXHAUST.

SITE VISIT

- 1- MECHANICAL CONTRACTOR IS DULY REQUIRED TO VISIT PROJECT SITE AND VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS. HE OR SHE SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY AT ONCE. FAILURE TO DO SO, THE MECHANICAL CONTRACTOR IS PROCEEDING AT HIS OWN RISK.
- 2- DESIGN THAT IS CALLED FOR NEW DUCT OR PIPING TO BE CONNECTED TO EXISTING SYSTEM REQUIRES THE CONTRACTOR TO VERIFY EXISTING DUCT & PIPING SIZE BEFORE FABRICATION AND INSTALLATION.
- 3- WHENEVER INTERFERENCE OR CONFLICT OCCURS WITH THE PROPOSED DESIGN, BEFORE PROCEEDING TO ANY CHANGE OR DEVIATION FROM THE EXISTING BID, THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR THE CHANGE INCLUDED A DETAILED DRAWING FOR APPROVAL FROM ARCHITECT/ ENGINEER.
- 4- CONTRACTOR SHALL CONSULT WITH STRUCTURAL ENGINEER WHEN CUTTING OR MAKING OPENING IN ANY BUILDING COMPONENT. CONTRACTOR SHALL VERIFY THAT STRUCTURAL INTEGRITY OF THE BUILDING IS NOT BEING COMPROMISED.
- 5- POST TENSION STRUCTURAL SLAB: NO CUTTING OR DRILLING SHALL BE TAKEN PLACE WITHOUT THE X-RAY OF THE SLAB OR THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER OF THE BUILDING.

EXISTING HVAC SYSTEM

- 1- MECHANICAL CONTRACTOR MUST CHANGE THE AIR FILTER IN ALL WORKING AIR CONDITIONING UNIT DURING CONSTRUCTION EVERY 21 DAYS OR LESS DEPENDING ON THE AMBIENT ENVIRONMENT TO PREVENT AIR CONTAMINATION, EQUIPMENT FAILURE SUCH AS BEARING FAILURE, DAMPER MALFUNCTION, ETC...
- 2- AFTER CONSTRUCTION MECHANICAL CONTRACTOR IS TO VACUUM THOROUGHLY THE MECHANICAL ROOM TO REMOVE ALL DUSTY PARTICLES, INSPECT AND REPLACE AIR FILTERS, BEARINGS OR BELTS FOR OPTIMAL UNIT OPERATION.
- 3- WHEN REUSE EXISTING AIR CONDITIONING THE CONTRACTOR MUST CLEAN THE COOLING AND THE CONDENSER COILS, CHECK AND ADJUST REFRIGERANT CHARGE TO ENSURE PROPER UNIT FUNCTION, VERIFY THE EXISTING CONDENSATE PIPING IS IN GOOD WORKING CONDITION, AND MAKE NECESSARY REPAIR. CONTRACTOR SHALL CHECK ALL ELECTRICAL COMPONENTS, TIGHTEN ALL ELECTRICAL CONNECTIONS FOR PROPER OPERATION. DETERIORATED DUCTWORK AND CEILING INSULATION SHALL BE REPLACED.
- 4- ALL EXISTING DUCTWORK SHALL BE THOROUGHLY INSPECTED AND REPAIRED REMOVED EQUIPMENT THAT IS NOT BEING USED SHALL BE RETURNED TO THE OWNER.
- 5- TO ENSURE AIRTIGHT SYSTEM AND COMPLIANCE WITH SMACNA. DECAYED AND 6- ANY EQUIPMENT THAT WAS TEMPORARILY DISCONNECTED WITH RESPECT TO A REMOVAL OF ANY OTHER DEVICE SHALL BE RECONNECTED TO THE EXISTING SYSTEM AND VERIFIED THAT IT IS FULLY OPERATED.
- 7- CONTRACTOR SHALL VERIFY EXISTING AIR CONDITIONING AND HEATING SYSTEM ITS PERFORMANCE RANGE WITH RESPECT TO ITS VOLUME CAPACITY.



DATE: 10-18-10

DRAWN: TA

CHECKED:

REVISIONS:

TROY AMMONS ARCHITECT
1907 NE 4TH ST. #1, DEERFIELD BEACH, FL. 33441
PHONE: 954-480-6191 AR # 11849
MUSCARA & ASSOCIATES - INTERIOR DESIGN
11402 DOLPHIN LANE N. PALM BEACH, FL. 33408
PHONE: 954-481-3700

HICKS, MOTTO, EHRLICH
CHASE BLDG - 3RD FLOOR
3398 PGA Blvd Palm Beach Gardens 33410

ISSUE FOR CONSTRUCTION

SHEET NO.

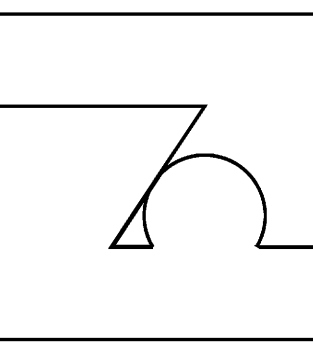
M2

OF

loucks engineering inc.
consulting engineers
E. PALHU P.E. FL REG 49832
F. DEZDOR P.E. FL REG 62459
4520 NE 18th ave. ste. 200, Ft. Lauderdale, FL 33334
TEL. (954) 938-1881 FLA. REG. #EB-0003306

COPYRIGHT 2010 TROY AMMONS, ARCHITECT

E:\2010\10200-10289\10279 Hicks, Motto, Ehrlich @ Chase Bldg - Ammons\Drawings\10279M2.dwg, 10/20/2010 5:13:13 PM, A.LISON, Loucks Engineering, Inc., All Rights Reserved 2010



DATE: 10-18-10

DRAWN: TA

CHECKED:

REVISIONS:

