

**GENERAL NOTES**

- THESE CONSTRUCTION DOCUMENTS ARE DIAGRAMMATIC ONLY. IT IS NOT THE INTENT OF THESE DOCUMENTS TO SHOW EVERY DETAIL OF CONSTRUCTION. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL FURNISH AND INSTALL ALL ITEMS NECESSARY FOR COMPLETION AS INDICATED ON THESE DRAWINGS.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE FAMILIAR WITH THE CONSTRUCTION DOCUMENTS PRIOR TO SUBMITTING BIDS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK.
- ALL DIMENSIONS, SPECIFICATIONS AND NOTES PROVIDED HEREIN SHALL BE VERIFIED BY EACH CONTRACTOR PRIOR TO PERFORMANCE OF THE WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- WHEN TWO OR MORE REQUIREMENTS OR STANDARDS ARE SPECIFIED ESTABLISHING DIFFERENT OR CONFLICTING LEVELS OF QUALITY, THE MOST STRINGENT REQUIREMENT IS INTENDED AND WILL BE ENFORCED.
- CONTRACTOR SHALL MAKE NO CHANGES OR SUBSTITUTIONS WITHOUT WRITTEN APPROVAL BY ADDENDUM FROM THE ARCHITECT.
- CONTRACTOR SHALL MEET WITH THE BUILDING OWNER OR MANAGER PRIOR TO THE BID IN ORDER TO OBTAIN A COPY OF THE BUILDING STANDARD GUIDELINES AND TO DISCUSS THE BUILDING MANAGEMENTS REQUIREMENTS FOR PROTECTION OF PUBLIC SPACES, DAILY CLEANING, CONSTRUCTION STAGING, MATERIAL DELIVERIES, LOCATION OF CONSTRUCTION DUMPSTERS, PARKING, ETC. THE COST TO MEET THESE REQUIREMENTS SHALL BE INCLUDED IN BID.
- REPLIES TO ALL REQUESTS FOR CLARIFICATION WILL BE ISSUED TO ALL PRIME BIDDERS, AS ADDENDA TO THE DRAWINGS AND SPECIFICATIONS, AND WILL BECOME PART OF THE CONTRACT. THE ARCHITECT AND OWNER WILL NOT BE RESPONSIBLE FOR ORAL CLARIFICATION.
- ALL WORK SHALL CONFORM TO THE LATEST REQUIREMENTS OF APPLICABLE LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.
- CONTRACT FOR CONSTRUCTION SHALL BE AIA DOCUMENT A101, STANDARD FORM FOR AGREEMENT BETWEEN OWNER AND CONTRACTOR, STIPULATED SUM - 1997 EDITION AND SHALL INCORPORATE THE 1997 EDITION OF DOCUMENT A201, GENERAL CONDITIONS.
- GENERAL CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE TO THE ARCHITECT AND OWNER FOR REVIEW PRIOR TO COMMENCING WORK.
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL COORDINATE AND OBTAIN ALL PERMITS REQUIRED TO COMPLETE THE CONSTRUCTION OF THE WORK AS INDICATED ON THE DRAWINGS AND SPECIFICATIONS.
- GENERAL CONTRACTOR SHALL INCLUDE IN THE BASE BID ALL FEES ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT, INCLUDING BUT NOT LIMITED TO PERMIT FEES AND ALL SUBCONTRACTOR PERMIT FEES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY COORDINATING ALL ASPECTS OF THE CONSTRUCTION INCLUDING CROSS REFERENCING ALL OBVIOUSLY RELATED DOCUMENTS AND DRAWINGS. SHOULD PROBLEMS ARISE DUE TO A LACK OF COORDINATION IN AREAS THAT COULD HAVE REASONABLY BEEN FORESEEN, NO ADDITIONAL PAYMENT SHALL BE WARRANTED OR APPROVED BY THE OWNER OR THE ARCHITECT, SHOULD THE SERVICES OF THE ARCHITECT AND/OR HIS CONSULTANTS BE REQUIRED TO REMEDY OR REVISE THE CONSTRUCTION DUE TO ERRORS AND/OR OMISSIONS BY THE CONTRACTOR. COMPENSATION FOR THESE SERVICES SHALL BE MADE BY THE GENERAL CONTRACTOR THROUGH THE CHANGE ORDER PROCESS OR BY SEPARATE AGREEMENT WITH THE ARCHITECT AND/OR HIS CONSULTANTS.
- ALL WORK DETAILED IN THESE CONSTRUCTION DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR WHO SHALL SUBCONTRACT AND/OR ASSIGN PORTIONS OF THE WORK TO THE MOST QUALIFIED TRADE. FAILURE BY ANY SUBCONTRACTOR TO INCLUDE CERTAIN WORK REQUIRED SHALL NOT RELIEVE THE GENERAL CONTRACTOR OF HIS RESPONSIBILITY AS PART OF THE CONTRACT FOR CONSTRUCTION TO PROVIDE A COMPLETE JOB.
- CONTRACTOR IS TO COORDINATE AND ORGANIZE THE CONSTRUCTION PROCESS AND COMPLETE SAME IN A MANNER WHICH LEAST IMPACTS THE ADJOINING COMMON AREAS, IN ORDER TO MINIMIZE INCONVENIENCE TO THE EXISTING TENANTS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO EMPLOY THOSE CONTROL MEASURES NECESSARY TO ENSURE THAT THE BUILDING COMMONS AREAS AS WELL AS EXISTING TENANT SPACES ARE NOT IMPACTED BY AIRBORNE CONTAMINANTS CAUSED BY THE CONSTRUCTION OF THE TENANT SPACE. THE METHODS EMPLOYED SHALL COMPLY WITH THE INDOOR AIR QUALITY (IAQ) GUIDELINES FOR OCCUPIED BUILDINGS UNDER CONSTRUCTION 1ST EDITION PUBLISHED BY SMCNA. QUALITY CONTROL METHODS USED TO MONITOR AIR QUALITY, I.E. TESTING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW. SHOP DRAWINGS SHALL BE OF SUFFICIENT DETAIL AND SCALE TO DETERMINE COMPLIANCE WITH THE INTENT OF THE SPECIFIED QUALITY STANDARDS. INCOMPLETE SHOP DRAWINGS WILL BE RETURNED TO THE GENERAL CONTRACTOR WITHOUT REVIEW. THE GENERAL CONTRACTOR SHALL SUBMIT A SHOP DRAWING SCHEDULE INDICATING THE TYPE AND CRITICAL RETURN DATES TO THE ARCHITECT FOR REVIEW. THE RETURN OF SHOP DRAWINGS TO THE GENERAL CONTRACTOR WITH OR WITHOUT COMMENT, DOES NOT RELIEVE THE GENERAL CONTRACTOR AND THEIR SUB CONTRACTORS OF THE RESPONSIBILITY TO CONSTRUCT THE BUILDING PER THE PLANS AND SPECIFICATIONS. EVEN THOUGH THE SHOP DRAWINGS MAY INCORRECTLY DEVIATE FROM THE CONSTRUCTION DOCUMENTS. IN ADDITION, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DEVIATION FROM THE CONTRACT DOCUMENTS CONTAINED IN THE SHOP DRAWINGS. THE ARCHITECT, THEIR CONSULTANTS OR THE OWNER ARE NOT RESPONSIBLE FOR ANY CORRECTIVE CONSTRUCTION RESULTING FROM SHOP DRAWINGS THAT DEVIATE FROM THE CONTRACT DOCUMENTS.
- A PUNCH LIST SHALL BE PREPARED BY THE CONTRACTOR LISTING ALL ITEMS WHICH NEED TO BE COMPLETED, MODIFIED, CORRECTED OR REPLACED AND SUBMITTED TO ARCHITECT/OWNER. THE ARCHITECT SHALL THEN VISIT THE SITE TO REVIEW AND, IF THE LIST IS NOT REASONABLY COMPLETE, SHALL DIRECT THE CONTRACTOR TO COMPLETE THE LIST. THE FINAL PUNCH LIST SUBMITTED BY THE CONTRACTOR SHALL BE REVIEWED AND SUPPLEMENTED BY THE ARCHITECT/OWNER.
- CONTRACTOR SHALL DELIVER TO OWNER PRIOR TO FINAL PAYMENT ALL GUARANTEES, WARRANTIES AND TWO COPIES OF ALL MANUALS AND OPERATING INSTRUCTIONS AND ARRANGE TO GIVE PHYSICAL DEMONSTRATION OF ALL EQUIPMENT TO OWNER OR HIS REPRESENTATIVE.
- ALL LABOR AND MATERIALS SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION, EXCEPT LONGER AS REQUIRED IN THE DRAWINGS AND/OR SPECIFICATIONS.
- ALL NEW CONSTRUCTION MUST MEET FEDERAL AND STATE BARRIER FREE REQUIREMENTS.
- MATERIAL OR SYSTEMS SHALL BE INSTALLED ACCORDING TO EXACT MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- ALL MATERIALS USED DURING CONSTRUCTION SHALL BE NEW AND FREE FROM BLEMISHES, NO USED MATERIALS WILL BE ALLOWED, EXCEPT AS NOTED HEREIN. COORDINATE WITH ARCHITECT AND OWNER/REPRESENTATIVE IN ADVANCE.
- DELIVERY AND STORAGE OF ALL MATERIAL SHALL BE ACCEPTABLE TO MANUFACTURER'S PRODUCT, REVIEW BY THE ARCHITECT AND SHALL PROVIDE COMPLETE PROTECTION OF PRODUCT.
- GENERAL CONTRACTOR SHALL COORDINATE DIRECTLY WITH OWNER/TENANT ALL WORK BY 'OWNER' OR 'TENANT' AS INDICATED ON PLANS AND ANY ATTACHED SPECIFICATIONS.
- GENERAL CONTRACTOR SHALL VERIFY FINAL SELECTION OF ALL FINISHES WITH ARCHITECT AND OWNER/TENANT. SUBMIT SAMPLES FOR REVIEW.
- FIRE EXTINGUISHERS SHALL BE PROVIDED BY GENERAL CONTRACTOR AND LOCATED AS REQUIRED BY CODE DURING CONSTRUCTION.
- CONCRETE SLABS SHALL BE LEVELED AND PREPARED TO RECEIVE FLOOR FINISH PER FINISH SCHEDULE.
- WHEREVER DISSIMILAR METALS CONTACT EACH OTHER, AND ARE SEPARATED FURTHER ON THE BELOW SCALE THAN BY A SINGLE INTERMEDIATE METAL, THE CONTACTING SURFACES SHALL BE INSULATED FROM EACH OTHER BY A BITUMINOUS COATING, 1/8" ASPHALT SATURATED FELT OR OTHER ARCHITECT APPROVED MEANS. METALS ARRANGED IN ORDER OF GALVANIC ACTIVITY: ALUMINUM, ZINC, GALVANIZED IRON, TIN ON STEEL, LEAD (HARD), STAINLESS STEEL, COPPER, MONEL.
- GENERAL CONTRACTOR SHALL COORDINATE AND INSTALL ALL NECESSARY BACKING SUPPORTS FOR CABINETRY, SHELVING, TOILET ACCESSORIES, PLUMBING/LIGHTING FIXTURES, ETC.
- ALL WOOD FRAMING AND BLOCKING LOCATED WITHIN CONCEALED SPACES, SUCH AS PARTITIONS ABOVE CEILINGS, ETC. SHALL BE FIRE RETARDANT.
- ALL GYPSUM BOARD SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE UNITED STATES GYPSUM "GYPSUM CONSTRUCTION HANDBOOK".
- ALL GYPSUM BOARD SHALL RECEIVE A SLICK FINISH (LEVEL 4, SMOOTH TEXTURE), UNLESS OTHERWISE NOTED.
- AT WALLS SCHEDULED TO RECEIVE WALLCOVERING SHALL BE PREPARED TO RECEIVE WALLCOVERING BY APPLYING A FLAT OIL BASE PRIMER TO PROVIDE FULL COVERAGE TO PROHIBIT TELEGRAPHING THROUGH THE WALLCOVERING.
- GENERAL CONTRACTOR AND THE APPROPRIATE SUBCONTRACTORS SHALL COORDINATE THE LOCATION OF OUTLETS, SWITCHES, THERMOSTATS, ETC. WITH THE FURNITURE LAYOUT AND WITH CONSIDERATION GIVEN TO THE PLACEMENT OF ART, PICTURES, PLAQUES, ETC. THIS SHALL BE REVIEWED WITH THE ARCHITECT AND TENANT.
- CONTRACTOR SHALL ADJUST EXISTING FIRE SPRINKLER SYSTEM AS REQUIRED BY CODE. ALL SPRINKLER HEADS SHALL BE FLUSH, FULLY CONCEALED TYPE. FIRE SPRINKLER SUB-CONTRACTOR SHALL PREPARE AND SUBMIT SHOP DRAWINGS TO BUILDING DEPARTMENT AS REQUIRED.
- PRIOR TO FINAL COMPLETION, CONTRACTOR SHALL THOROUGHLY CLEAN ALL SURFACES.
- DIVERT DEMOLITION DEBRIS FROM DISPOSAL IN LANDFILLS AND INCINERATION FACILITIES. REDIRECT RECOVERED RESOURCES BACK TO THE MANUFACTURING PROCESS AND REUSABLE MATERIALS TO APPROPRIATE SITES. CONTRACTOR SHALL PROVIDE DOCUMENTATION TO IDENTIFY THE MATERIALS TO BE DIVERTED FROM DISPOSAL AND CALCULATIONS IN WEIGHT OR VOLUME OR PERCENTAGE OF DEBRIS TO BE RECYCLED OR SALVAGED. CONTRACTOR TO ACHIEVE A MINIMUM OF 75% RECYCLED OR SALVAGED DEBRIS OR MORE.

# Tenant Improvements for: MILLER, KAGAN, RODRIGUEZ & SILVER

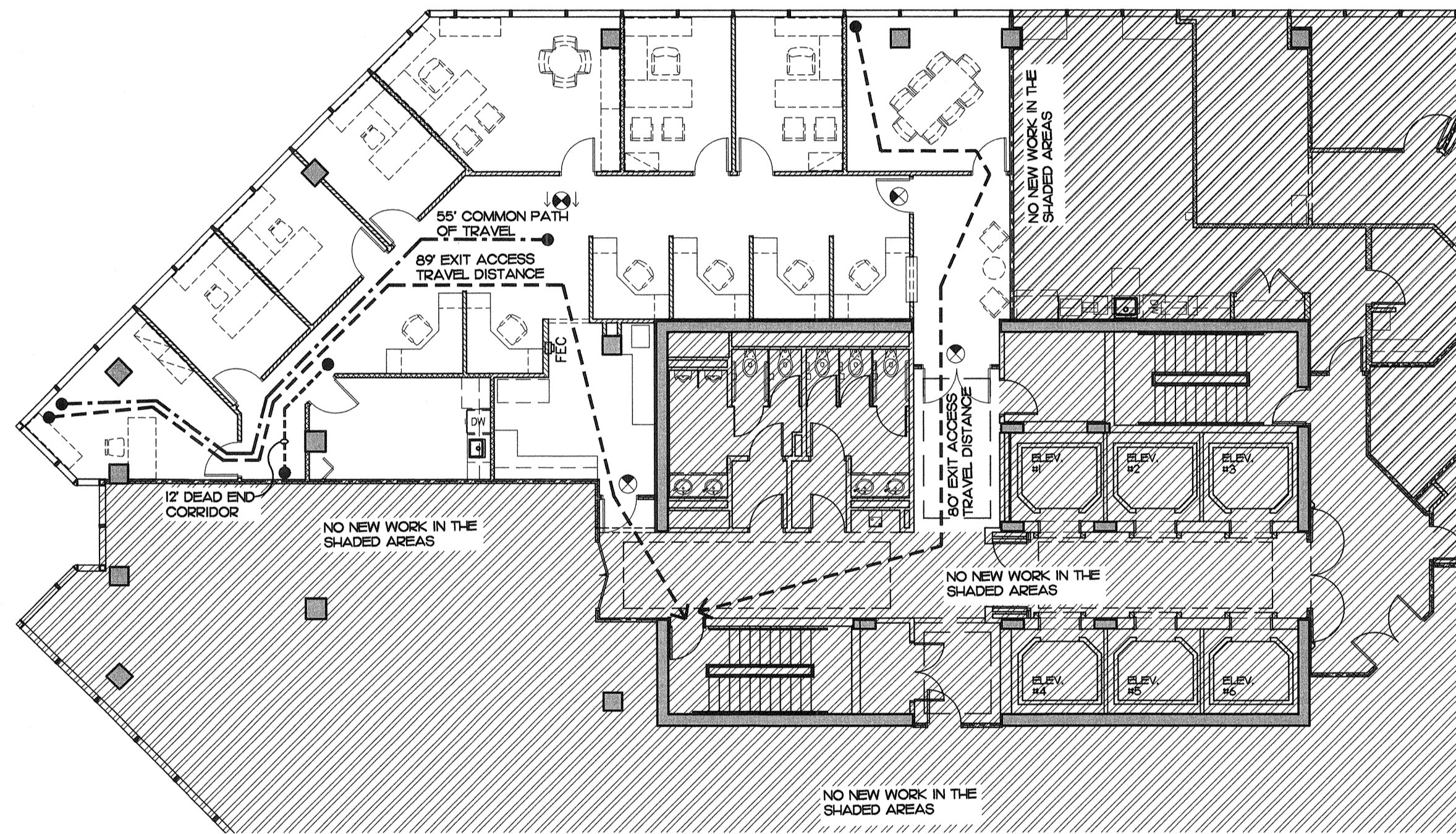
515 N. Flagler Drive  
Suite 1425  
West Palm Beach, Florida

Glidden Spina & Partners  
Architects & Interior Design

1401 FORUM WAY, SUITE 100  
WEST PALM BEACH, FLORIDA 33401  
561.684.6844

F&E Consulting  
MEP Engineer

1640 NW 2ND AVENUE  
BOCA RATON, FLORIDA 33432  
TEL. 561.391.9292



**LIFE SAFETY PLAN**  
SCALE 3/32"=1'-0"

**SCOPE OF WORK**

THE SCOPE OF THE PROJECT INVOLVES THE INTERIOR TENANT IMPROVEMENTS OF TENANT SPACE #1425 AT 2650 S.F. ± 115 S.F. OF COMMON TENANT AREA.