LINE LEGEND

---	COLD WATER
- - - -	HOT WATER 110°F
---	WASTE
- - - -	EXISTING WASTE
---	VENT

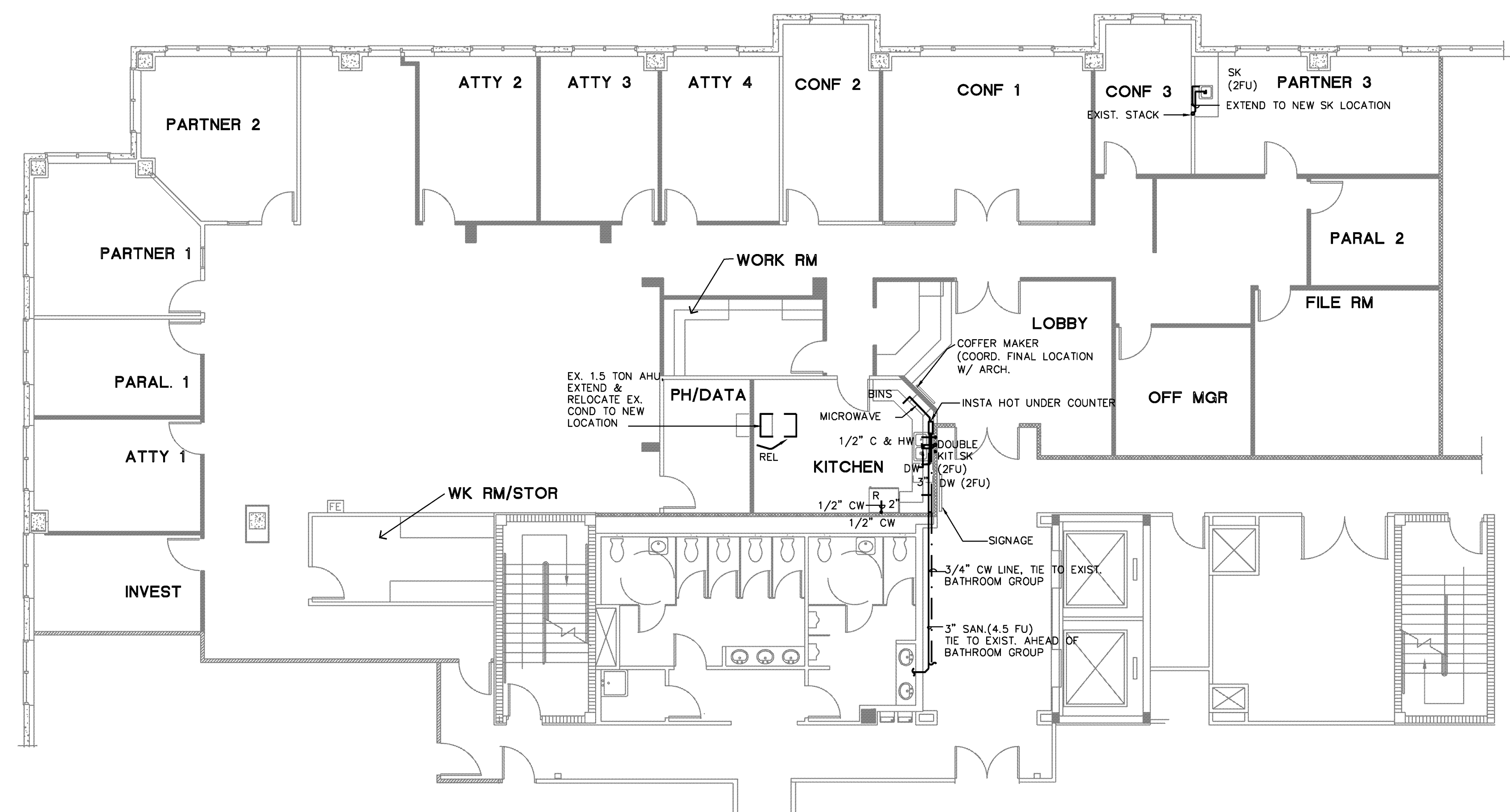
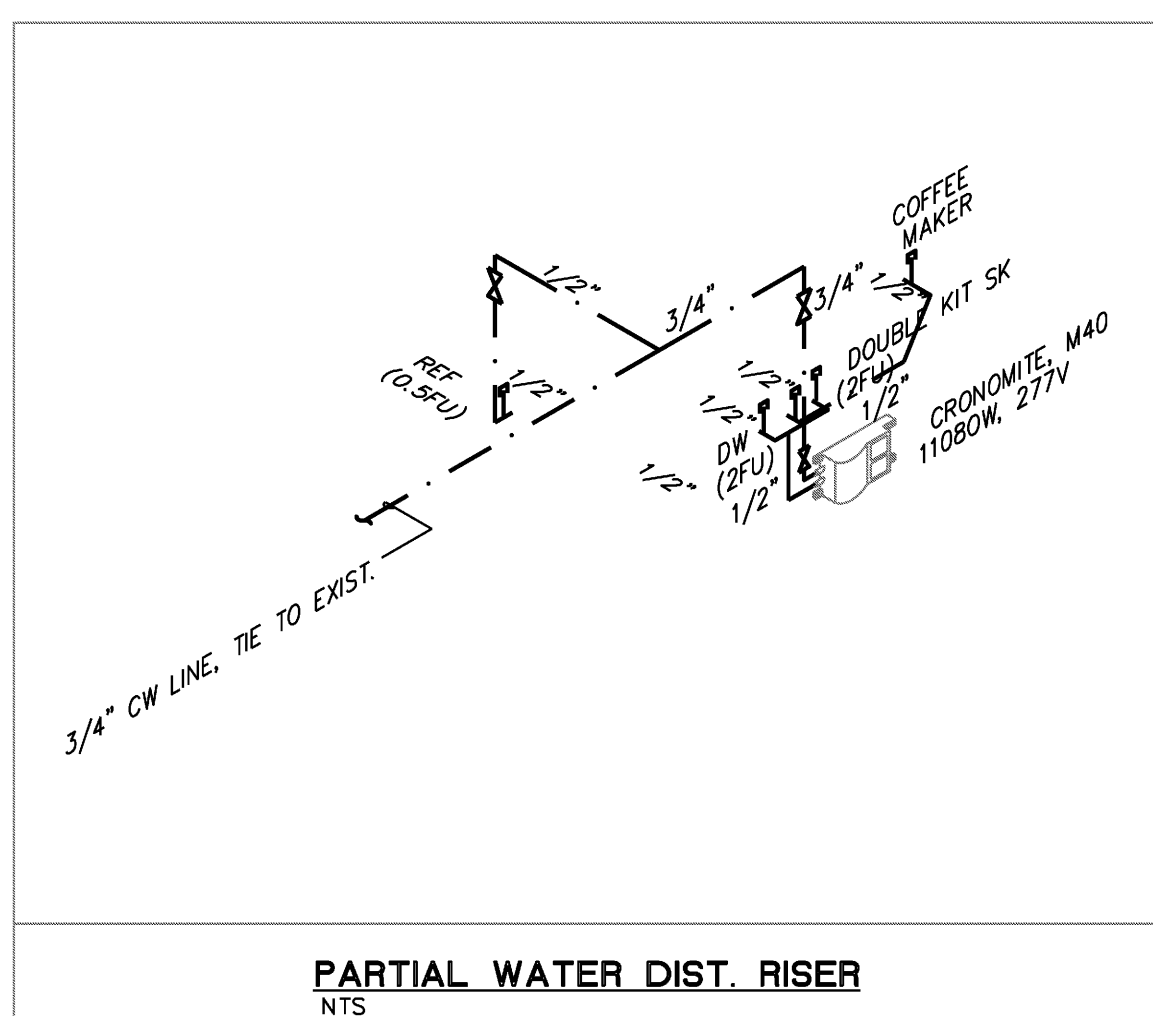
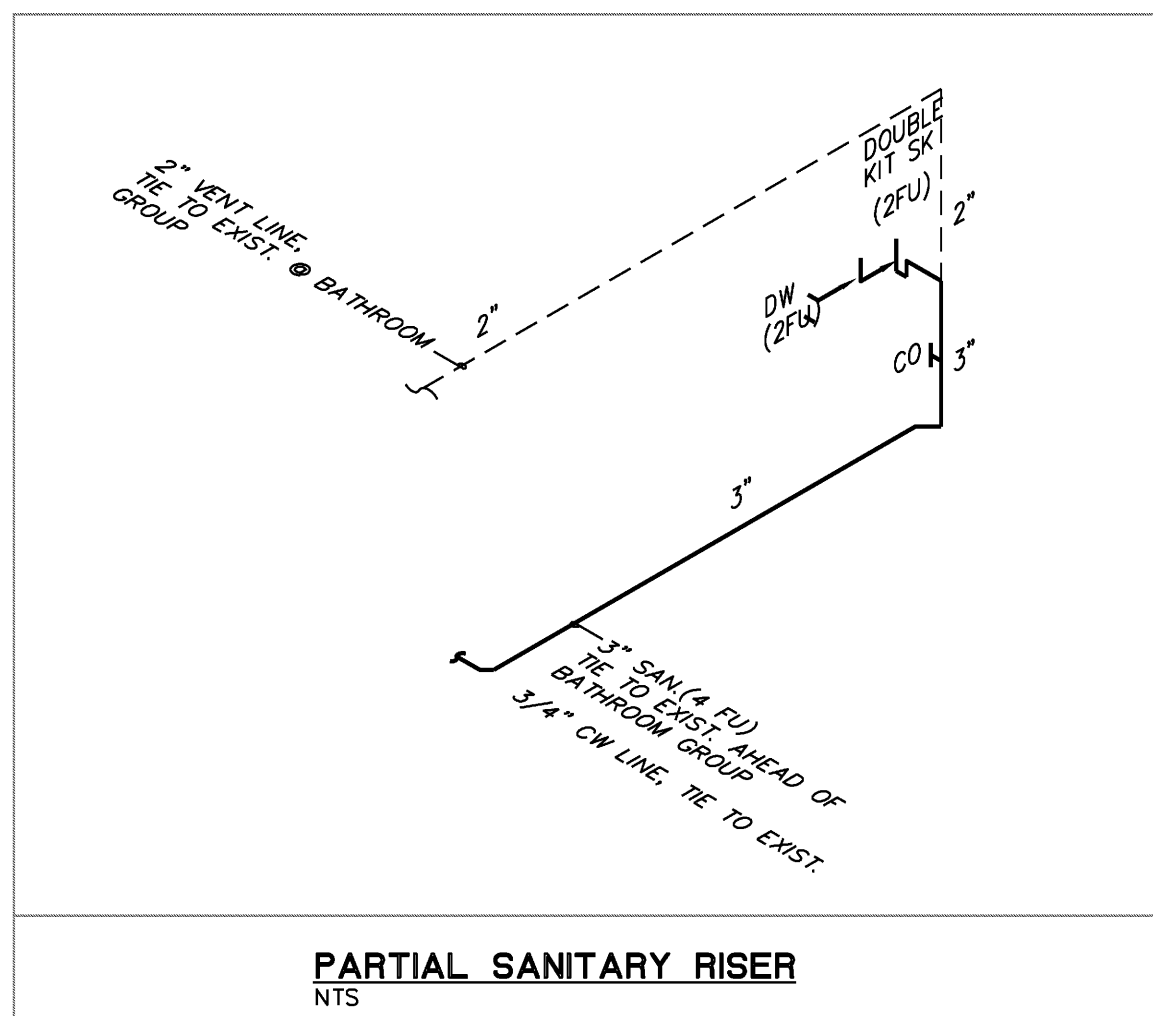
ABBREVIATIONS