**INDEX OF DRAWINGS**

<b>ARCHITECTURAL</b>	<b>PLUMBING</b>
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**LIFE SAFETY LEGEND**

	TRAVEL DISTANCE
	COMMON PATH OF TRAVEL
	DEAD END CORRIDOR
	EXIT LIGHT
	FIRE EXTINGUISHER CABINETS SHALL BE EQUAL TO LARSEN 'ARCHITECTURAL' SERIES MODEL NO. 2409 R2 RECESSED MOUNTED, SOLID DOOR STYLE, BLACK TYPE 'A' LETTERS, STAINLESS STEEL FINISH

**MEANS OF EGRESS (CHAP. 10 FBC)**

	ALLOWABLE	PROVIDED
SUITE 1425 - 2650 SF.		
BUSINESS - 1100 SF		
OCCUPANT LOAD		
TOTAL OCCUPANT LOAD	2,650 / 100 = 27	27
REQUIRED MEANS OF EGRESS - 141TH	1	2
MINIMUM CLEAR OPENING OF EXIT DOORS (SECTION 1004)	32 IN.	34 IN.
COMMON PATH OF EGRESS TRAVEL (SPRINKLERED)	100 FT.	55 FT.
EXIT ACCESS TRAVEL DISTANCE (SPRINKLERED)	300 FT.	89 FT.
DEAD ENDS (SPRINKLERED)	50 FT.	12 FT.
EXIT CAPACITY	LEVEL TRAVEL: 0.2 INCHES PER PERSON TRAVEL BY STAIRS: 0.3 INCHES PER PERSON	
ARRANGEMENT OF EXITS (1004)	300' MAX. TRAVEL DISTANCE (NFA 101, 38.2 & FBC TABLE 1004)	
AREA OF REFUGE BUILDINGS	MAX. DEAD END: 50' (NFA & FBC) COMMON PATH OF TRAVEL: 100' MAX. (NFA) 100' MAX. (FBC) NOT REQUIRED PER FBC II-4.1.3 (9) FOR FULLY SPRINKLERED	

**CODE RESEARCH**

2007 FLORIDA BUILDING CODE WITH 2009 REVISIONS/ SUPPLEMENTS  
 FLORIDA ACCESSIBILITY CODE  
 NFPA 101 LIFE SAFETY CODE 2006 EDITION  
 NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS  
 2005 NFPA-70 2005 EDITION - NATIONAL ELECTRIC CODE  
 2002 NFPA-72 2002 EDITION  
 2002 NFPA-13 2002 EDITION

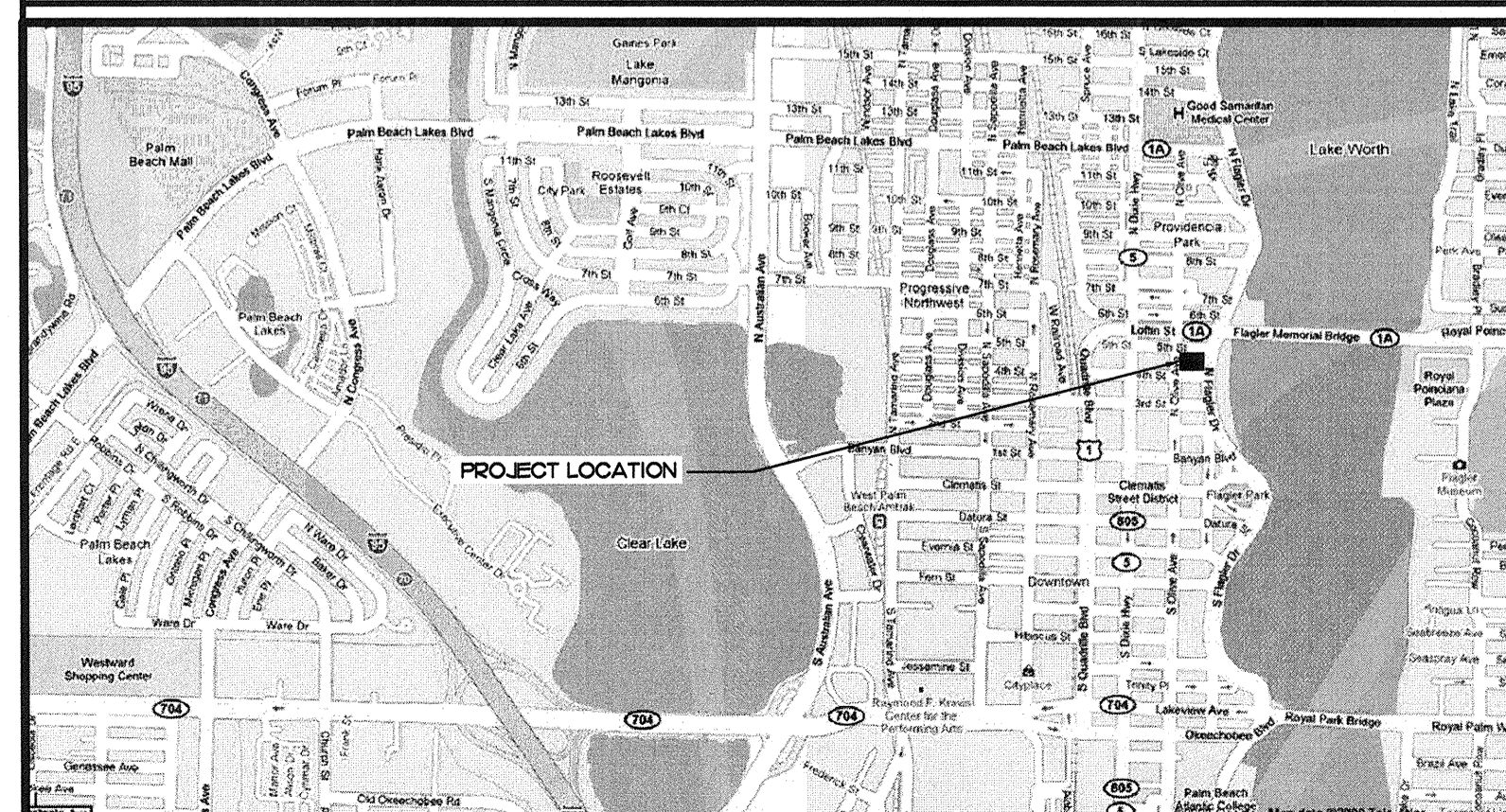
CLASSIFICATION OF WORK:  
 2007 FLORIDA EXISTING BUILDING CODE W/ 2009 AMENDMENTS  
 SECTION 404 - ALTERATION - LEVEL 2

OCCUPANCY:  
 CLASSIFICATION (TYPE) GROUP B (BUSINESS)  
 LOAD (SEE OCCUPANT LOAD CALCULATION L5-1)  
 27 OCCUPANTS  
 CONSTRUCTION TYPE I-A (SPRINKLERED)

OCCUPANT FINISHES:  
 FBC TABLE 803.5 - FOR TYPE 'B' OCCUPANCY, FULLY SPRINKLERED, CLASS 'C' IS ALLOWABLE. NFPA 101 SEC. 10.2.8.1 & 39.3.3.21 & TABLE A10.2.2

THE BUILDING HAS EXISTING AUTOMATIC FIRE SPRINKLER SYSTEM. G.O. TO SUBMIT FOR SEPARATE PERMIT FOR ANY CHANGES TO EXISTING FIRE SPRINKLER SYSTEM AND FIRE ALARM SYSTEM.

**LOCATION MAP**



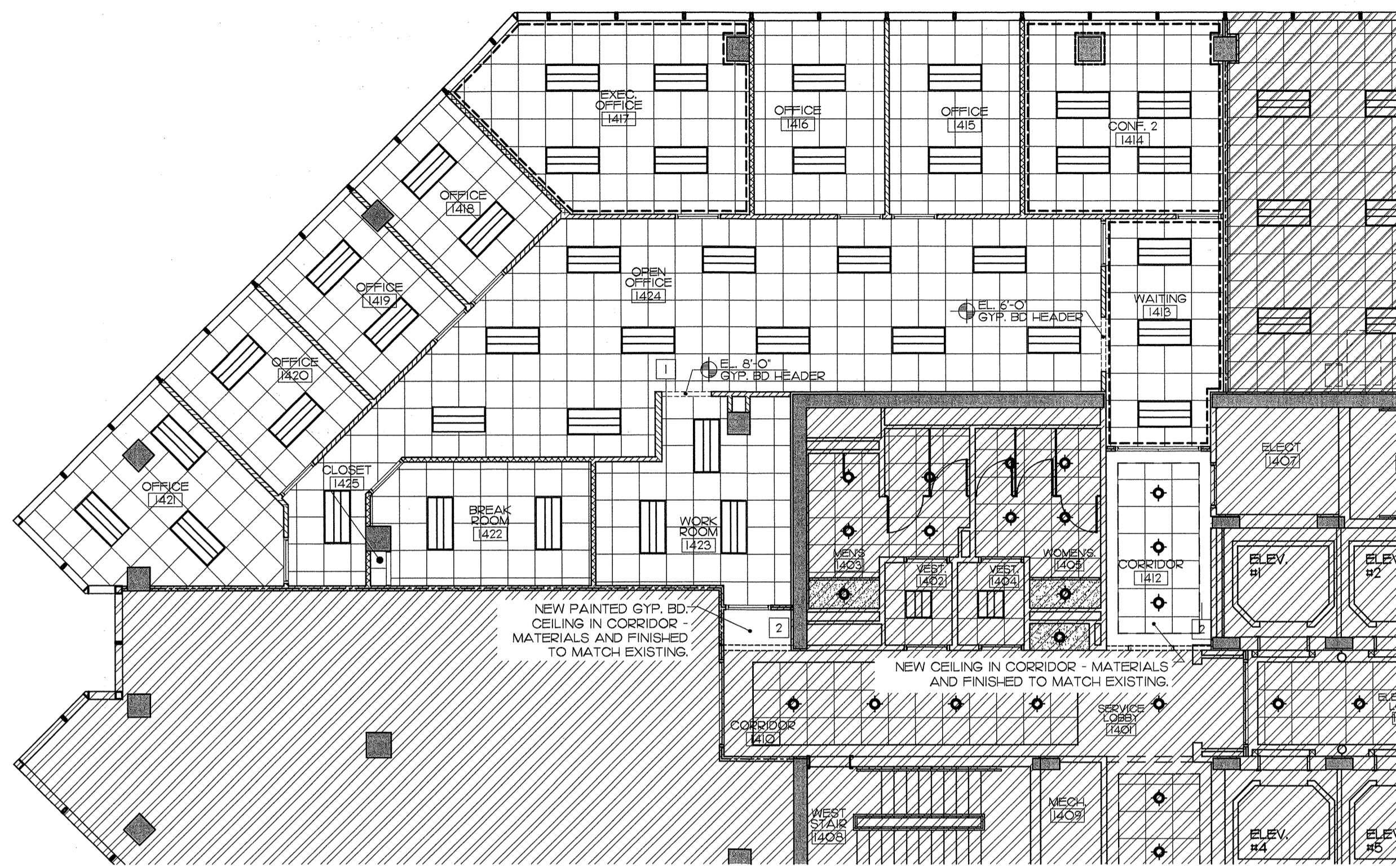
**GLIDDEN • SPINA & PARTNERS**  
 ARCHITECTURE • INTERIOR DESIGN, INC.  
 PHONE: 561.684.6844 • FAX: 561.684.5994 • E-MAIL: info@gs&p-architects.com  
 1401 FORUM WAY, SUITE 100 • WEST PALM BEACH, FLORIDA 33401  
 FL License: FA23001602 Benjamin John Glidden, III #AK656  
 Keith M. Spina #AK11419

**TENANT IMPROVEMENTS FOR:**  
**MILLER, KAGAN, RODRIGUEZ & SILVER**  
 AT NORTHBRIIDGE CENTER  
 515 N. FLAGLER DR., SUITE 1425  
 WPB, FLORIDA

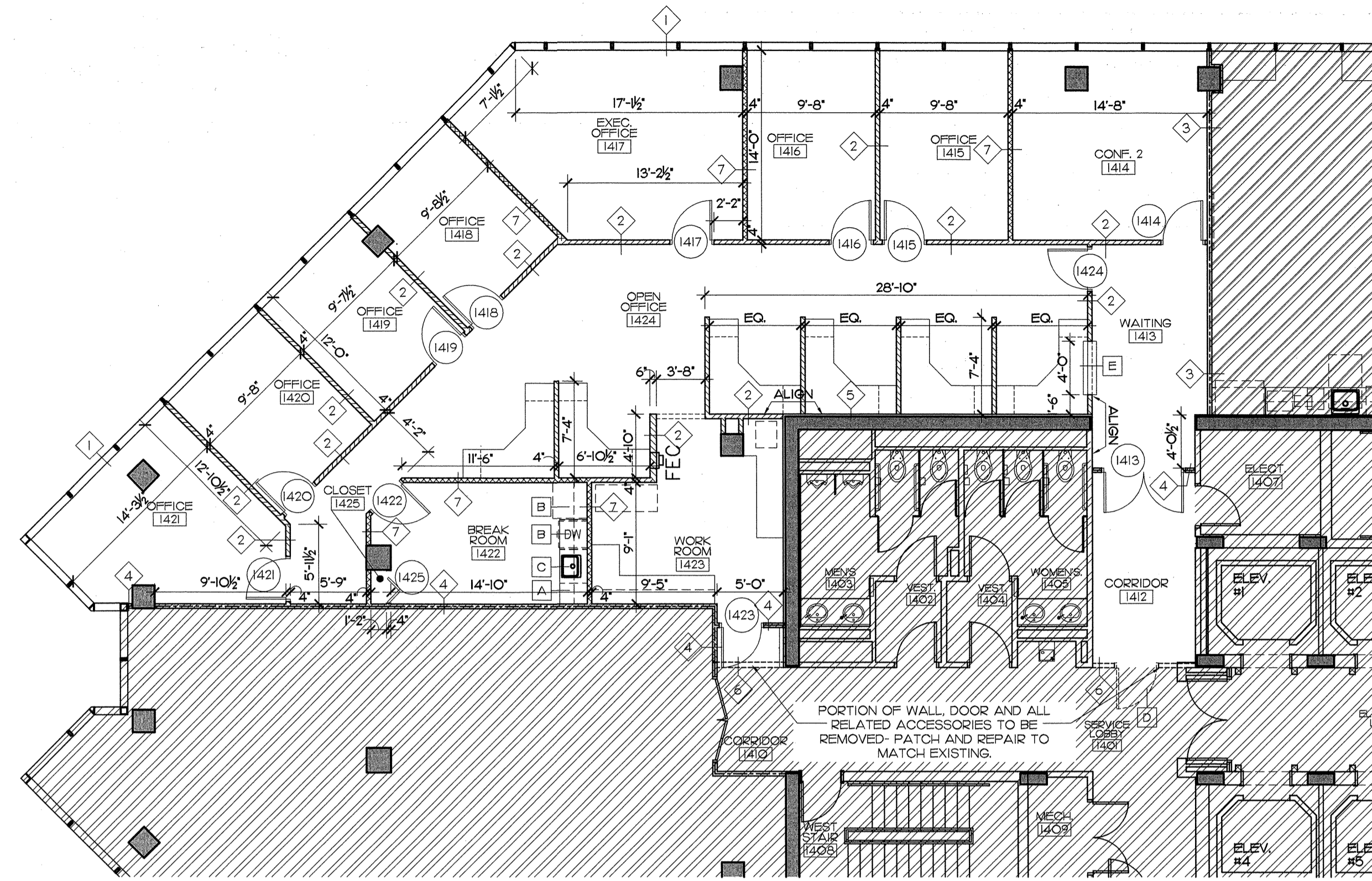
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sheet title: cover sheet	revisions:
file name:	
project no: 11190	
date: 11/21/11	
drawn by: BUJDE	
checked by: KS	

**LS-1**



2 REF. CLG. PLAN  
SCALE 1/8"=1'-0"



1 FLOOR PLAN  
SCALE 1/8"=1'-0"

### REFLECTED CEILING LEGEND

NEW 24"x24" SUSPENDED ACOUSTICAL CEILING SYSTEM - SEE FINISH NOTES SHEET A-11 FOR SPECIFICATION.

2'x4' FLUORESCENT INDIRECT LIGHT FIXTURE

DOWNLIGHT

NEW CEILING MOUNTED EXIT LIGHTS AS REQ'D - SEE ELECTRICAL DRAWINGS

DENOTES CROWN MOLDING IN RM. #1413, #1414, #1417 - SEE DTL. B/A-11

CEILING HEIGHT - ALL CEILING TO BE 8'-6" UNLESS OTHERWISE NOTED

NOTES  
1. ALL EMERGENCY LIGHT FIXTURES SHALL HAVE THE TEST BUTTONS MOUNTED INSIDE THE FIXTURE.

### CEILING KEY NOTES

1 NEW PAINTED GYPSUM BOARD HEADER.

2 NEW PAINTED GYPSUM BOARD SOFFIT.

### DOOR AND FRAME SCHEDULE

DOOR NUMBER	DOOR TYPE	DOOR				FRAME		FIRE RATING LABEL	HWR GRP	NOTES
		WD	HGT	THK	MAT'L	FINISH	MAT'L			
1413	B	6'-0"	8'-0"	1 3/4"	WOOD	STND	H.M.	PAINTED	45 MIN	B
1414	A	3'-0"	8'-0"	1 3/4"	WOOD	STND	H.M.	PAINTED	--	A
1415	A	3'-0"	8'-0"	1 3/4"	WOOD	STND	H.M.	PAINTED	--	B
1416	A	3'-0"	8'-0"	1 3/4"	WOOD	STND	H.M.	PAINTED	--	B
1417	A	3'-0"	8'-0"	1 3/4"	WOOD	STND	H.M.	PAINTED	--	C
1418	A	3'-0"	8'-0"	1 3/4"	WOOD	STND	H.M.	PAINTED	--	B
1419	A	3'-0"	8'-0"	1 3/4"	WOOD	STND	H.M.	PAINTED	--	B
1420	A	3'-0"	8'-0"	1 3/4"	WOOD	STND	H.M.	PAINTED	--	B
1421	A	3'-0"	8'-0"	1 3/4"	WOOD	STND	H.M.	PAINTED	--	D
1422	A	3'-0"	8'-0"	1 3/4"	WOOD	STND	H.M.	PAINTED	--	D
1423	C	3'-0"	8'-0"	1 3/4"	WOOD	STND	H.M.	PAINTED	45 MIN.	B
1424	A	3'-0"	8'-0"	1 3/4"	WOOD	STND	H.M.	PAINTED	--	A
1425	D	2'-5"	8'-0"	1 3/4"	WOOD	STND	H.M.	PAINTED	--	--

**DOOR NOTES:**

- FINAL COORDINATION OF KEYING FUNCTIONS SHALL BE WITH TENANT. KEYING TO BE INCLUDED IN TOTAL PROJECT COSTS
- ALL EXIT HARDWARE SHALL COMPLY WITH F.B.C. 2007 W/ 2009 AMENDMENTS SECTION 103.1.9
- LEVER HARDWARE SHALL BE SCHLAGE, AL-SERIES, JUPITER LEVER, FINISH #626 SATIN CHROME
- CLOSURES TO BE LCN & FINISH TO MATCH LEVER
- HINGES TO BE BY HAGER, FINISH US32D
- SILENCERS TO BE BY HAGER
- WALL STOP BY HAGER
- FLUSH BOLT - HAGER
- DOOR STOP BY GLYNN-JOHNSON, FINISH US32D
- DOORS 1413 SHALL BE KEYED IN A MANNER THAT WILL NOT PROHIBIT A PERSON FROM EXITING THE BUILDING.
- ALL STAINED WOOD DOORS TO BE MARSH-FIELD DOOR SYSTEMS, WOOD SPECIES CHERRY, PLAIN SLICED, FINISH TO MATCH INTERIOR DESIGNER SAMPLE
- MARSH-FIELD DOORS TO BE THE ENVIRONMENTAL MODELS - GC TO SUBMIT OUT SHEETS FOR APPROVAL
- ALL ACCESS-CONTROLLED EGRESS DOORS MUST COMPLY WITH FLORIDA FIRE PREVENTION CODE SECTION 7.21.6.2

**HARDWARE SETS:**

A: LEVER PASSAGE SET - W/OI  
HINGES: 41X41 - BB1279  
SILENCER: 307D  
WALL STOP: 230W

B: LEVER ENTRY/OFFICE - W/II  
HINGES: 41X41 - BB1279  
SILENCER: 307D  
WALL STOP: 230W

C: LEVER ENTRY/OFFICE - W/II  
HINGES: 41X41 - BB1279  
SILENCER: 307D  
DOOR STOP: 410-S

D: LEVER PASSAGE SET - W/OI  
HINGES: 41X41 - BB1279  
SILENCER: 307D  
DOOR STOP: 410-S

### DOOR ELEVATIONS

### PLAN KEY NOTES

A NEW BUILT-IN CABINETS BY GC. BLOCKING TO BE PROVIDED BY GC

B APPLIANCES - TENANT PROVIDED / G.C. INSTALLED. - PROVIDE BLOCKING AS NECESSARY.