CD	CONDENSATE
CO	WALL CLEAN OUT
CW	COLD WATER
FU	FIXTURE UNITS
FCO	FLUSH CLEAN OUT
FD	FLOOR DRAIN
FS	FLOOR SINK
FFD	FUNNEL DRAIN
HD	HUB DRAIN
HB	HOSE BIBB
HW	HOT WATER
HWR	HOT WATER RECIRC
IM	ICE MACHINE
ORD	OVERFLOW ROOF DRAIN
RD	ROOF DRAIN
RWL	RAIN WATER LEADER
SOV	SHUT-OFF VALVE
TP	TRAP PRIMER
VTR	VENT THRU ROOF
VIF	VERIFY IN FIELD

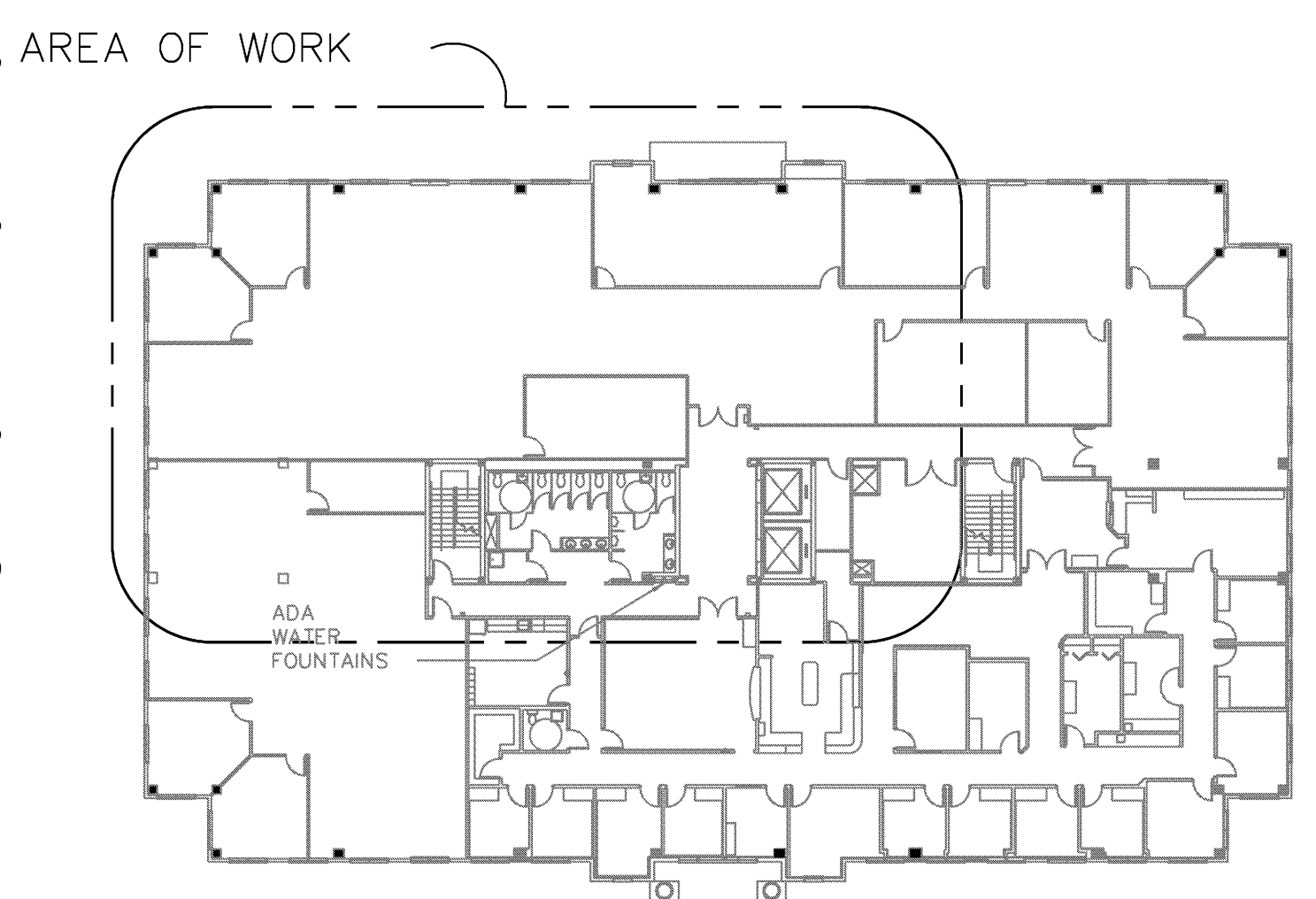
SLOPE OF HORIZONTAL DRAINAGE PIPE	
SIZE (INCHES)	MINIMUM SLOPE (INCH PER FOOT)
2-1/2" OR LESS	1/4
3 TO 6"	1/8
8 OR LARGER	1/16

INSTA HOT SPECIFICATION

MANUFACTURER: CHRONOMITE OR EQUAL					
MODEL	TEMP RISE @ 1.0GPM	TEMP RISE @ 1.5GPM	WATTS	VOLTS	BREAKER SETTING
M40	76°	50°	11080	277	40
					120°



PLUMBING PLAN
SCALE: 1/8" = 1'-0"



TROY AMMONS ARCHITECT
1907 NE 4TH ST. #1, DEERFIELD BEACH, FL. 33441
PHONE: 954-480-6191 AR # 11849

MUSCARA & ASSOCIATES - INTERIOR DESIGN
11402 DOLPHIN LANE N. PALM BEACH, FL. 33408
PHONE: 954-481-3700

HICKS, MOTTO, EHRLICH
CHASE BLDG - 3RD FLOOR
3398 PGA Blvd Palm Beach Gardens 33410

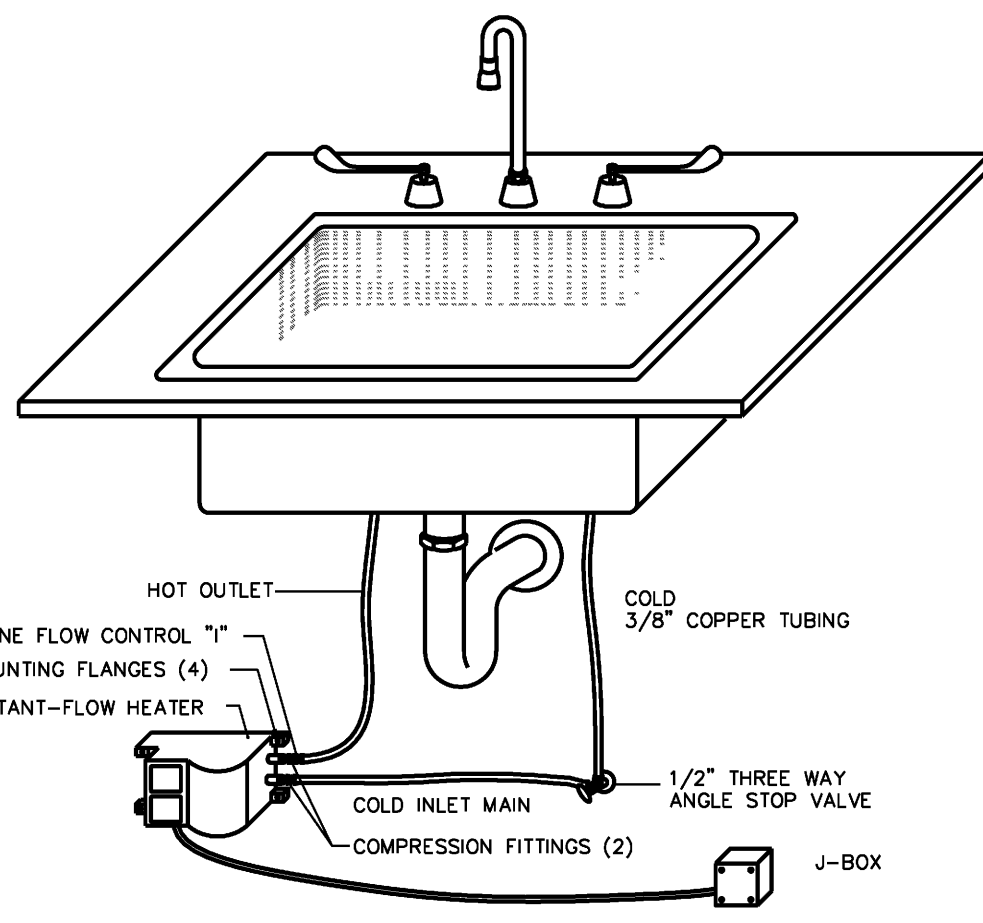
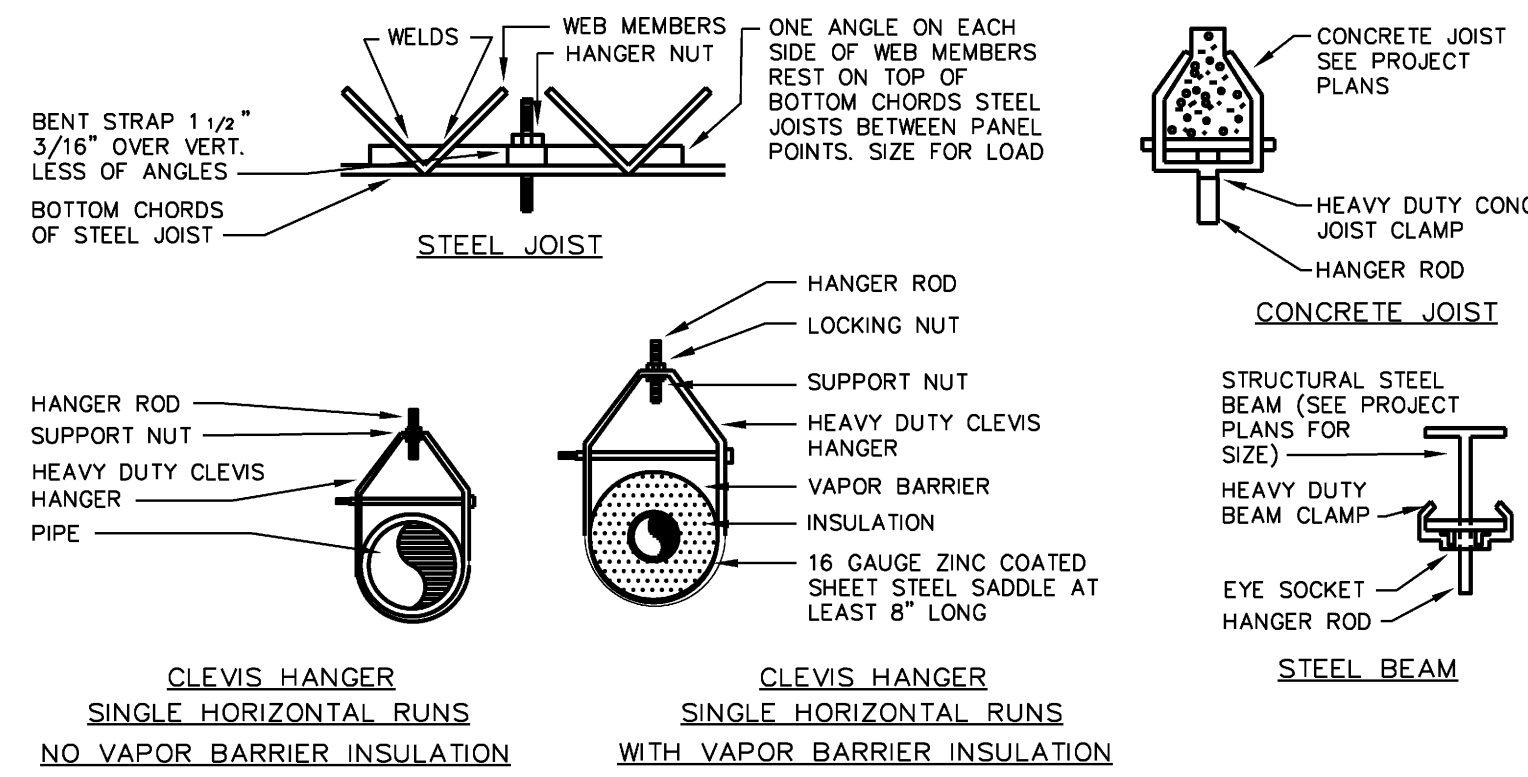
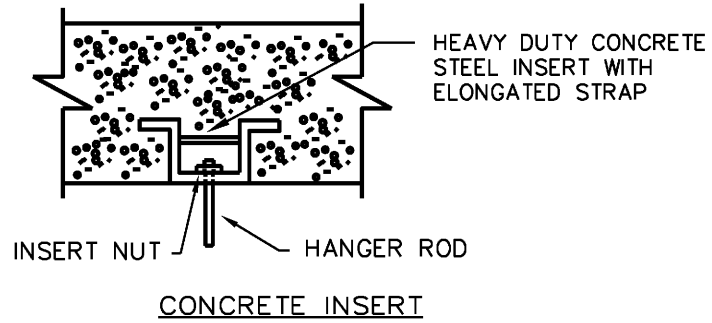
ISSUE FOR CONSTRUCTION