C NEW SINGLE COMPARTMENT SINK - SEE PLUMBING DRAWINGS

D REMOVE DOOR AND ALL RELATED ACCESSORIES - PATCH AND REPAIR TO MATCH EXISTING

E NEW PLASTIC LAMINATE PASS THRU COUNTER AND OPENING

### PARTITION AND SYMBOL KEY

1 EXISTING EXTERIOR WALL

2 NEW PARTITION SEE DETAIL 4/A-3.0

3 EXISTING I-HR RATED DEMISING WALL  
G.C. SHALL CHECK ALL EXISTING RATED WALLS TO MAKE SURE THAT THE REQUIRED WARNING SIGNAGE IS PAINTED ABOVE CEILINGS. IF NOT THE CONTRACTOR SHALL PAINT ABOVE THE CEILING TO BE VISIBLE "FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS"

4 NEW I-HR RATED DEMISING WALL  
G.C. SHALL CHECK ALL EXISTING RATED WALLS TO MAKE SURE THAT THE REQUIRED WARNING SIGNAGE IS PAINTED ABOVE CEILINGS. IF NOT THE CONTRACTOR SHALL PAINT ABOVE THE CEILING TO BE VISIBLE "FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS" - SEE DETAILS 5 & 6 / A-3.0

5 EXISTING PARTITION TO REMAIN-GC TO PATCH AND REPAIRS WALLS TO RECEIVE PAINT

6 EXISTING PARTITION TO BE REMOVED - GC TO PATCH AND REPAIRS WALLS TO RECEIVE PAINT

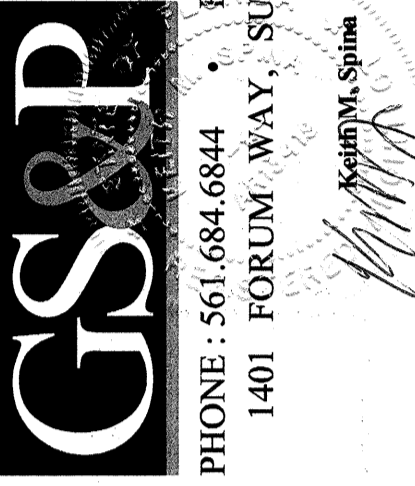
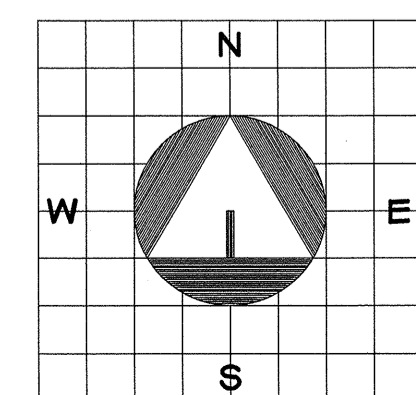
7 NEW PARTITION FLOOR TO CEILING STRUCTURE ABOVE - SEE DETAIL 13/A-3.0

(41X) DOOR NUMBER

FEC FIRE EXTINGUISHER CABINET - SEE DETAIL 15/A-2.0

14TH FLOOR PLAN & REF. CLG. PLAN

SCALE: 1/8" = 1'-0"



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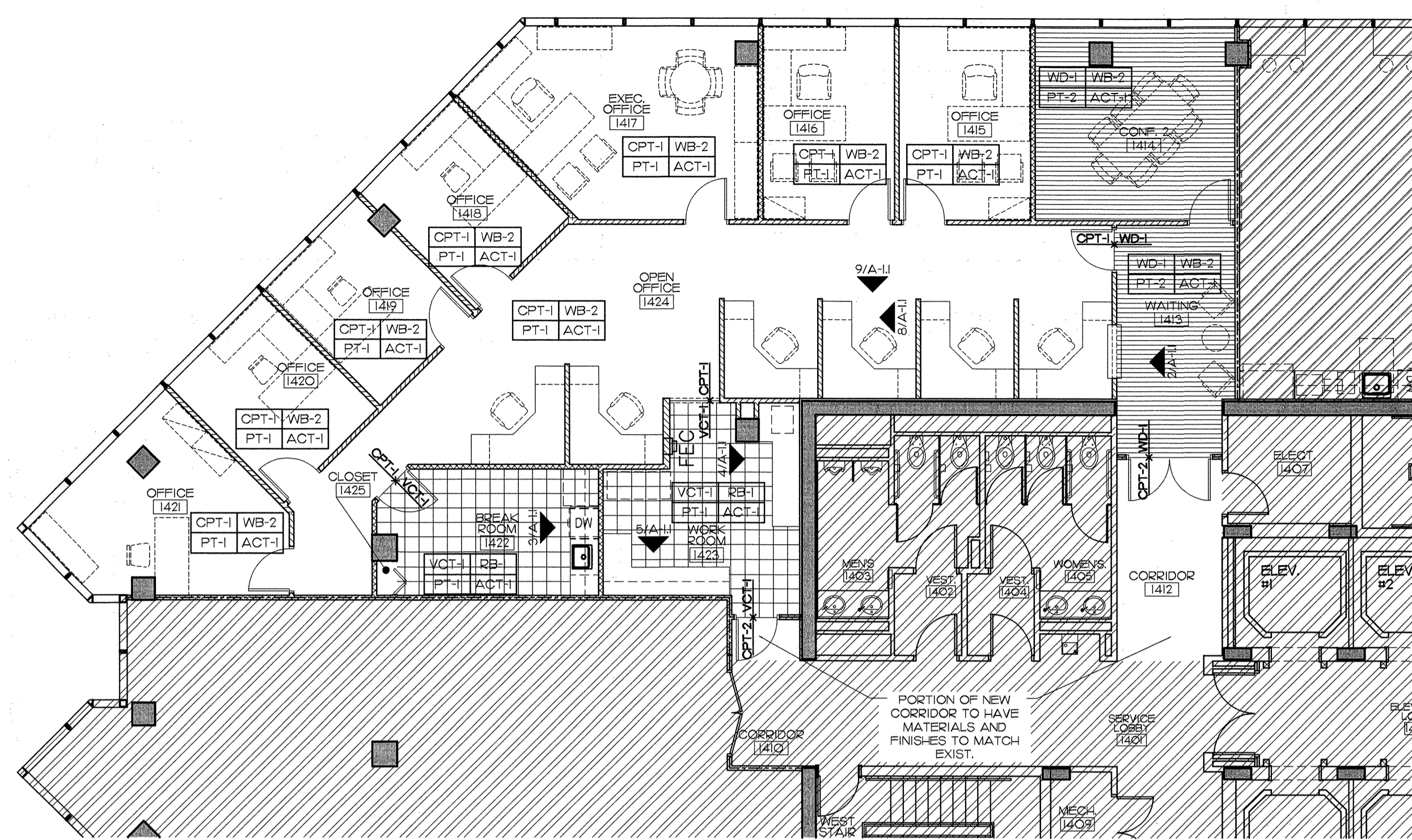
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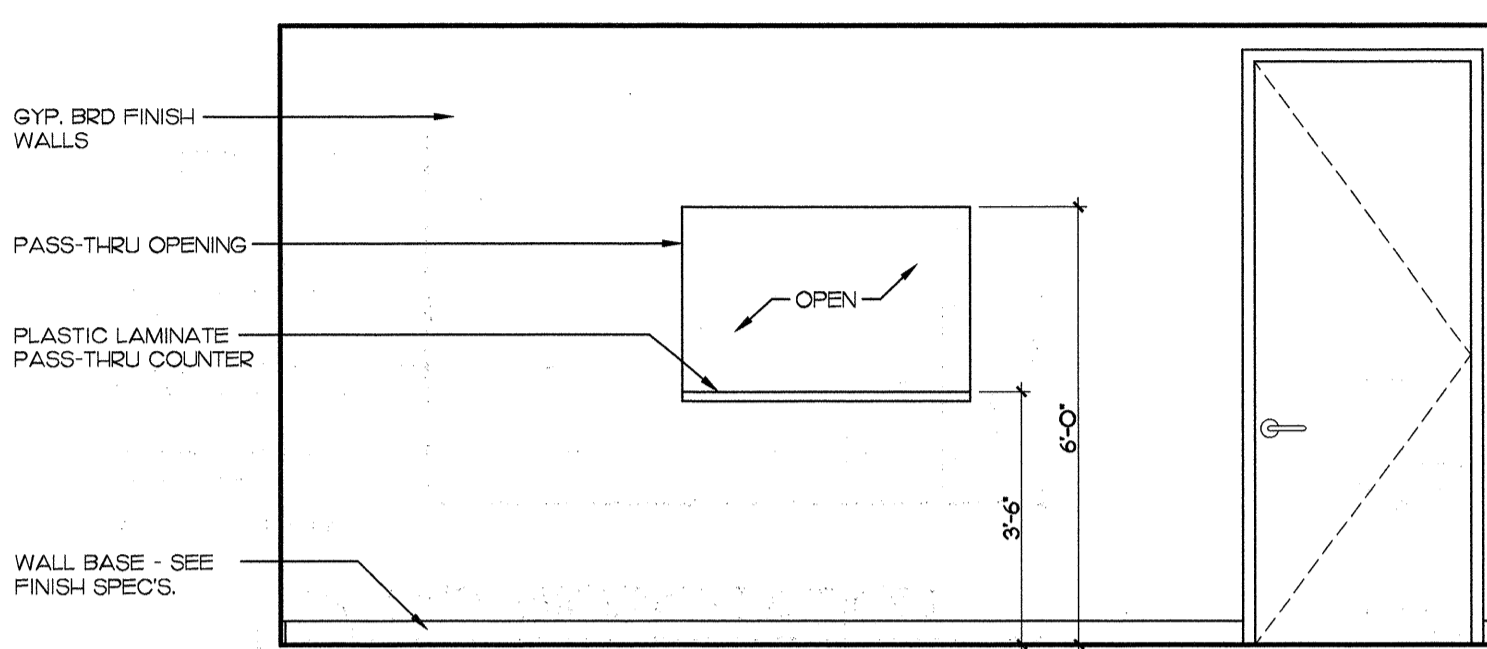
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**FINISH SPECIFICATIONS**

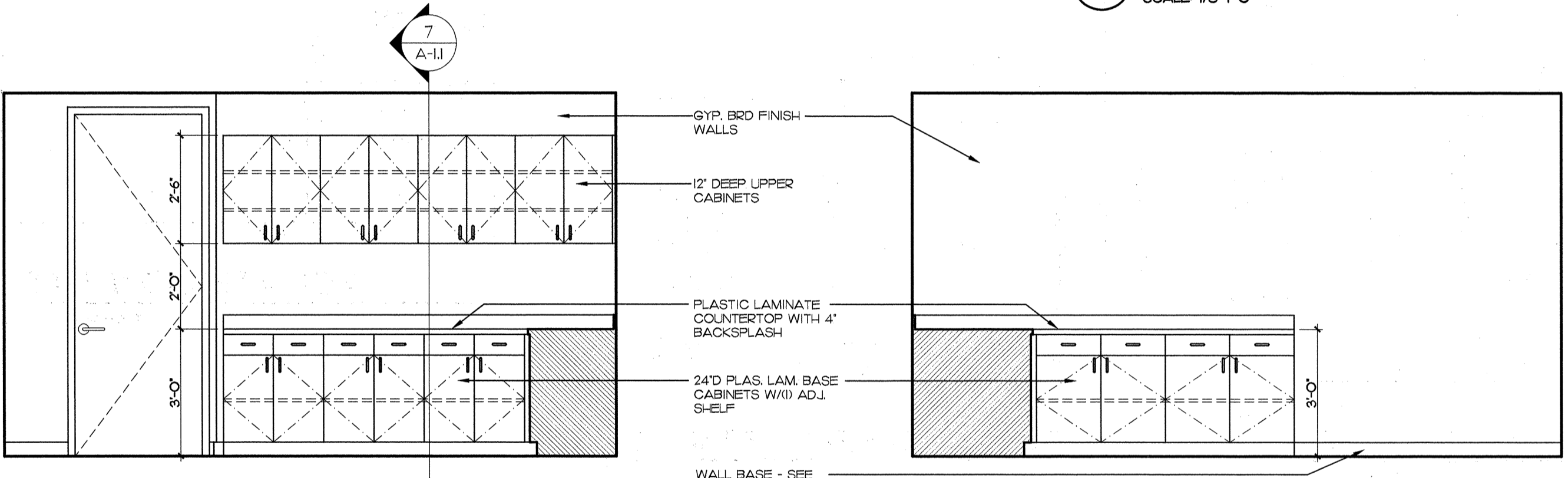
- GENERAL NOTE:**  
 GLIDDEN SPINA AND PARTNERS SHALL QUALIFY GENERAL CONTRACTORS AND SUBCONTRACTORS FOR WALLCOVERINGS, CARPET AND TILE FINISHES.
- FLOOR**
- CONTRACTOR SHALL REMOVE EXISTING FLOOR COVERINGS, AND PREPARE CONCRETE SLAB TO ACCEPT FLOOR FINISHES AS PER FINISH SCHEDULE. AT MATERIAL TRANSITIONS, CONTRACTOR TO PROVIDE LEVELING TO EXTEND 2' TO CREATE GRADUAL SLOPE AND TRANSITIONS SHALL NOT BE GREATER THAN 1/4".
  - FINISH TO BE WITHIN 1/8" IN 10' UNLESS OTHERWISE APPROVED IN NON-CIRCULATION AREAS.
  - PROVIDE SLAB FLASHING AT TRANSITION BETWEEN WOOD / TILE AND CARPET WITH 1/8" PER FOOT MAX. SLOPE.
  - CARPET TO BE SUPPLIED AND INSTALLED BY G.C.
- CARPET**
- CARPET SHALL BE INSTALLED WITH ATTACHED TREAD MCR PAD.
  - CONTRACTOR SHALL PROVIDE TRANSITION STRIPS AS MANUFACTURED BY SCHLUTER. MODEL TO BE SELECTED. FINISH TO BE SELECTED.
  - VCT/MARMOLEUM TO CARPET VINYL TRANSITION STRIP, COLOR TO BE SELECTED.
  - CONTRACTOR SHALL TOUCH-UP WOOD BASE, DOORS, AND CASING AFTER CARPET IS INSTALLED.
  - AT MATERIAL TRANSITIONS, SUBCONTRACTOR TO PROVIDE LEVELING TO EXTEND 6' TO CREATE A GRADUAL SLOPE AND TRANSITIONS SHALL NOT BE GREATER THAN 1/4".
  - SUBCONTRACTOR SHALL PROVIDE SEAMING DIAGRAM TO DESIGNER FOR APPROVAL.
  - CARPET SHALL BE TREATED WITH A STAIN GUARD, AS REQUIRED.
  - SELECTED CARPET TO BE 30 OZ. OR MORE.
  - CARPET 1 - (OPT-1) TO BE SELECTED.
  - CARPET 2 - (OPT-2) TO MATCH EXIST. COMMON AREA CORRIDOR.
- VCT**
- MATERIAL AND INSTALLATION BY G.C. MANUFACTURER: ARMSTRONG
  - ACTUAL MATERIAL SHALL BE APPROVED BY TENANT/DESIGNER PRIOR TO INSTALLATION.
  - VINYL COMPOSITION: 12" X 12" STANDARD EXCELON COLOR TO BE SELECTED BY CONTRACTOR.
  - VINYL COMP. TILE - (VCT-1) TO BE SELECTED.
- WOOD**
- MATERIAL AND INSTALLATION BY G.C. MANUFACTURER:
  - WOOD SPECIES, PATTERN AND STAIN FINISH TO BE APPROVED BY INTERIOR DESIGNER. PROVIDE CORK UNDERLAYMENT AS NEEDED.
  - WOOD FLOOR - (WD-1) TO BE SELECTED.
- BASE**
- ALL WOOD SHALL BE FINISHED BY A QUALITY AWI WORKSHOP.
  - ALL MILLWORK SHALL BE FACTORY FINISH.
  - FINISH SAMPLE SHALL BE SUBMITTED TO INTERIOR DESIGNER FOR APPROVAL PRIOR TO FABRICATION.
  - BASE TRIM SHALL BE TOUCHED UP AFTER CARPET IS INSTALLED.
- WOOD BASE - SEE DTL A-1/1**
- PAINT GRADE WOOD PAINT TO BE SELECTED, FINISH SEMI-GLOSS.
  - FINISH SHALL MATCH INTERIOR DESIGNER'S SAMPLE.
  - RUBBER BASE MATERIAL AND INSTALLATION BY G.C. MANUFACTURER: ARMSTRONG
  - RUBBER BASE: 4" HIGH CONTINUOUS COVE BASE WITH PRE-FORMED CORNERS.
  - RUBBER BASE 1 - (RB-1) COLOR TO BE SELECTED.
- WALL**
- GYPSUM BOARD- SMOOTH SLICK FINISH (LEVEL 4, SMOOTH TEXTURE) READY TO RECEIVE PAINT OR SMOOTH FINISH READY TO RECEIVE WALLPAPER.
  - NEW WALL FINISH TO LEVEL TO MATCH EXISTING WALL.
  - GEN. CONTR. SHALL PRIME WITH FLAT OIL BASED PRIMER ON GYPSUM BOARD TO RECEIVE WALLCOVERING TO PROVIDE FULL COVERAGE TO PROHIBIT "TELEGRAPHING" OF TAPE JOINTS THROUGH THE WALLCOVERING. (EXTERIOR WALLS TO ONLY RECEIVE TEXTILE OR PERFORATED VINYL WHEN WALLCOVERING IS SPECIFIED).
  - PAINT MANUFACTURER: SHERWIN WILLIAMS
  - 2 COATS OF PAINT- SEE SCHEDULE AND INTERIOR ELEVATIONS FOR LOCATIONS PROVIDE WALL SAMPLE FOR DESIGNER APPROVAL.
  - PAINT #1 - (PT-1) FINISH WASHABLE EGG-SHELL COLOR TO BE SELECTED.
  - PAINT #2 - (PT-2) FINISH WASHABLE EGG-SHELL COLOR TO BE SELECTED.
- CEILING**
- ALL BULKHEADS OR SOFFITS SHALL BE PAINTED.
  - CONTRACTOR TO LAYOUT CEILING GRID AS SHOWN ON PLAN.
  - TEGULAR EDGES IN ANY VISIBLE AREAS CONTAINING LINEAR AIR BARS, LIGHTS AND SOFFITS SHALL BE FACTORY PAINTED.
  - PAINT MANUFACTURER: SHERWIN WILLIAMS
  - 2 COATS OF WALL PAINT ON ALL GYPSUM BOARD CEILINGS AS NOTED ON PLAN, PAINT #1 - (PT-1) COLOR TO BE SELECTED.
- ACOUSTICAL CEILING**
- "DUNE" #1774, 2X2 BEVELED TEGULAR EDGE- WHITE W/ 15/16" PRELUDE XL GRID, COLOR WHITE LUMINOUS PLUS, BIOLOGIC, NRC .50, 15' 15" WARRANTY.
  - WOOD CROWN MOULDING - SEE DTL B-1/1
  - PAINT GRADE WOOD PAINT TO BE SELECTED, FINISH SEMI-GLOSS.
  - FINISH SHALL MATCH INTERIOR DESIGNER'S SAMPLE.
- LAMINATE**
- COUNTERTOPS- MANUF. \_\_\_\_\_ COLOR TO BE SELECTED BY INTERIOR DESIGNER.
  - CABINETS (FACE TO BE SOLID COLOR MATTE FINISH OR EQUAL)- MANUF. \_\_\_\_\_ COLOR TO BE SELECTED BY INTERIOR DESIGNER.
- WINDOW TREATMENT**
- WINDOW TREATMENTS- MATERIAL AND INSTALLATION BY G.C.
  - MINI-BLINDS SHALL BE PER BUILDING STANDARD. COLOR \_\_\_\_\_ WITH VALANCE.
  - MINI-BLINDS TO BE INSIDE MOUNT WHERE POSSIBLE.
- APPLIANCES**
- CONTRACTOR TO PROVIDE ARCHITECT WITH CUT SHEETS FOR APPLIANCE APPROVAL.
  - REFRIGERATOR - TENANT PROVIDED AND G.C. INSTALLED.
  - DISHWASHER - TENANT PROVIDED AND G.C. INSTALLED.
- COVER PLATES**
- COLOR: WHITE