SHEET NO.
P1
OF

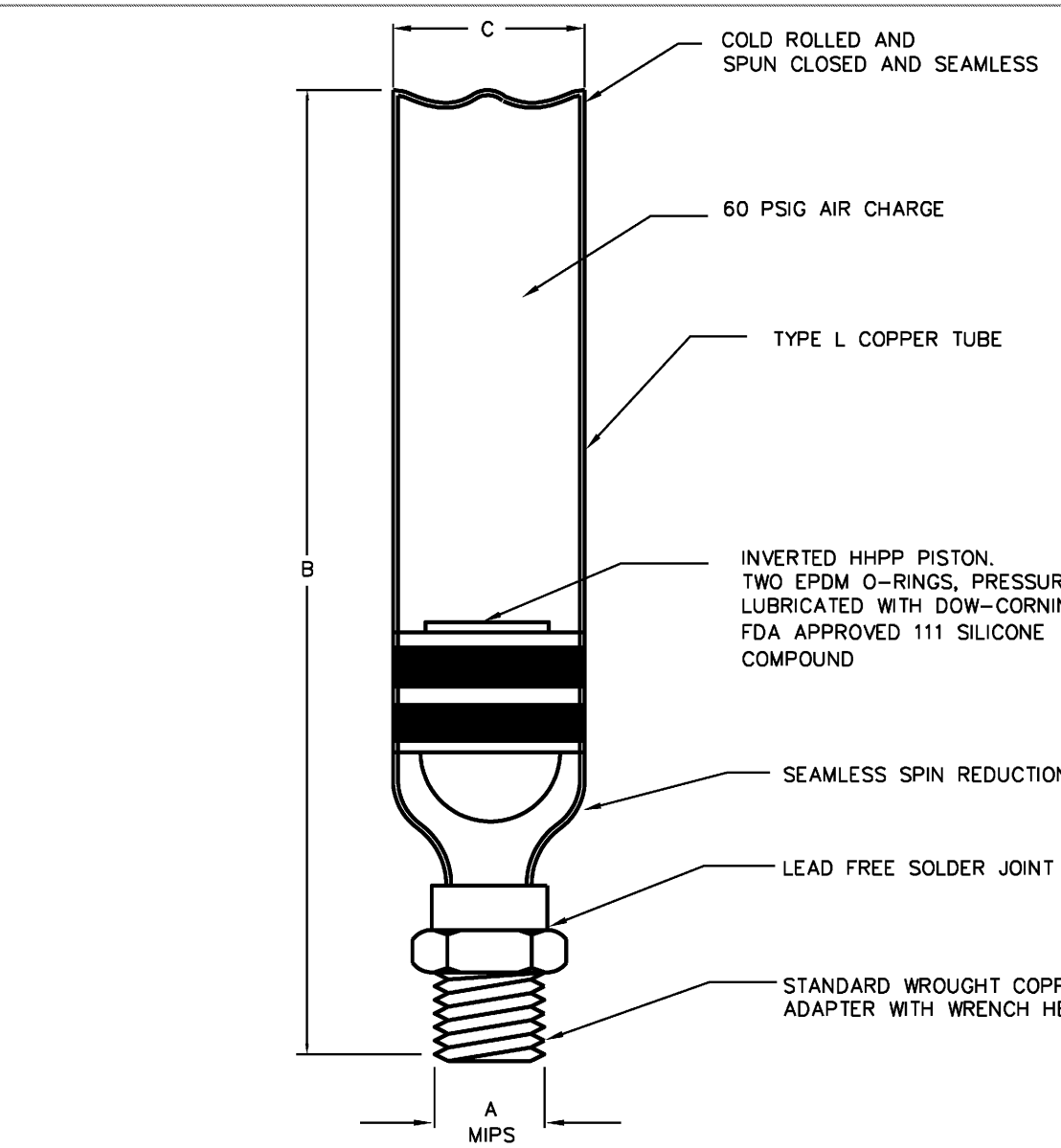
loucks engineering inc.
consulting engineers
E. PALM P.E. FL REG 49832
F. DESIGNER P.E. FL REG 62459
4520 N.E. 18th Ave. Ste. 200, Ft. Lauderdale, FL 33334
TEL. (954) 938-1881 FLA. REG. #EB-0003306

E:\2010\10200-10289\10279 Hicks, Motto, Ehrlich @ Chase Bldg - Ammons\Drawings\10279-Plumbing.dwg, 10/20/2010 5:13:16 PM, ALISON, Loucks Engineering, Inc., All Rights Reserved 2010

HANGER ROD SCHEDULE			
PIPE SIZE	ROD SIZE	PIPE SIZE	ROD SIZE
UP TO 2"	3/8" DIA.	4" THRU 6"	5/8" DIA.
2 1/2" TO 3"	1/2"	6" THRU 12"	7/8" DIA.



INSTA-HOT PIPING DETAIL - KSK SINK



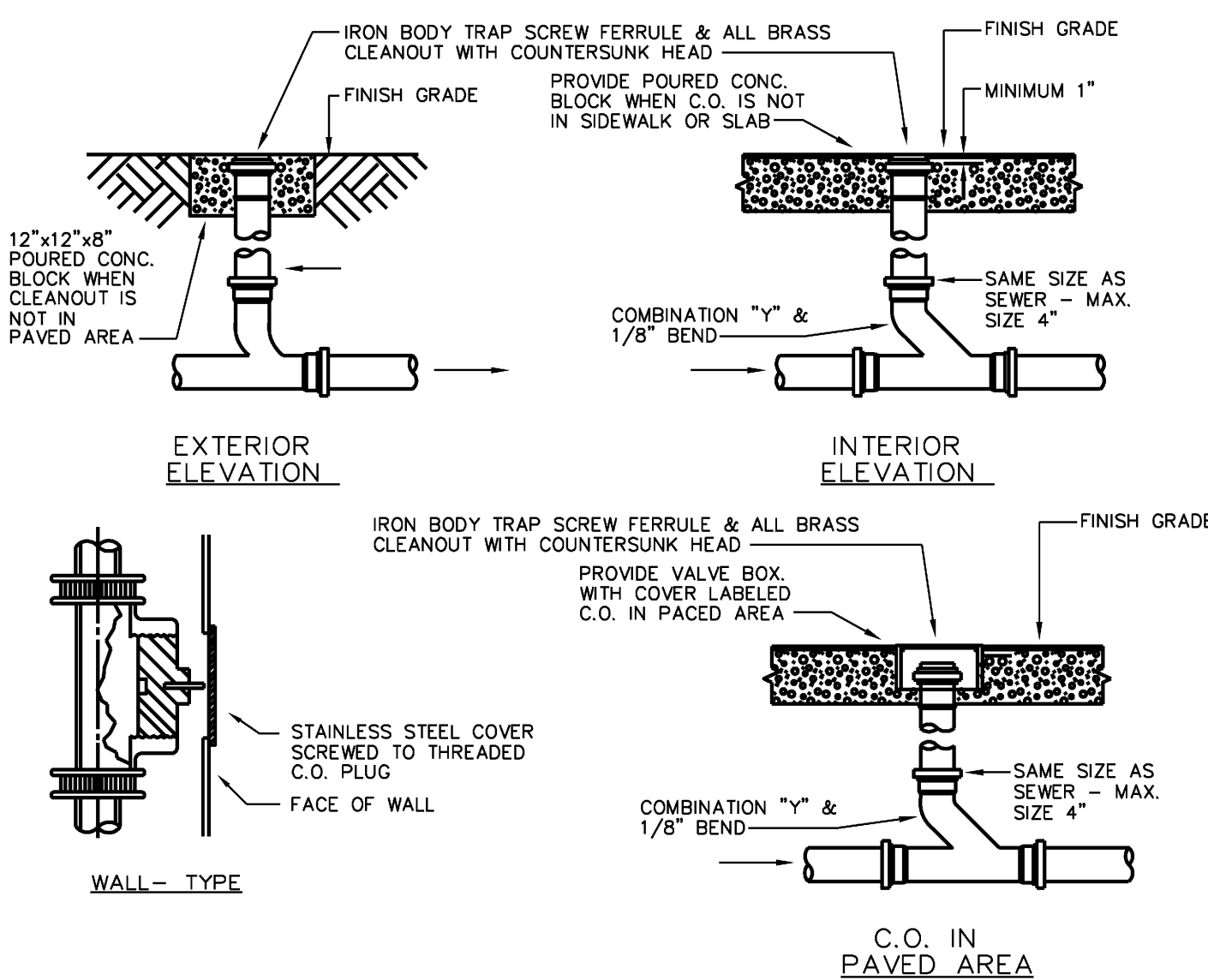
JOSAM SIZING CHART		DIMENSIONS			
TYPE NO.	PDI SYMBOLS	FIXT. UNITS	A	B	C
75001-S	A	1 TO 11	1/2	6-1/2	1-3/8
75002-S	B	12 TO 32	3/4	8-3/4	1-3/8
75003-S	C	33 TO 60	1	11	1-3/8
75004-S	D	61 TO 113	1	10-1/8	2-1/8
75005-S	E	114 TO 154	1	12-5/8	2-1/8
75006-S	F	155 TO 330	1	15-1/8	2-1/8