**1 FINISH & FURN. PLAN PLAN**  
 SCALE: 1/8"=1'-0"

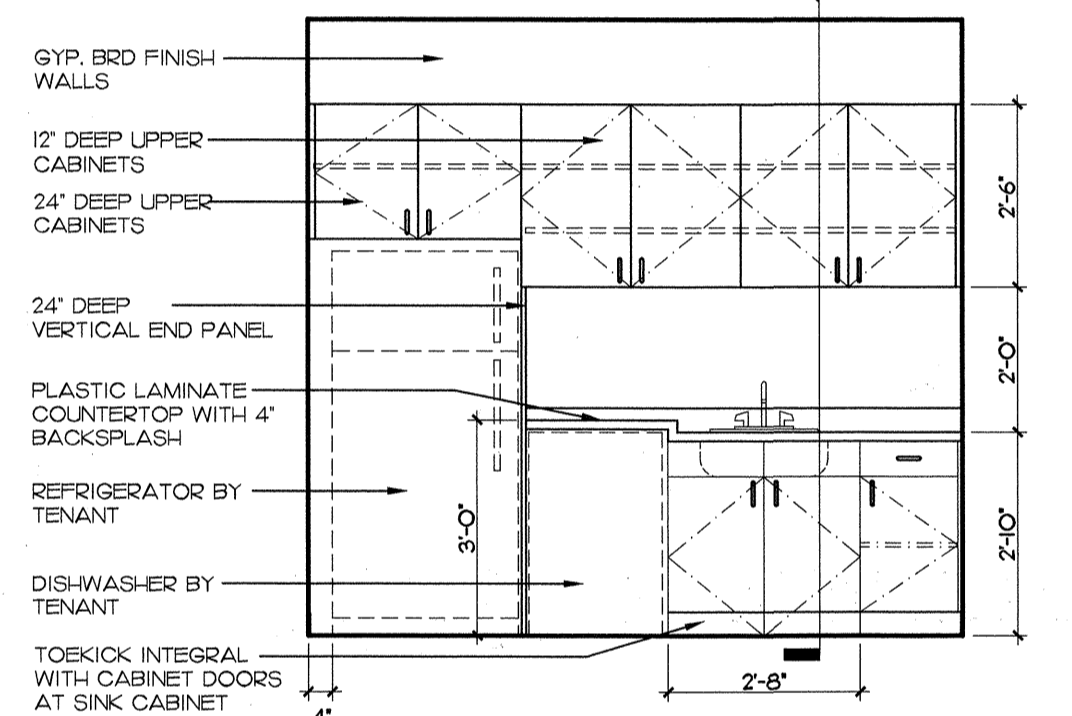


**2 RECEPTION 1413**  
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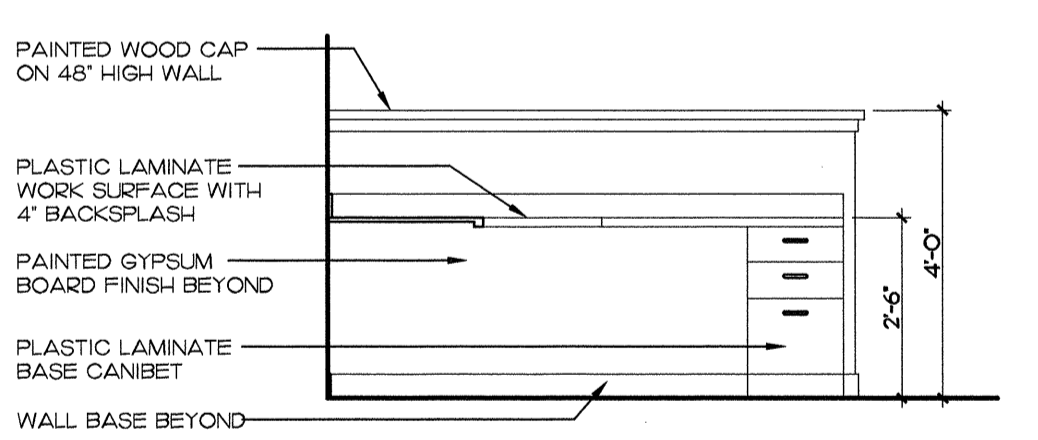


**5 WORK ROOM 1423**  
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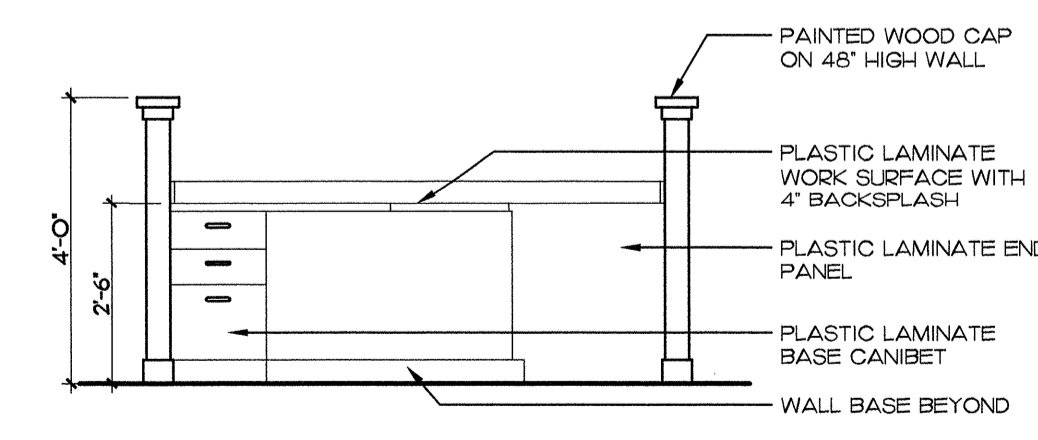
**4 WORK ROOM 1423**  
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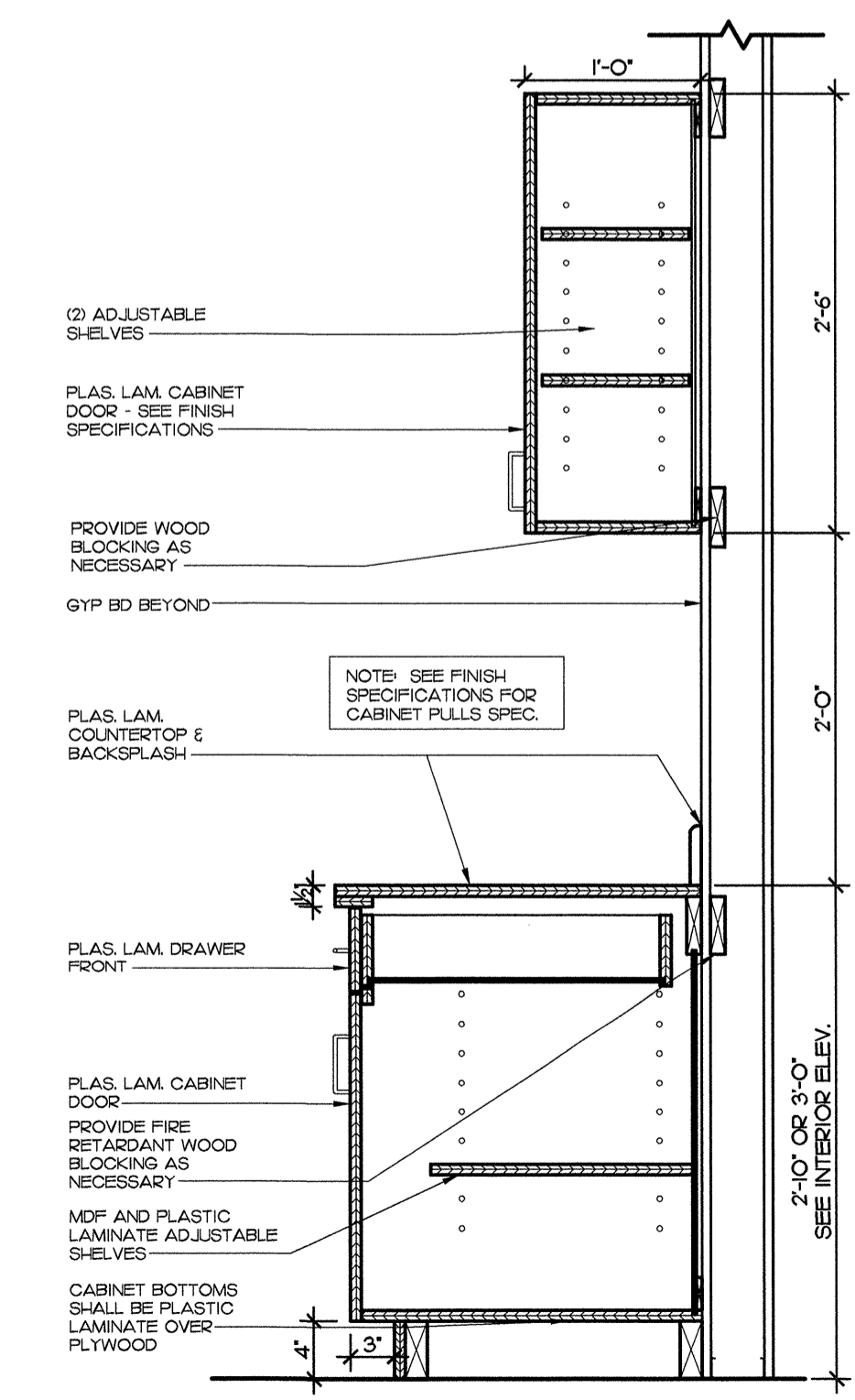
**3 BREAK ROOM 1422**  
 SCALE: 3/8"=1'-0"



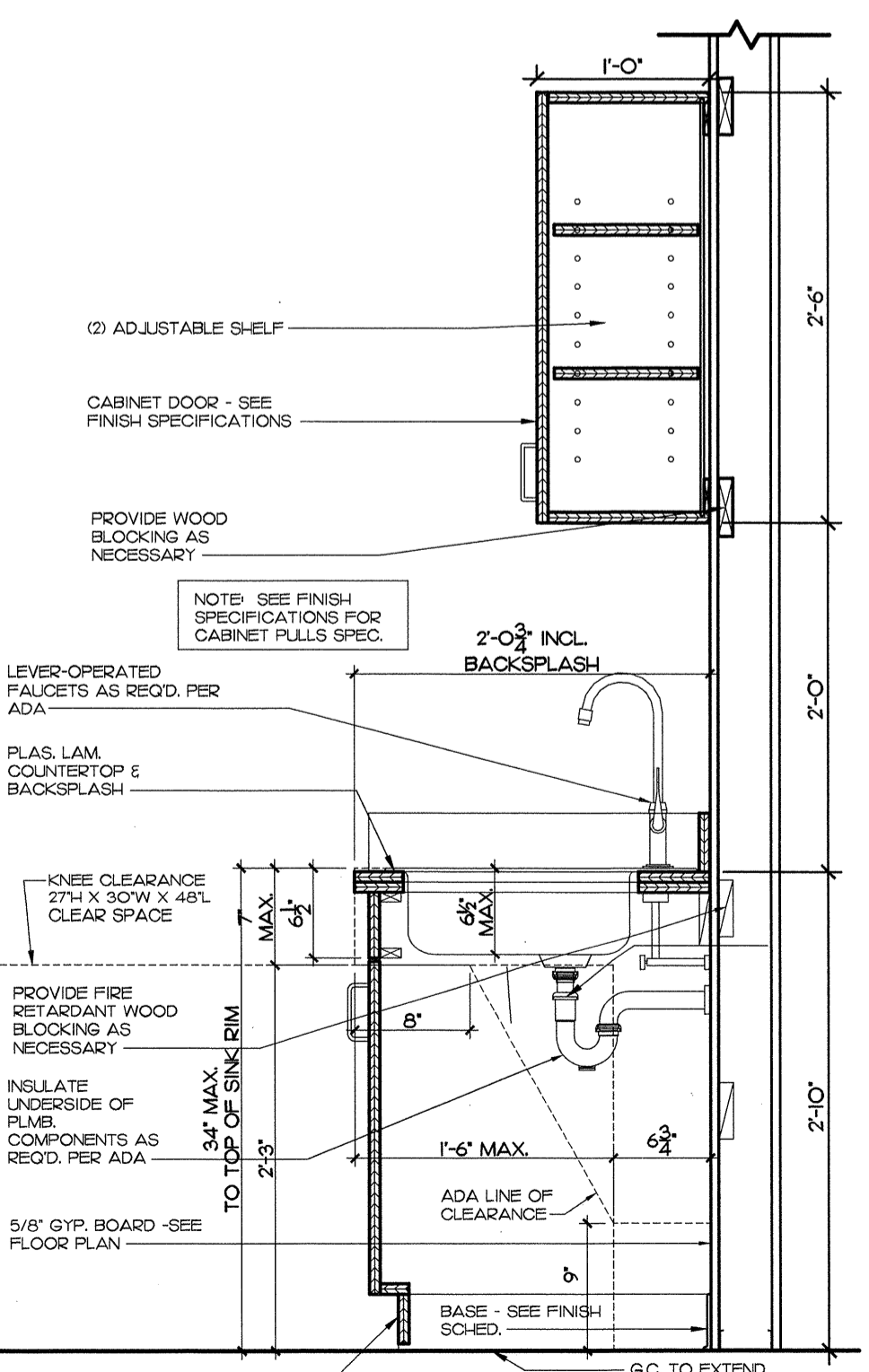
**8 TYP. WORKSTATION**  
 SCALE: 3/8"=1'-0"



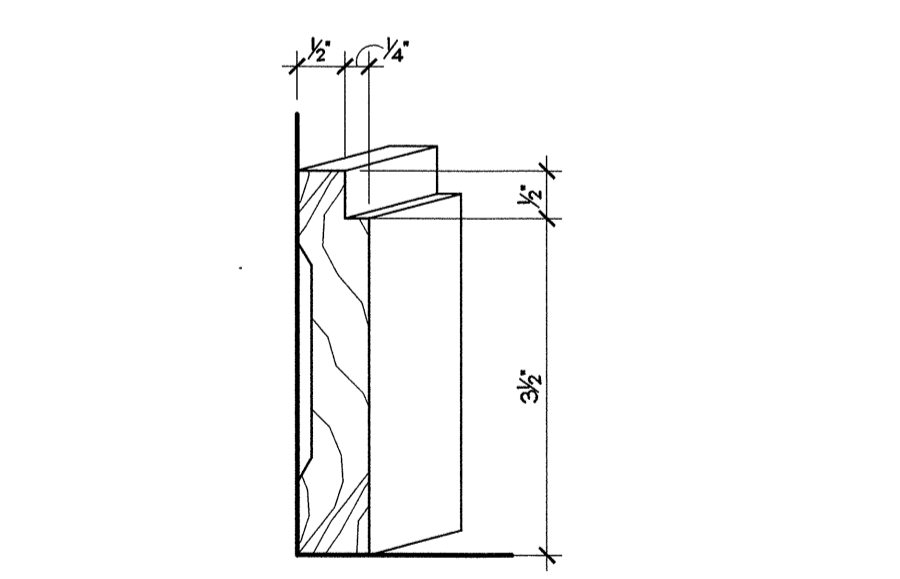
**9 TYP. WORKSTATION**  
 SCALE: 3/8"=1'-0"



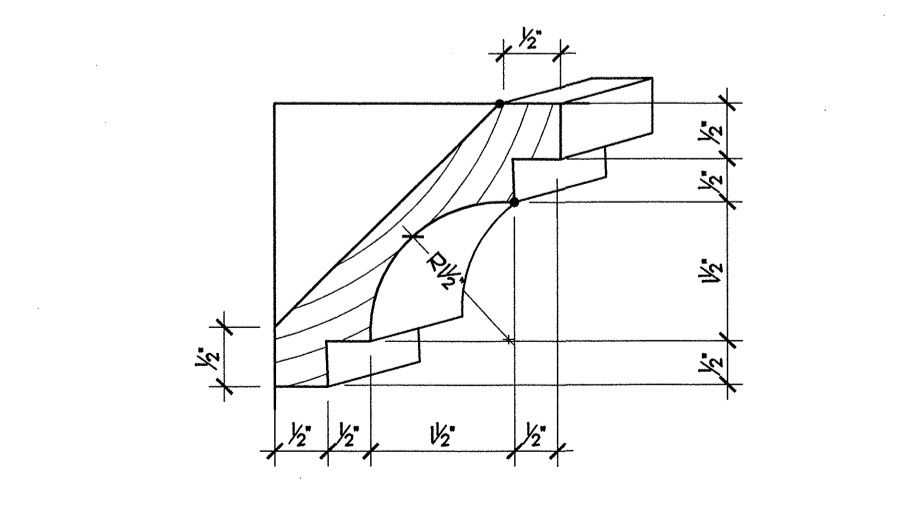
**7 BASE / UPPER CABINETS**  
 SCALE: 1"=1'-0"