PLUMBING SPECIFICATIONS

- ALL MATERIALS AND WORKMANSHIP SHALL BE IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCE. ALL MATERIALS SHALL BE NEW, FREE OF DEFECTS, AND OF AMERICAN MANUFACTURE. ALL REQUIREMENTS AND MATERIALS SHALL BE AS PROVIDED FOR ORIGINAL BUILDING AND AS INDICATED IN THESE DRAWINGS AND SPECIFICATIONS.
- SANITARY, WASTE, VENT, AND STORM PIPING SHALL BE CENTRIFUGAL CAST IRON BELL AND SPIGOT BELOW GRADE AND NO-HUB SYSTEM WITH STAINLESS STEEL COUPLINGS ABOVE GRADE EXCEPT VENTS ABOVE GRADE MAY BE SCHEDULE 40 GALVANIZED IRON, WHERE ALLOWED BY LOCAL AUTHORITIES DWV PVC MAY BE USED INSTEAD OF CAST IRON AND GALVANIZED.
- CONDENSATE DRAINS ABOVE GROUND SHALL BE INSULATED COPPER TYPE "M" OR DWV BELOW GROUND AS SPECIFIED FOR SANITARY PIPING.
- POTABLE WATER PIPING BELOW GROUND SHALL BE TYPE "K" SOFT TEMPER AND HOT AND COLD WATER PIPING ABOVE GROUND SHALL BE TYPE "L" OR HARD TEMPER COPPER TUBING WITH WROUGHT COPPER FITTINGS AND SOLDER-FREE JOINTS. POTABLE WATER PIPING SHALL NOT BE INSTALLED BELOW ANY FLOOR ON GRADE OR FILL. TYPE "M" COPPER IS ACCEPTABLE.
- PIPE SUPPORTS SHALL BE PROVIDED TO BE COMPATIBLE WITH PIPING, INSULATION, STRUCTURE, AND COMPENSATE FOR CONTRACTION AND EXPANSION.
- THE CONTRACTOR SHALL CONNECT TO ALL EQUIPMENT FURNISHED BY THE OWNER.
- EACH NEW FIXTURE AND EQUIPMENT SUPPLY SHALL BE PROVIDED WITH A SUPPLY STOP OR SHUT-OFF VALVE AS APPLICABLE.
- WATER HAMMER ARRESTORS SHALL BE PROVIDED AND INSTALLED AS PER PDI-WH 201 & FPC 604.9. WATER HAMMER ARRESTORS MAY BE PROVIDED AT EACH FIXTURE SUPPLY AT CONTRACTOR'S OPTION AND AT NO ADDITIONAL COST TO OWNER.
- PROVIDE DIELECTRIC FITTINGS IN ALL PIPING SYSTEMS WHERE CONNECTING DISSIMILAR MATERIALS AND PROTECT AGAINST CONTACT OF DISSIMILAR THRU-OUT THE INSTALLATION.
- INSULATE ALL HOT WATER, CONDENSATE DRAINS, AND WATER COOLER WASTES PROVIDED.
- INSULATE HOT WATER PIPING WITH 1" ARMAFLEX INSULATION.
- INSULATE ALL AIR CONDITIONING AND REFRIGERATION CONDENSATE DRAINS IN PLENUM AREAS. FINISH WHERE EXPOSED WITH 2 COATS OF WHITE LATEX PAINT ALL AS PER THE MANUFACTURER'S INSTRUCTIONS.
- ALL HOSE BIBBS AND HOSE CONNECTIONS THIS PROJECT SHALL BE PROVIDED WITH VACUUM BREAKERS.
- ALL WATER PIPING PROVIDED SHALL BE TESTED AT 100 PSIG MINIMUM HYDROSTATIC PRESSURE FOR A MINIMUM OF 4 HOURS AND SANITIZED AS PER FPC 610.1.
- ALL SOIL, WASTE, VENT, AND STORM PIPING PROVIDED SHALL BE TESTED WITH A 10 FOOT HEAD OF WATER, WATER LEVEL POINT OR HYDROSTATIC PRESSURE GAUGE, WHERE ALLOWED BY LOCAL AUTHORITIES, SHALL REMAIN UNCHANGED FOR A MINIMUM OF 4 HOURS.
- CONTRACTOR SHALL OBTAIN APPROVED MANUFACTURER'S INSTALLATION DRAWINGS FOR ALL EQUIPMENT AND CASEWORK AND CASEWORK DIMENSIONED ROUGH-IN LAYOUT PRIOR TO PROCEEDING WITH ANY WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIXTURE, CASEWORK, AND EQUIPMENT ROUGH-IN DIMENSIONS AND CORRECT FLOOR AND WALL PENETRATION.
- SUBMIT SHOP DRAWINGS OF ALL MATERIALS AND EQUIPMENT TO ARCHITECT FOR APPROVAL PRIOR TO PURCHASE.
- CONTRACTOR SHALL PROVIDE ALL SYSTEMS INDICATED IN THESE SPECIFICATIONS ON THE DRAWINGS AND AS REQUIRED TO COMPLY WITH LOCAL CODES AND ORDINANCES AS APPLICABLE TO COMPLETING WORK FOR INTENDED OCCUPANCY. IT IS THE INTENT OF THESE PLANS AND SPECIFICATIONS FOR CONTRACTOR TO PROVIDE A COMPLETE AND OPERATING INSTALLATION INCLUDING ALL OBVIOUSLY NECESSARY ITEMS EVEN THOUGH ITEMS ARE NOT INCLUDED ON THE DRAWINGS OR IN THE SPECIFICATIONS.
- THE CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID AND COMPLETELY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS BEFORE PROCEEDING WITH THE WORK.
- PROVIDE TEMPORARY POTABLE WATER SERVICE AS REQUIRED ON SITE FOR ALL TRADES.
- VERIFY ALL DIMENSIONS WITH STRUCTURE PRIOR TO ANY FABRICATION OR INSTALLATION.
- CUT ALL OPENINGS AND CHASES REQUIRED TO ACCOMMODATE THE WORK BY THIS CONTRACTOR, AND REPAIR ALL FLOORS, WALLS, ETC. DAMAGED BY SUCH CUTTINGS. ALL WORK DONE UNDER THIS HEADING MUST CONFORM IN EVERY RESPECT TO LANDLORD AND STRUCTURAL REQUIREMENTS, AND FINISH AND QUALITY OF MATERIALS AND WORKMANSHIP REQUIRED OF APPLICABLE TRADES FOR THE BUILDING.
- PROVIDE AN ACCURATE LAYOUT, GRADES, AND ELEVATIONS; SET SLEEVES AND OPENINGS IN AMPLE TIME; TAKE PROPER PRECAUTIONS TO PROTECT ALL WORK AND EQUIPMENT FROM DAMAGE INCLUDING EXISTING.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCES WITH THE PROGRESS OF CONSTRUCTION AND IN STRICT COMPLIANCE WITH ALL APPLICABLE CODES AND STANDARDS.
- PROVIDE FIXTURES AND WATER HEATERS AS INDICATED ON DRAWINGS.
- CONTRACTOR SHALL PERFORM AND/OR PAY FOR ALL TESTS INDICATED AND REQUIRED FOR ALL SYSTEMS PROVIDED.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, FEES, INSPECTIONS, AND TAXES REQUIRED TO INSTALL AND COMPLETE SYSTEMS INDICATED ON THE DRAWINGS AND SPECIFIED HEREIN.
- AT COMPLETION OF WORK REMOVE ALL RUBBISH AND DEBRIS CAUSED BY THIS WORK AND THOROUGHLY CLEAN ALL RELATED FIXTURES AND EQUIPMENT.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN 1 (ONE) YEAR FROM DATE OF ACCEPTANCE.
- CONTRACTOR TO KEEP ACCURATE AS-BUILTS AND SHALL SUBMIT THREE (3) COPIES TO ARCHITECT/ENGINEER SEVENTY TWO (72) HOURS PRIOR TO FINAL INSPECTION.
- CONTRACTOR TO NOTIFY ARCHITECT/ENGINEER IMMEDIATELY UPON ANY DISCREPANCIES, IF FOUND.
- ALL PLUMBING FIXTURES TO COMPLY WITH FPC TABLE 604.4
- THE FIRST 8'-0" OF OUTLET PIPING FOR A CONSTANT TEMPERATURE NONRECIRCULATING STORAGE SYSTEM, AND THE INLET PIPE BETWEEN THE STORAGE TANK AND A HEAT TRAP IN A NONRECIRCULATING STORAGE SYSTEM SHALL BE INSULATED TO LEVELS SHOWN IN THE FBC TABLE 13-411.1.ABC.2
- NO DEAD ENDS SHALL BE PERMITTED. THE REMOVAL OF PLUMBING FIXTURES SHALL COMPLY WITH FPC 704.5.
- ALL EQUIPMENT CONNECT FOR CONSUMPTION TO HAVE BACKFLOW PREVENTER.
- ALL EXPOSED PIPING UNDER LAVATORIES SHALL BE INSULATED AS PER FPC 404.6.4.
- ALL VALVES SHALL BE IDENTIFIED AS PER FPC 606.4.
- ALL HOSE BIBBS ARE TO BE SEPARATELY VALVED AS PER FPC 606.2.
- ALL PIPING TO BE IDENTIFIED AS PER FPC 608.8.
- ALL INDIRECT WASTE PIPING TO BE TRAPPED AS PER FPC 802.2.
- PROVIDE CLEANOUTS AT 75'-0" ON CENTER AND AT ALL TURNS.