**6 SINK AND COUNTERTOP**  
 SCALE: 1"=1'-0"



**A TYP. WOOD BASE PROFILE**  
 SCALE: 1"=1'-0"

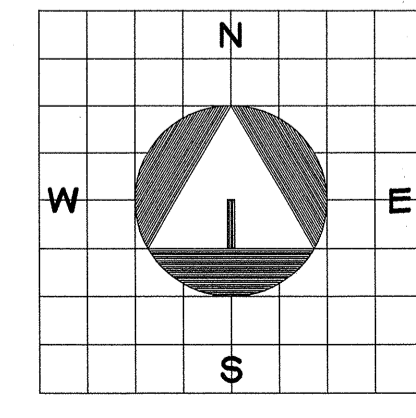
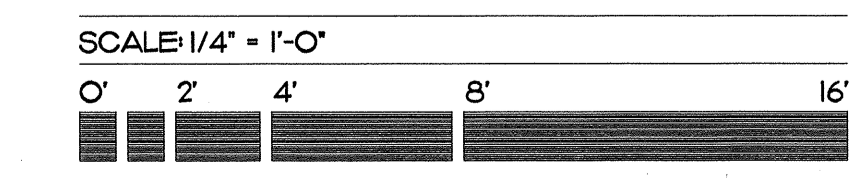


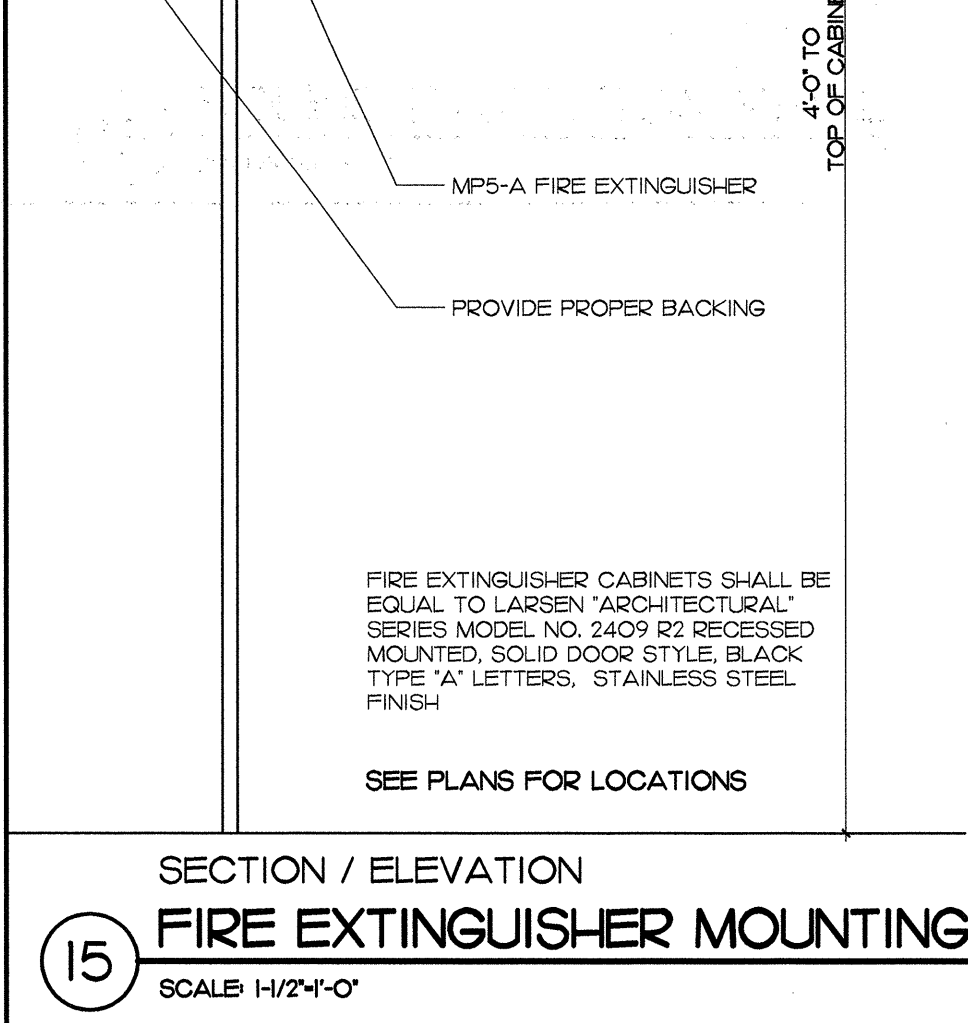
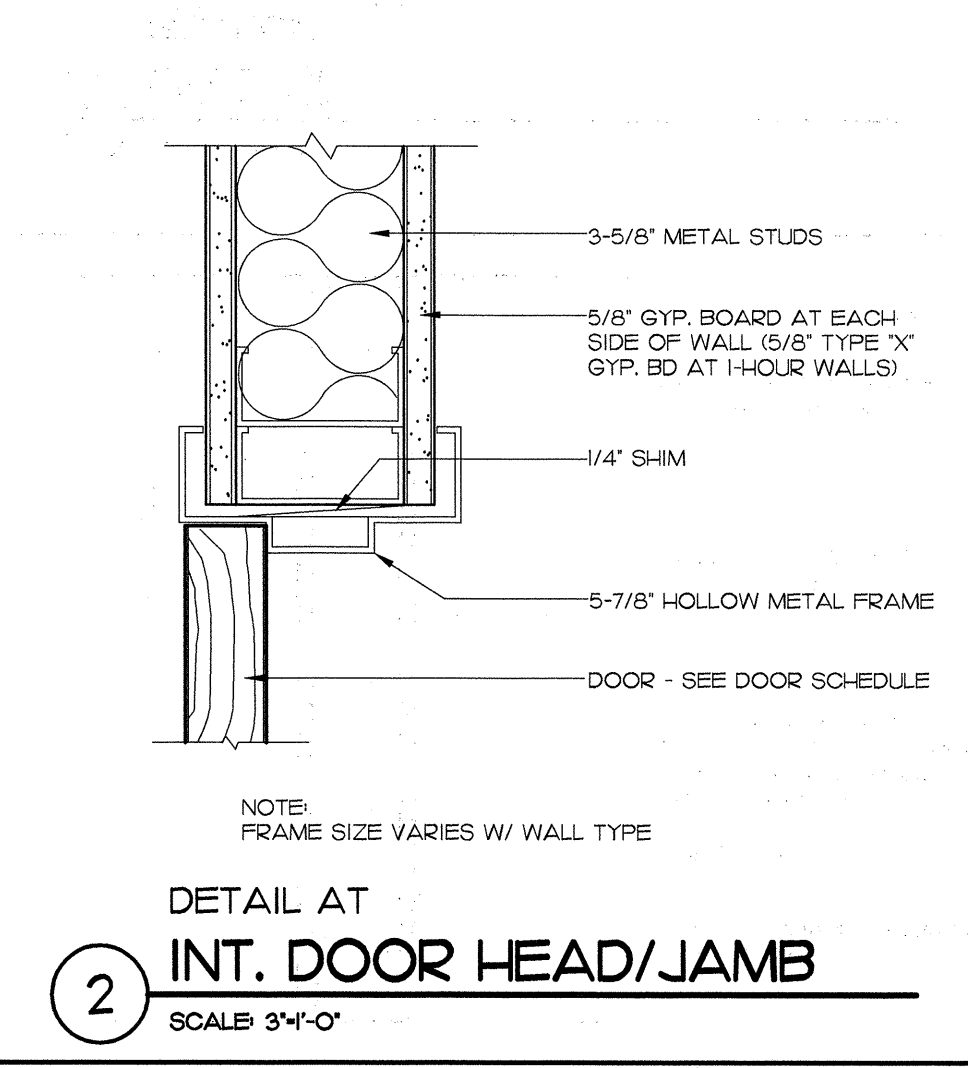
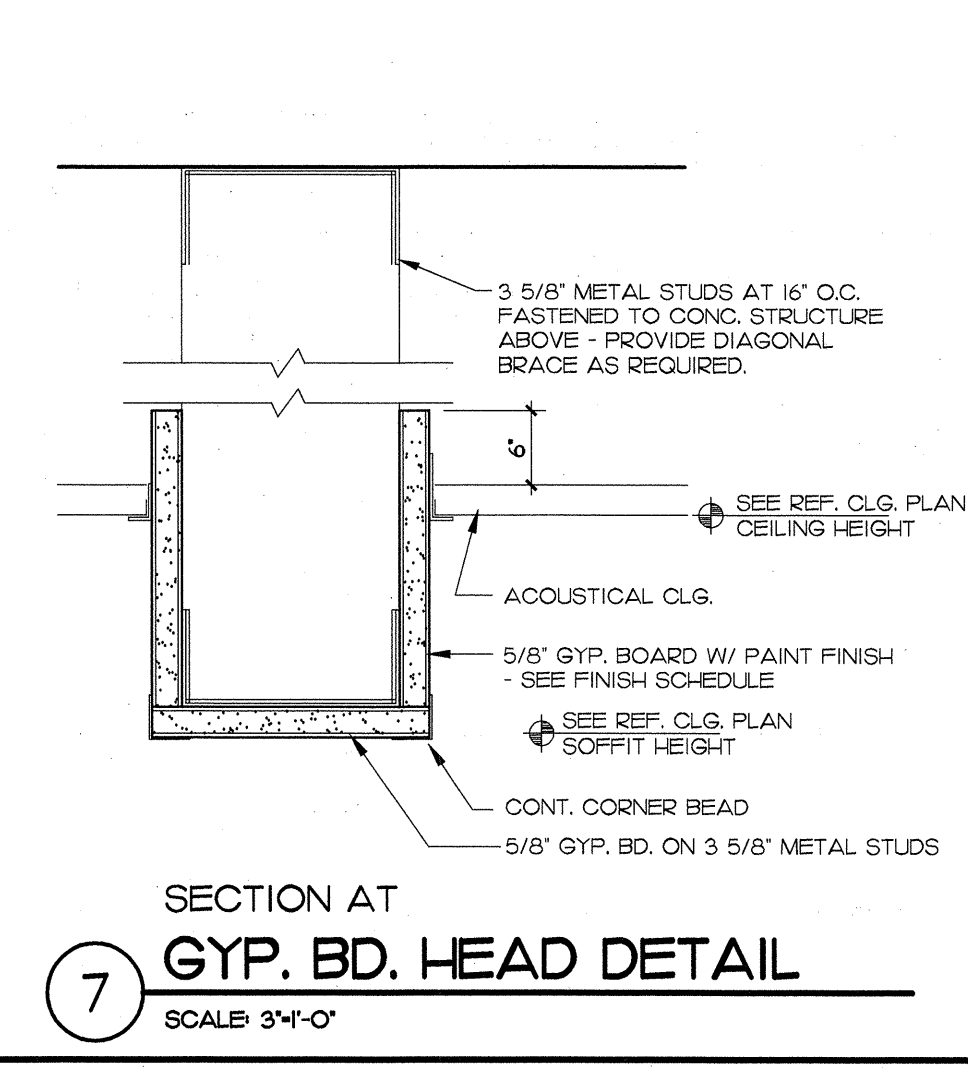
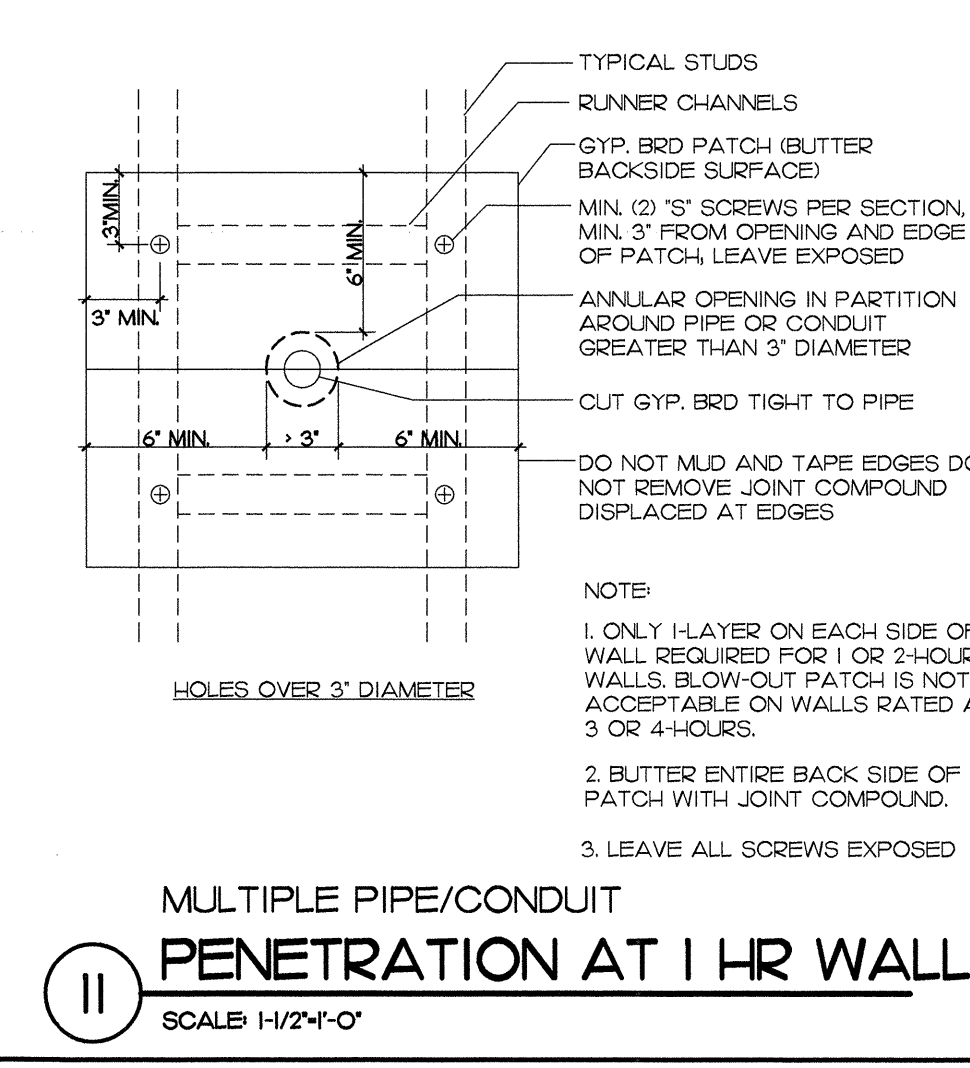
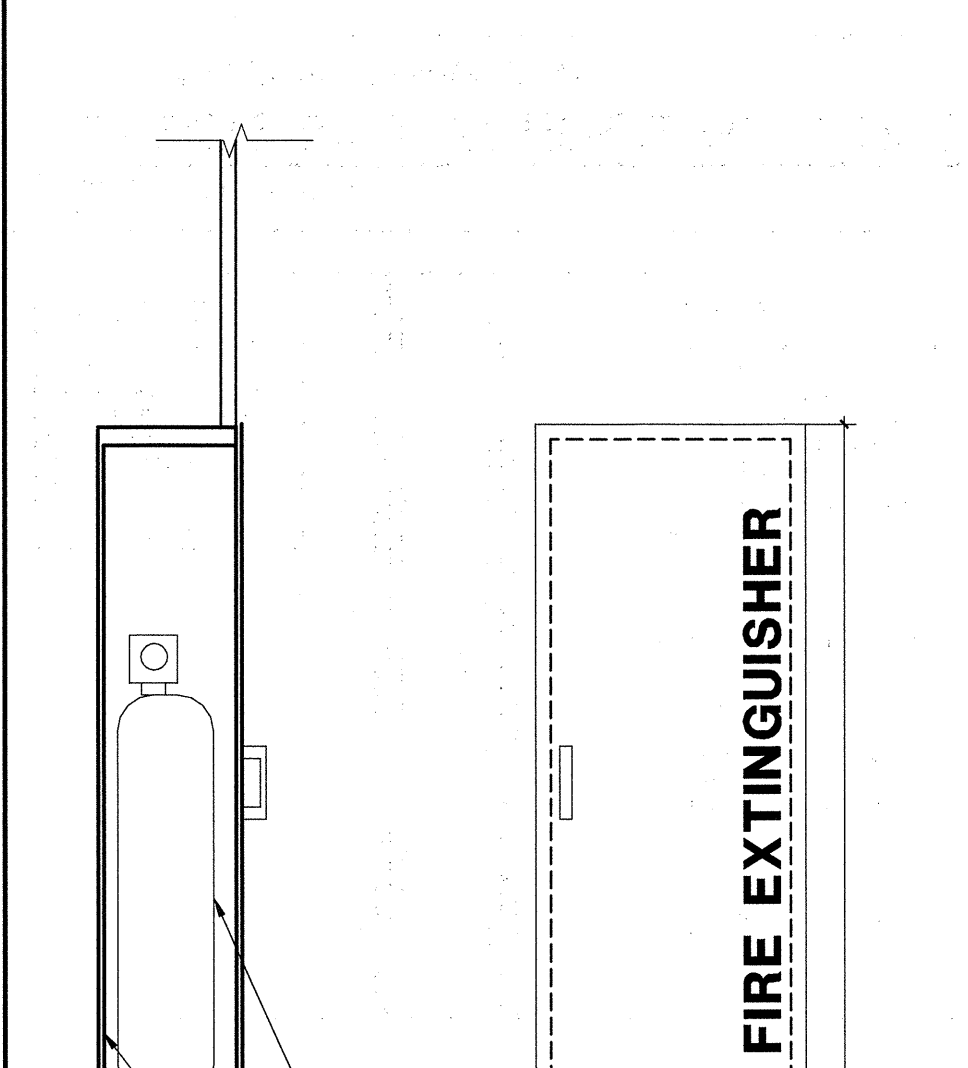
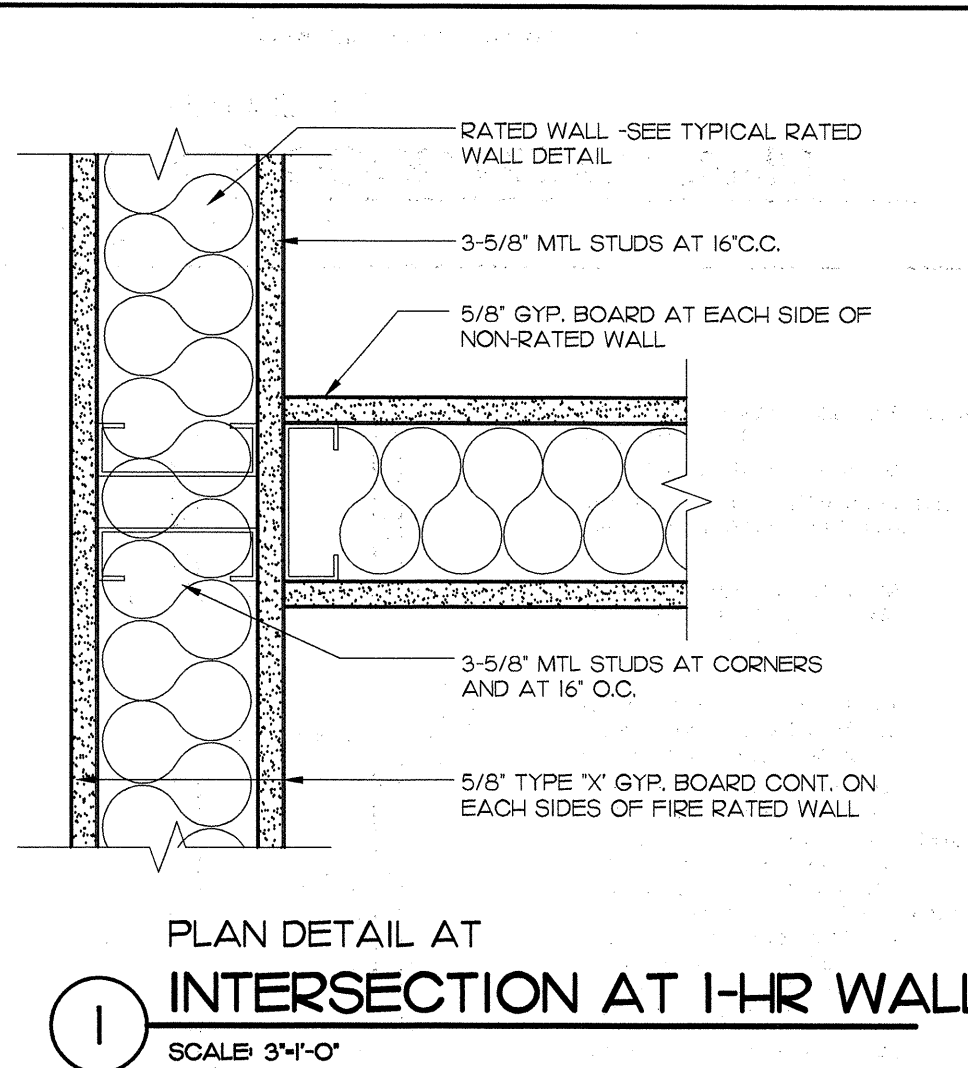
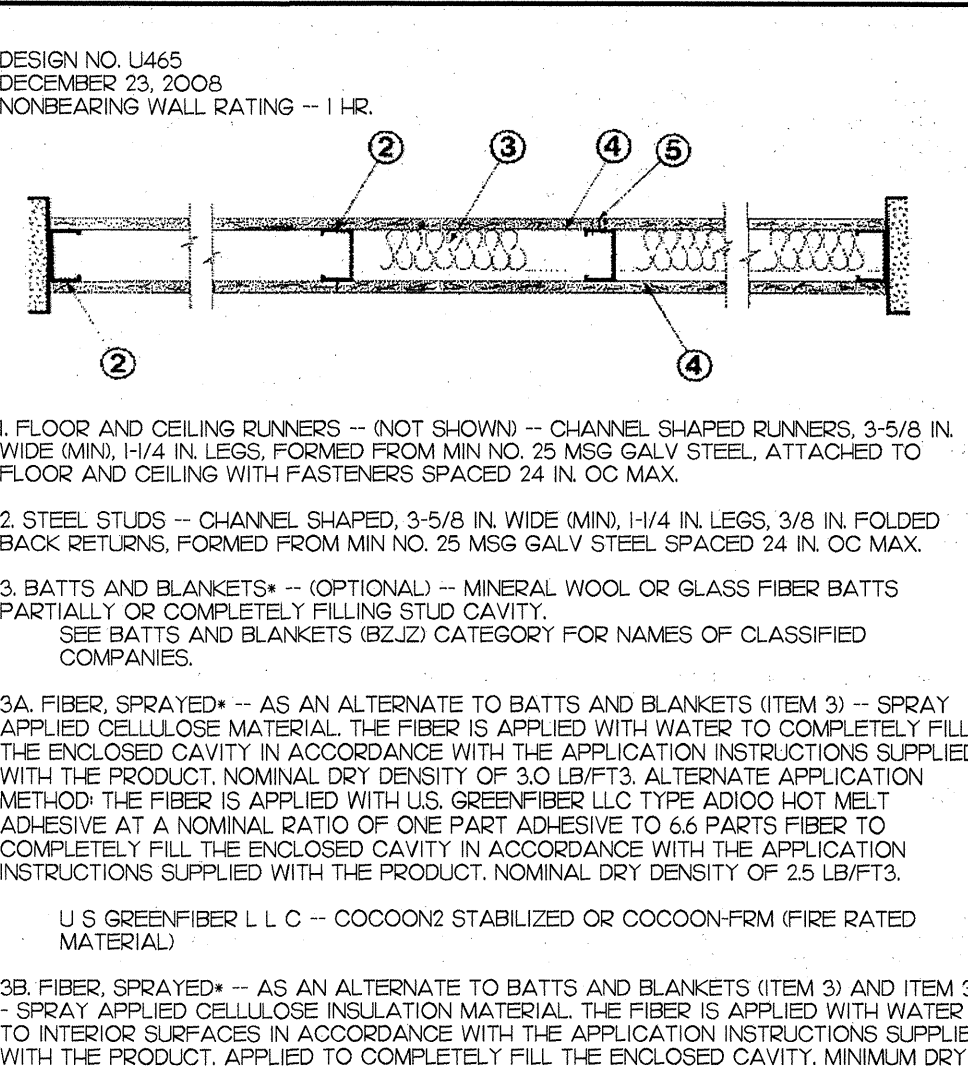
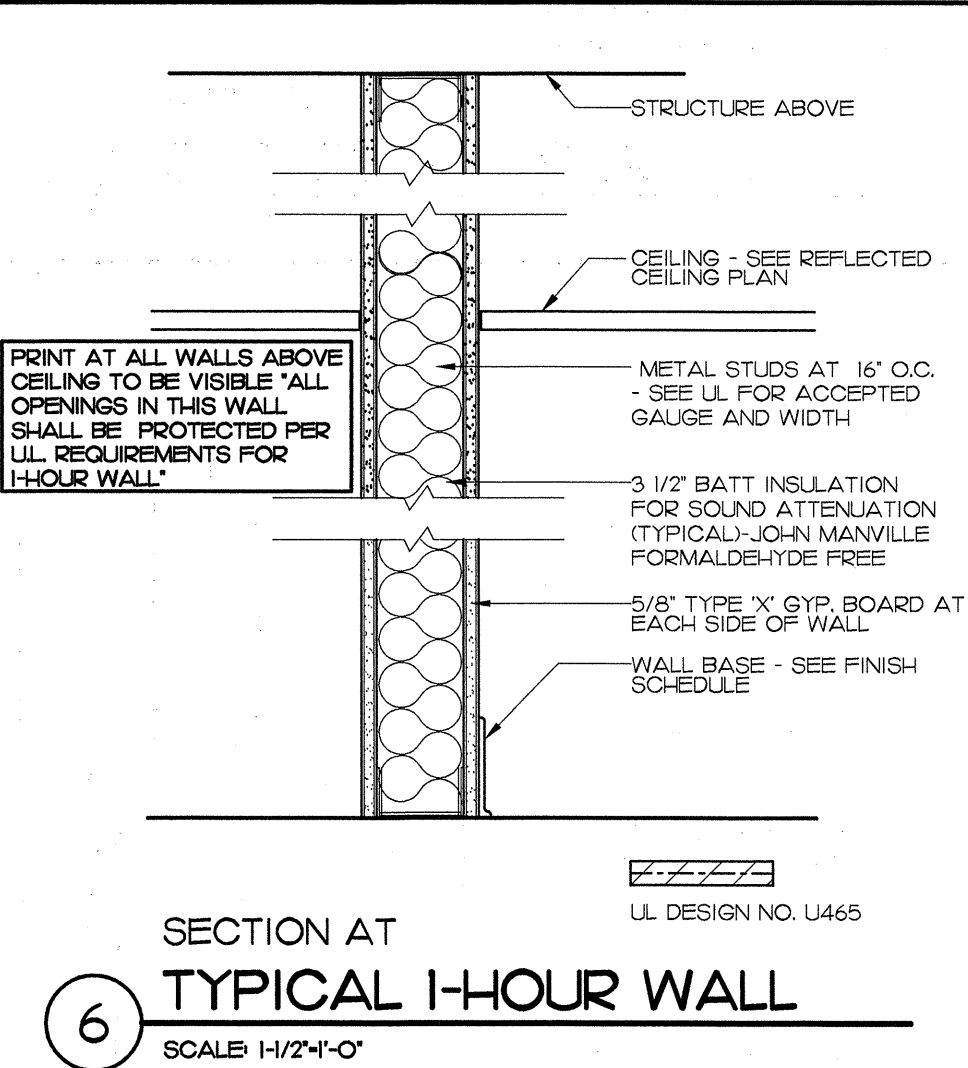
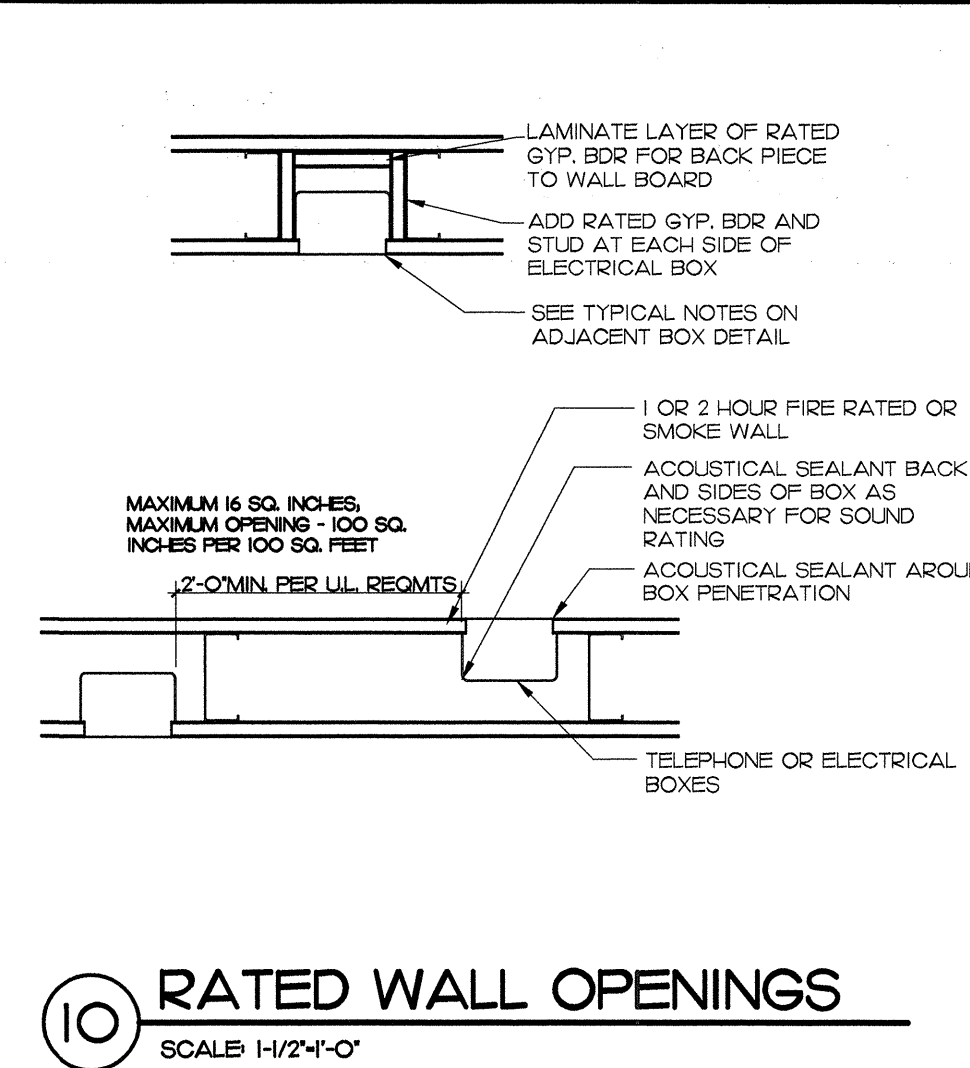
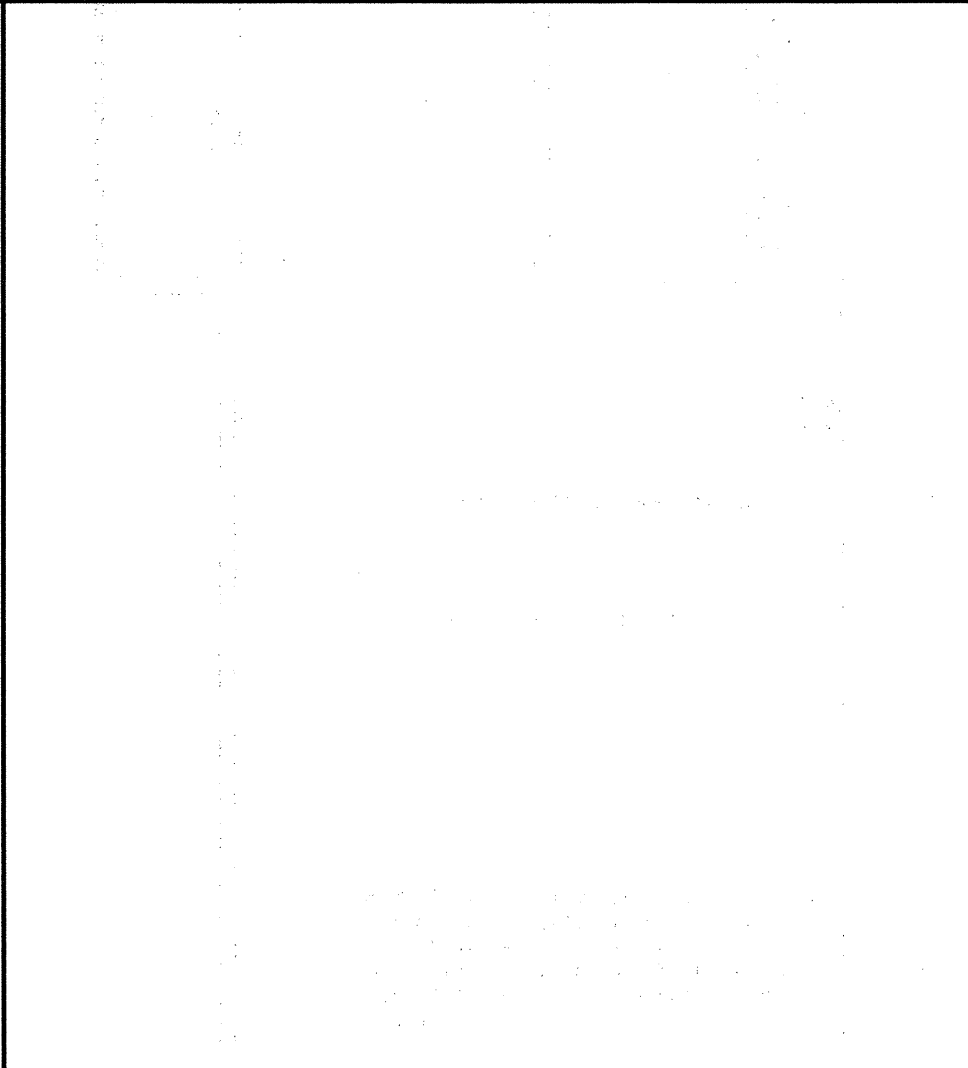
**B TYP. CROWN MOULDING PROFILE**  
 SCALE: 1"=1'-0"