PIPE SUPPORT DETAIL

N.T.S.



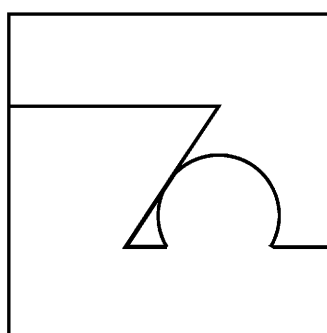
TYPICAL CLEANOUTS DETAIL

WATER HAMMER ARRESTOR DETAIL

SCALE: N.T.S.

PLUMBING DETAILS AND NOTES

SCALE: N.T.S.



DATE: 10-18-10

DRAWN: TA

CHECKED:

REVISIONS:

TROY AMMONS ARCHITECT
1907 NE 4TH ST. #1, DEERFIELD BEACH, FL. 33441
PHONE: 954-480-6191 AR # 11849
MUSCARA & ASSOCIATES - INTERIOR DESIGN
11402 DOLPHIN LANE N. PALM BEACH, FL. 33408
PHONE: 954-481-3700

HICKS, MOTTO, EHRLICH
CHASE BLDG - 3RD FLOOR
3398 PGA Blvd Palm Beach Gardens 33410

ISSUE FOR CONSTRUCTION

SHEET NO. P2 OF

loucks engineering inc.
consulting engineers
E. PALHU P.E. FL REG 49832
F. DEZTOR P.E. FL REG 62459
4520 N.E. 18th ave. ste. 200, Ft. Lauderdale, FL 33334
TEL. (954) 938-1881 FLA. REG. #EB-0003306

COPYRIGHT 2010 TROY AMMONS, ARCHITECT

E:\2010\10200-10289\10279 Hicks, Motto, Ehrlich @ Chase Bldg - Ammons\Drawings\10279P2.dwg, 10/20/2010 5:13:23 PM, ALLISON, Louds Engineering, Inc., All Rights Reserved 2010