**FURNITURE NOTES**

- DRAWING FOR REFERENCE ONLY.
- ALL FURNITURE SHALL BE PROVIDED AND INSTALLED BY TENANT.
- G.C. TO COORDINATE ALL POWER AND JUNCTION BOXES LOCATED BEHIND FURNITURE WITH FURNITURE INSTALLER PRIOR TO ROUGH ELEC.
- COORDINATE EXACT LOCATIONS OF FURNITURE WITH INSTALLER.

**14TH FLOOR - FINISH & FURNITURE PLAN**

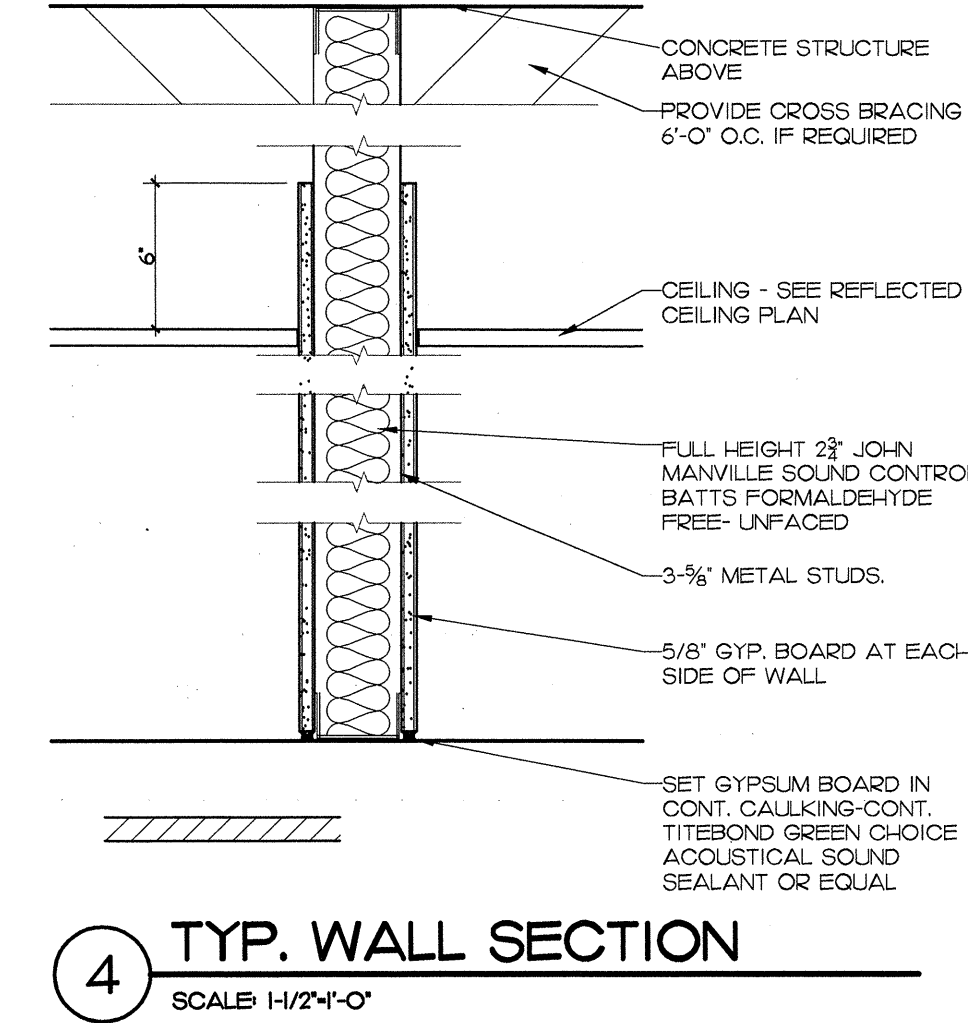
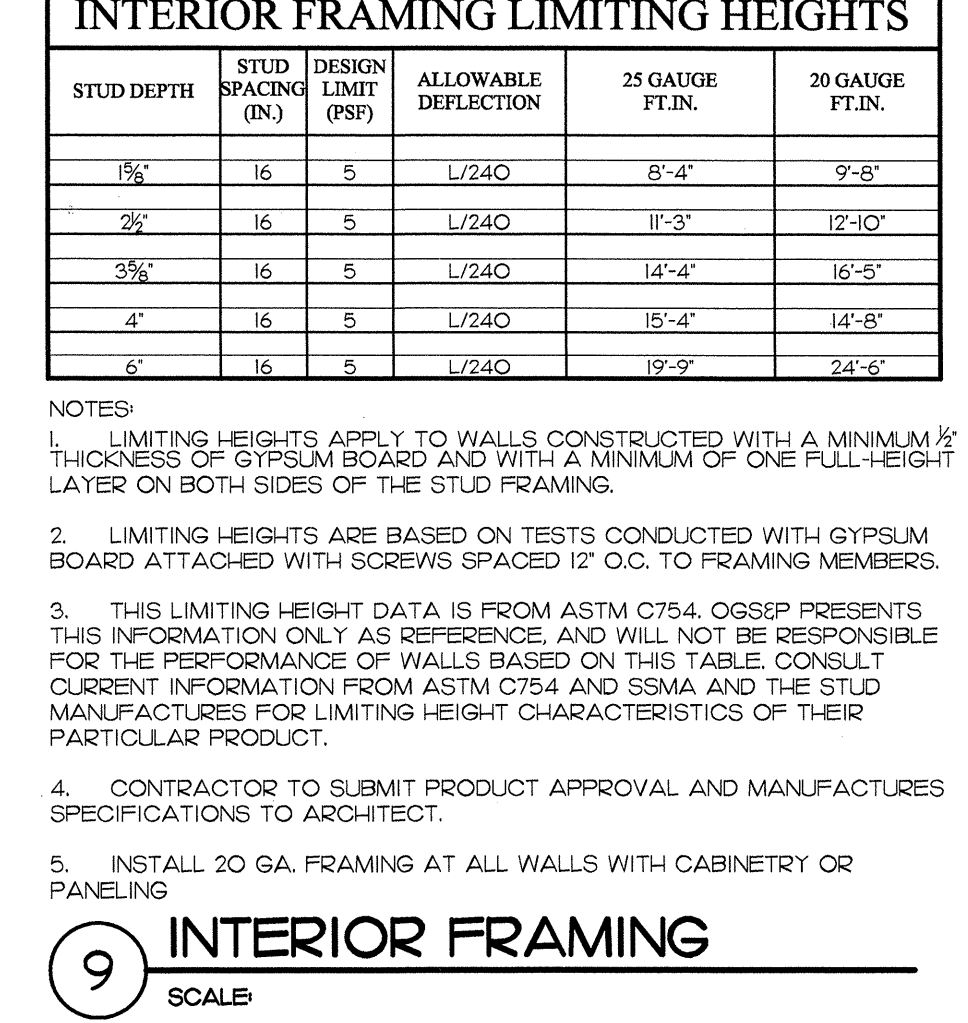
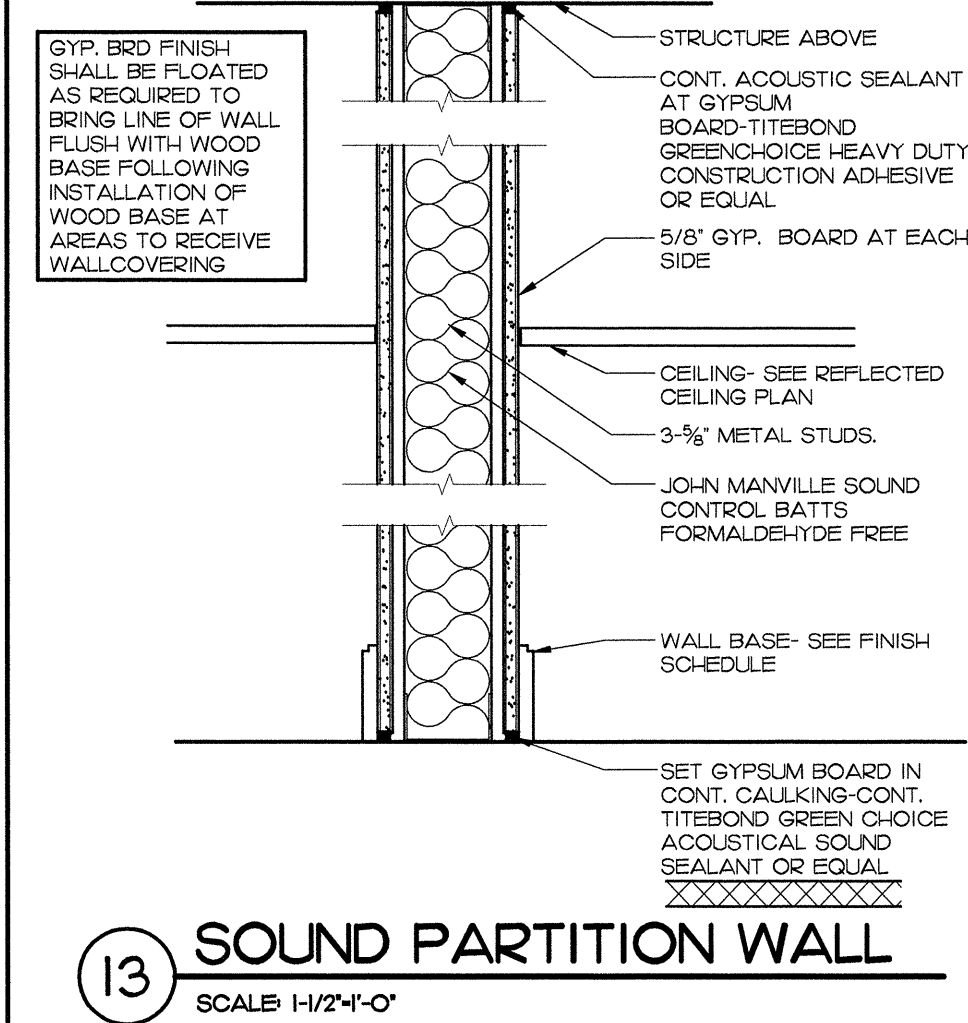
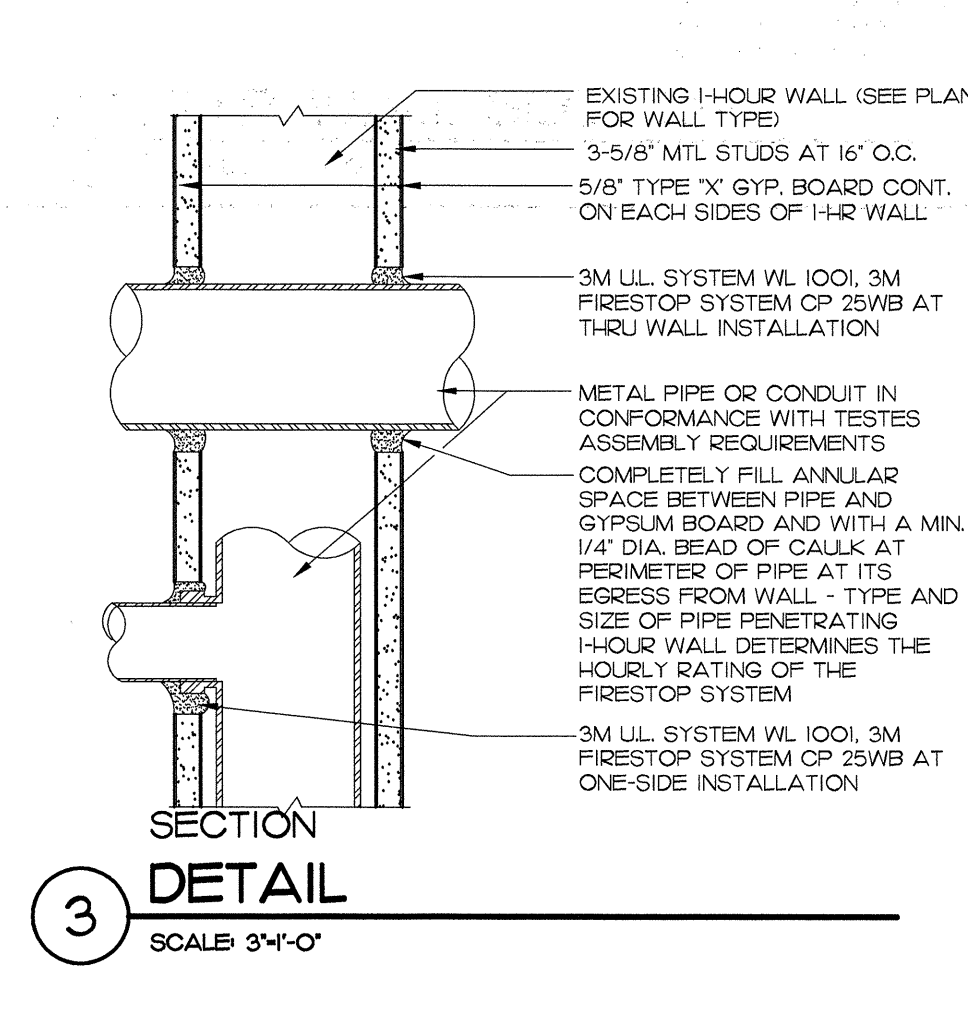
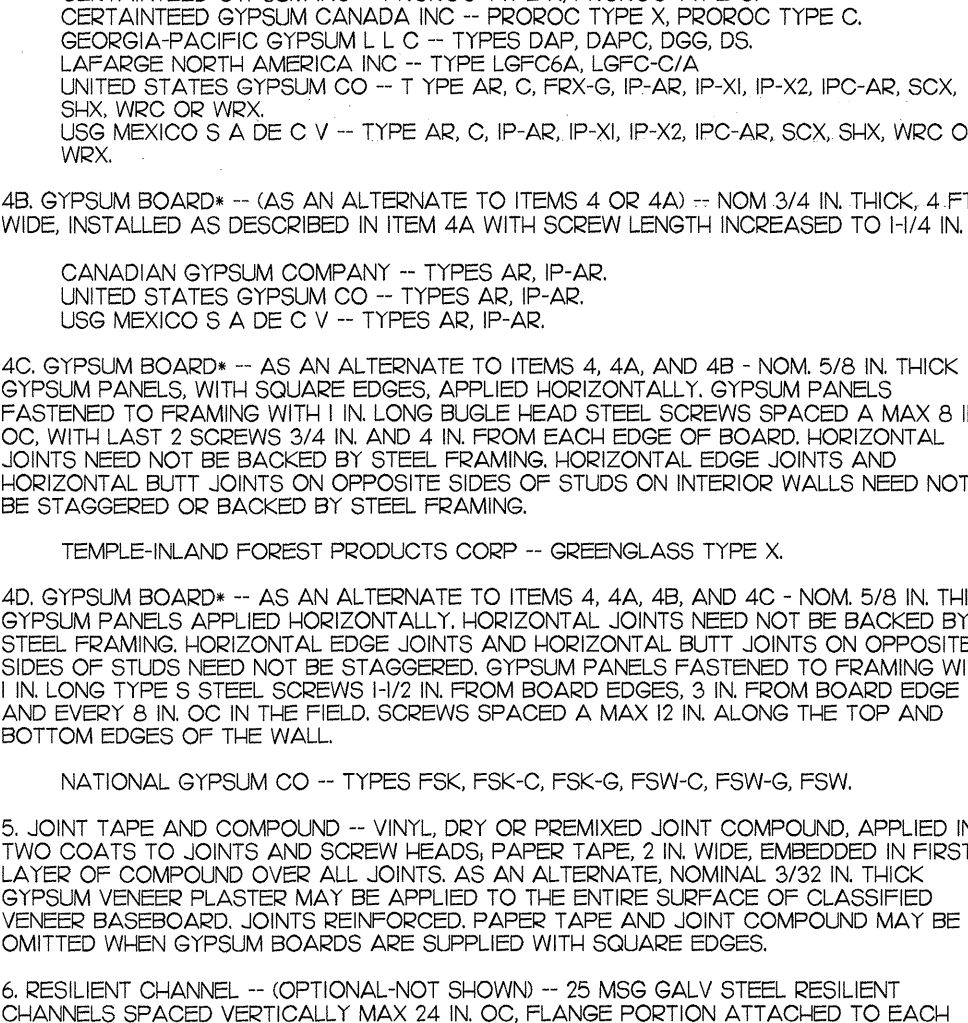




**INTERIOR FRAMING LIMITING HEIGHTS**

STUD DEPTH	STUD SPACING (IN)	DESIGN LIMIT (PSF)	ALLOWABLE DEFLECTION	25 GAUGE FT. IN.	20 GAUGE FT. IN.
1 1/2"	16	5	L/240	8'-4"	9'-8"
2"	16	5	L/240	11'-3"	12'-10"
3"	16	5	L/240	14'-4"	16'-5"
4"	16	5	L/240	15'-4"	18'-8"
6"	16	5	L/240	19'-3"	24'-6"

NOTES:  
 1. LIMITING HEIGHTS APPLY TO WALLS CONSTRUCTED WITH A MINIMUM 1/2" THICKNESS OF GYPSUM BOARD AND WITH A MINIMUM OF ONE FULL-HEIGHT LAYER ON BOTH SIDES OF THE STUD FRAMING.  
 2. LIMITING HEIGHTS ARE BASED ON TESTS CONDUCTED WITH GYPSUM BOARD ATTACHED WITH SCREWS SPACED 12" O.C. TO FRAMING MEMBERS.  
 3. THIS LIMITING HEIGHT DATA IS FROM ASTM C754, Q685P PRESENTS THIS INFORMATION ONLY AS REFERENCE, AND WILL NOT BE RESPONSIBLE FOR THE PERFORMANCE OF WALLS BASED ON THIS TABLE CONSULT CURRENT INFORMATION FROM ASTM C754 AND SSMA, AND THE STUD MANUFACTURERS FOR LIMITING HEIGHT CHARACTERISTICS OF THEIR PARTICULAR PRODUCT.  
 4. CONTRACTOR TO SUBMIT PRODUCT APPROVAL AND MANUFACTURERS SPECIFICATIONS TO ARCHITECT.  
 5. INSTALL 20 GA. FRAMING AT ALL WALLS WITH CABINETS OR PANELING.



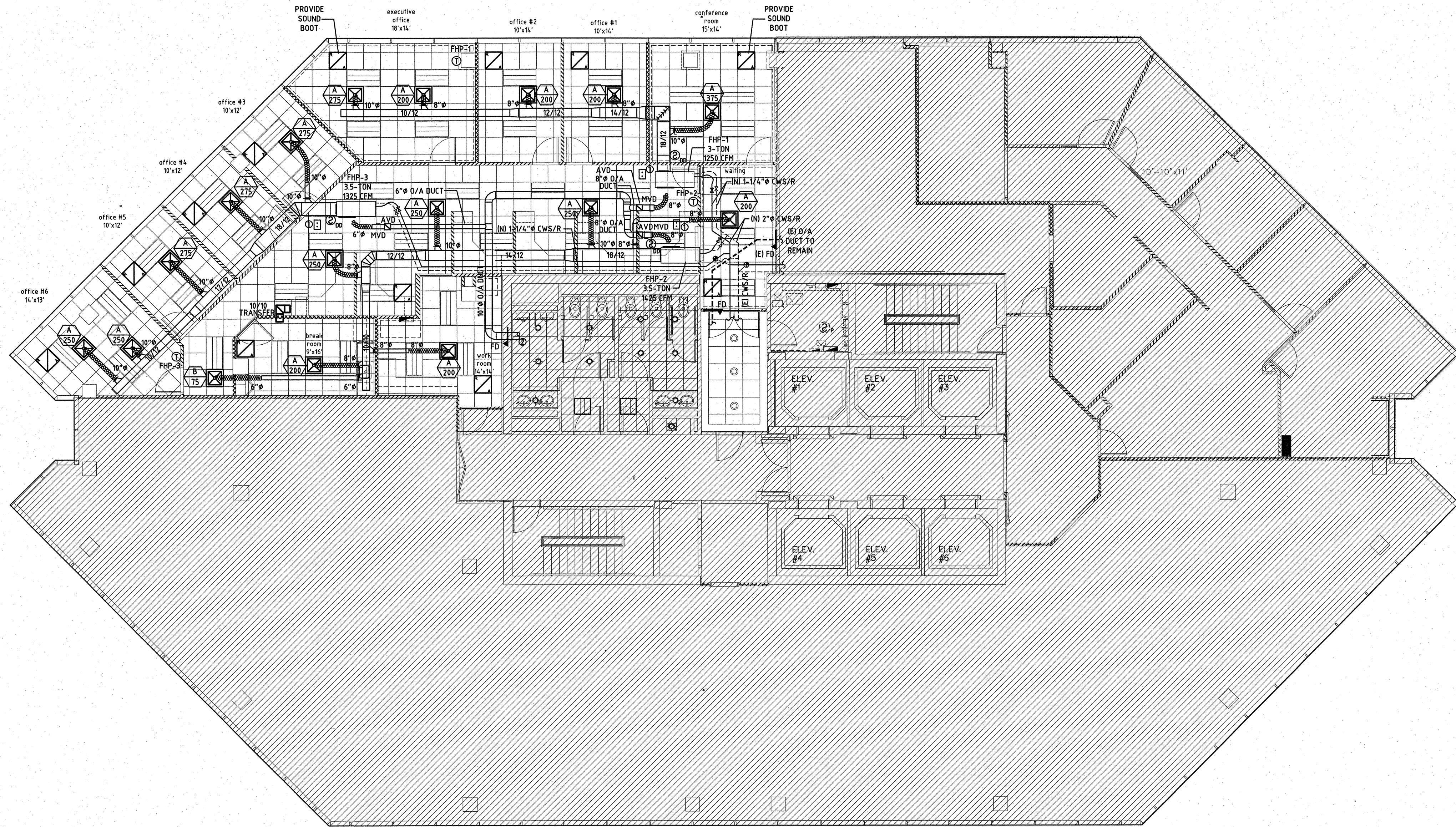
**GLIDDEN • SPINA & PARTNERS**  
 ARCHITECTURE • INTERIOR DESIGN, INC.  
 PHONE: 561.684.6844 • FAX: 561.684.5594 • E-MAIL: info@gsn-architects.com  
 1401 FORUM WAY, SUITE 100 • WEST PALM BEACH, FLORIDA 33401  
 FL License: #AA32601602 Benjamin John Glidden, III #AR13419  
 Keith M. Spina #AR6536

**TENANT IMPROVEMENTS FOR:**  
**MILLER, KAGAN, RODRIGUEZ & SILVER**  
 AT NORTHBRIDGE CENTER  
 515 N. FLAGLER DR., SUITE 1425  
 WPB, FLORIDA

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sheet title: DETAILS AND SECTIONS  
 file name: MKR&S-DTLS.dwg  
 revisions:  
 project no: 11190  
 date: 11/21/11  
 drawn by: BJOE  
 checked by: KS

**A-3.0**



1 MECHANICAL PLAN  
SCALE: 1/8"=1'-0"

A/C LEGEND	
	4W - DIFFUSER
	2W - DIFFUSER
	TRANSITION
	MANUAL VOLUME DAMPER (M.V.D.)
	FIRE DAMPER (F.D.)
	FIRE/SMOKE DAMPER (F.S.D.)
	THERMOSTAT
	RETURN AIR GRILLE
	EXHAUST FAN
	REMOTE ALARM TEST STATION
	SMOKE DUCT DETECTOR
	DIFFUSER TYPE
	CFM
	AUTOMATED VOLUME DAMPER
	FLORIDA HEAT PUMP (FHP)
	CONDENSER WATER RETURN
	CONDENSER WATER SUPPLY
	POINT OF CONNECTION
ABBREVIATIONS	
A.F.F.	ABOVE FINISHED FLOOR
R.A.	RETURN AIR
R.C.	ROOF CAP
W.C.	WALL CAP
O/A	OUTSIDE AIR
S.A.D.	SUPPLY AIR DUCT
R.A.D.	RETURN AIR DUCT
R.A.G.	RETURN AIR GRILLE
E.A.G.	EXHAUST AIR GRILLE
T.E.D.	TOILET EXHAUST DUCT
A.V.D.	AUTOMATED VOLUME DAMPER
FHP	FLORIDA HEAT PUMP
AHU	AIR HANDLER UNIT
CU	CONDENSING UNIT
WAHU	WALL MOUNTED AIR HANDLER UNIT
CAHU	CEILING MOUNTED AIR HANDLER UNIT
(N)	NEW
(E)	EXISTING TO REMAIN
(D)	EXISTING TO BE DEMOLISH
(RE)	EXISTING TO BE RELOCATED
(RP)	EXISTING TO BE REPLACED
	SUPPLY DUCT (UP & DOWN)
	RETURN DUCT (UP & DOWN)
	EXHAUST DUCT (UP & DOWN)
	O/A DUCT (UP & DOWN)
	NEW DUCT - WIDTH x DEPTH
	EXISTING DUCT - WIDTH x DEPTH
	NEW FLEX DUCT - DIAMETER

**NOTE TO CONTRACTOR**

- CONTRACTOR TO COORDINATE ALL MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL AND FIRE SPRINKLER WITH EXISTING CONDITIONS.
- REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR FINAL LOCATION OF ALL DEVICES.
- COORDINATE IN FIELD ALL DUCT CROSSINGS. TURN DUCTS UP AND OVER EACH OTHER AS REQUIRED.
- ALL FIRE DAMPERS AND FIRE SMOKE DAMPERS SHALL BE INSTALLED PER MANUFACTURERS INSTRUCTIONS.
- THERMOSTATS TO BE MOUNTED 42" A.F.F. COORDINATE EXACT LOCATIONS WITH SWITCH LOCATIONS ON WALL PRIOR TO ROUGH IN.
- ALL NEW FLEX DUCTS SHALL NOT EXCEED 6' IN LENGTH. CONTRACTOR TO VERIFY IN FIELD EXACT LENGTH AND LOCATIONS FOR DUCT EXTENSIONS TO KEEP FLEX DUCT AT A 6' MAXIMUM.

**KEY NOTES:**

- CEILING MOUNT REMOTE ALARM TEST STATION. CENTER IN CEILING TILE NUMBER WITH CORRESPONDING FHP # FOR IDENTIFICATION.
- NEW 10" O/A DUCT FROM EXISTING O/A DUCT ABOVE RESTROOMS. VERIFY EXACT LOCATION AND ROUTING IN FIELD.

**NOTE TO CONTRACTOR**

CONTRACTOR TO COORDINATE ALL MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL AND FIRE SPRINKLER WITH EXISTING CONDITIONS.

REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR FINAL LOCATION OF ALL DEVICES.

**NOTE:**  
CEILING SPACE IS A COMMON PLENUM NO COMBUSTIBLE MATERIALS ALLOWED.

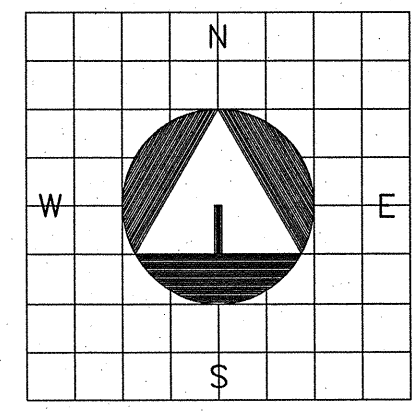
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**FAE CONSULTING**

1640 N.W. BOCA RATON BLVD.  
BOCA RATON, FL 33432  
TEL: (561) 391-9292 FAX: (561) 391-9898  
CERTIFICATE OF AUTHORIZATION NO. 28107  
HAROLD R. TUBSLER, P.E. LICENSE #19315  
LIRIBLLA IAFRATE, P.E. LICENSE #73122  
MARTIN WHITELOCKE, P.E. LICENSE #53899  
E-MAIL: INFO@FAECONSULTING.COM

14TH FLOOR PLAN

SCALE: 1/8" = 1'-0"



**PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.**

**GLIDDEN • SPINA & PARTNERS**  
ARCHITECTURE • INTERIOR DESIGN, INC.  
PHONE: 561.684.6844 • FAX: 561.684.5594 • E-MAIL: info@gsp-architects.com  
1401 FORUM WAY, SUITE 100 • WEST PALM BEACH, FLORIDA 33401  
FL License: #AA26001602  
Benjamin John Glidden, III #AR6536  
Kath M. Spina #AR15419



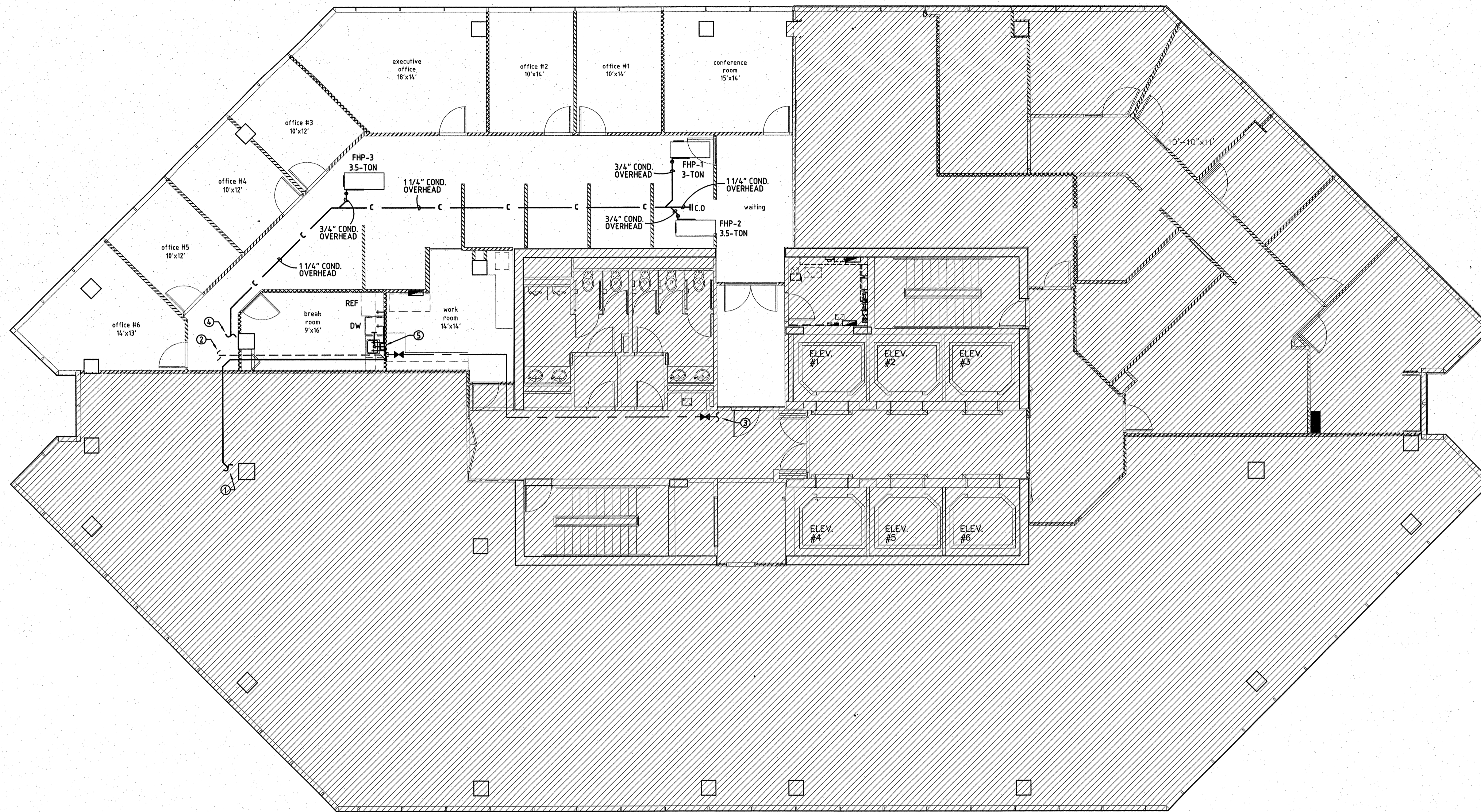
**TENANT IMPROVEMENTS FOR:**  
**MKR'S MILLER, KAGAN, RODRIGUEZ & SILVER**  
AT NORTHBRIIDGE CENTER  
515 N. FLAGLER DR., SUITE 1400  
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sheet title: 14TH FLOOR PLAN  
file name: 11445\_M1.1(2).DWG  
project no: 11445  
date: 12/13/11  
drawn by: CUSK/AB  
checked by: UI

**M1.1**





**PLUMBING SPECIFICATIONS**

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2007 EDITION PLUMBING SECTION, WITH 2009 AMENDMENTS, AND SHALL COMPLY WITH ALL LOCAL RULES AND ORDINANCES.
- ALL WORKMANSHIP & MATERIALS SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE NATIONAL, STATE, LOCAL CODES, RULES & ORDINANCES.
  - CONTRACTOR SHALL VISIT THE JOB SITE & THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS.
  - ALL MATERIALS SHALL BE NEW.
  - ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR IN A FIRST-CLASS WORKMANLIKE MANNER. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIVE.
  - ALL EXCAVATION & BACK FILL AS REQUIRED FOR THIS PHASE OF CONSTRUCTION SHALL BE A PART OF THIS CONTRACT.
  - REQUIRED INSURANCE SHALL BE PROVIDED BY THIS CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY & PROPERTY DAMAGE FOR THE DURATION OF WORK.
  - CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS & TEST. SUBSTITUTIONS BY THE CONTRACTOR SHALL HAVE PRIOR APPROVAL. ANY CHANGES MADE WITHOUT APPROVAL WILL BE PAID BY THE CONTRACTOR TO RETURN TO THE ORIGINAL DESIGN.
  - ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROCESS OF CONSTRUCTION.
  - THE CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR REVIEW OF THE GENERAL NOTES, SPECIFICATIONS, AND ALL OTHER DRAWINGS FOR ADDITIONAL REQUIREMENTS WHICH MAY NOT BE SPECIFICALLY CALLED OUT IN THIS PORTION OF THE CONSTRUCTION DOCUMENTS.
  - DRAWINGS FOR PLUMBING WORK ARE DIAGRAMMATIC, SHOWING THE GENERAL LOCATION, TYPE, LAYOUT, AND EQUIPMENT REQUIRED. THE DRAWINGS SHALL NOT BE SCALED FOR EXACT MEASUREMENT. FIELD VERIFY FINAL LOCATIONS FOR EQUIPMENT. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND EXACT LOCATION OF PLUMBING FIXTURES. REFER TO MANUFACTURER'S STANDARD INSTALLATION DRAWINGS FOR EQUIPMENT CONNECTIONS AND INSTALLATION REQUIREMENTS.
  - DRAWINGS AND SPECIFICATIONS GOVERN WHERE THEY EXCEED CODE REQUIREMENTS.
  - VERIFY LOCATION, SIZE, TRAPS, INVERTS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ADVISE ENGINEER OF ANY DISCREPANCIES. ANY COST RESULTING FROM DISCREPANCIES NOT REPORTED AT THIS TIME SHALL BE PAID BY THE CONTRACTOR.
  - INSTALL AIR CHAMBERS OR SHOCK ABSORBERS IN PIPING SYSTEM TO PREVENT NOISE AND DAMAGE DUE TO WATER HAMMER.
  - PROVIDE SHUT-OFF VALVES IN THE SUPPLY PIPING TO EVERY FIXTURE.
  - ALL FIXTURES MUST BE PROVIDED WITH READILY ACCESSIBLE STOPS.
  - IN AREAS WHERE AN EXISTING FIXTURE IS TO BE REMOVED AND THE SANITARY LINE IS TO BE CAPPED, THE LINE MUST BE CAPPED WITH-IN 2 FEET OF AN ACTIVE SANITARY LINE. NO DEAD ENDS PERMITTED.
  - CAP ALL PIPING OPENINGS DURING CONSTRUCTION UNTIL FINAL CONNECTIONS TO EQUIPMENT AND ACCESSORIES ARE MADE.
  - SANITARY PIPE 3" AND SMALLER SHALL BE SLOPED AT 1/4" PER FOOT. SANITARY PIPE 4" AND LARGER SHALL BE SLOPED AT 1/8" PER FOOT. CONDENSATE PIPING SHALL BE SLOPED AT A MINIMUM OF 1/4" PER FOOT.
  - ALL FLOOR PENETRATIONS MUST BE SLEEVED, FIRE STOPPED, GROUTED, SEALED AND MADE WATERPROOF IN ACCORDANCE WITH THE LANDLORD'S REQUIREMENTS. SLEEVES MUST EXTEND A MINIMUM OF 4" A.F.F. COORDINATE ALL CONCRETE TRENCHING/CORING TO ENSURE THAT ANY UNDER SLAB UTILITIES, ETC. ARE NOT DAMAGED DURING FLOOR CUT. ANY DAMAGE TO BE REPAIRED AT CONTRACTOR EXPENSE. CUTTING AND PATCHING ACTIVITIES WHICH CREATE NOISE MUST BE PERFORMED AFTER-HOURS SO LONG AS ANY OTHER TENANTS ARE OCCUPYING THE BUILDING. PRIOR APPROVAL AND COORDINATION WITH PROPERTY MANAGEMENT IS REQUIRED FOR ALL CONCRETE CUTTING.
  - DO NOT ROUTE ANY WET PIPING OVER ELECTRICAL EQUIPMENT.
  - WATER PIPING TO BE TYPE "M" OR TYPE "L" COPPER ABOVE OR BELOW GRADE.
  - SOIL, WASTE & VENT PIPING TO BE PVC. #40 DWV. IF CEILING SPACE BELOW IS A COMMON PLENUM PVC MUST BE WRAPPED WITH UL LISTED FIRE WRAP OR CAST IRON SHALL BE USED.
  - HOT AND HOT WATER RETURN LINES SHALL BE INSULATED WITH 1/2" TO 1" THICK ARMAFLEX INSULATION FROM THE WATER HEATER TO THE FURTHEST FIXTURE PER FBC 2007 CHAPTER 13, (WITH 2009 SUPPLEMENTS) SECTION 13-412.AB.4(1) AND TABLE 13-411.AB.2.
  - WHERE DISSIMILAR METALS ARE TO BE JOINED, APPROVED INSULATING UNIONS SHALL BE USED.
  - ALL PLUMBING PIPES PENETRATING FIRE RATED WALLS, CEILINGS AND/OR FLOORS SHALL BE PROVIDED WITH APPROVED FIRE RATED ASSEMBLY. (EQUAL TO WALL FIRE RATING - SEE ARCHITECTURAL DRAWINGS).
  - NO PVC PIPING TO BE USED IN COMMON PLENUM AREAS.
  - CONDENSATE LINES TO BE COPPER. INSULATE WITH 1/2" THICK ARMAFLEX INSULATION.
  - CONTRACTOR SHALL GUARANTEE ALL MATERIALS & WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
  - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BID AND INSTALLATION. INFORM THE ENGINEER OF RECORD OF ANY DISCREPANCY BETWEEN THE DOCUMENTS AND THESE CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFYABLE EXISTING CONDITIONS DISCOVERED AFTER THE CONTRACT HAS BEEN AWARDED.
  - CONTRACTOR SHALL KEEP AS-BUILTS AND SUBMIT TO THE ENGINEER OF RECORD FOR REVIEW. ALL CHANGES SHALL BE FORWARDED A MINIMUM OF 10 WEEKS PRIOR TO FINAL INSPECTION. ANY EXPENSES, SUCH AS REVISIONS OR AS-BUILTS, NECESSARY FOR FINAL C.O. SHALL BE AT THE EXPENSE OF THE OWNER.

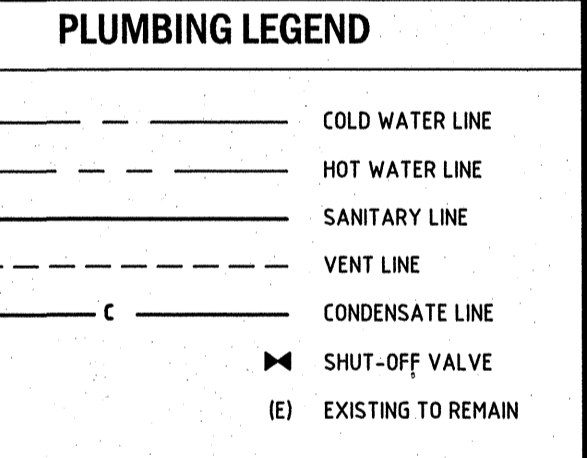
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 PHONE: 561.684.5994 • FAX: 561.684.6844 • E-MAIL: info@gs&p-architects.com  
 1401 FORUM WAY, SUITE 100 • WEST PALM BEACH, FLORIDA 33401  
 FL License: #AA35001602  
 Benjamin John Glidden, III #AR13419  
 Keith M. Spina #AR6536

**TENANT IMPROVEMENTS FOR:**  
**MRS. MILLER, KAGAN, RODRIGUEZ & SILVER**  
 AT NORTHBRIIDGE CENTER  
 515 N. FLAGLER DR., SUITE 1400  
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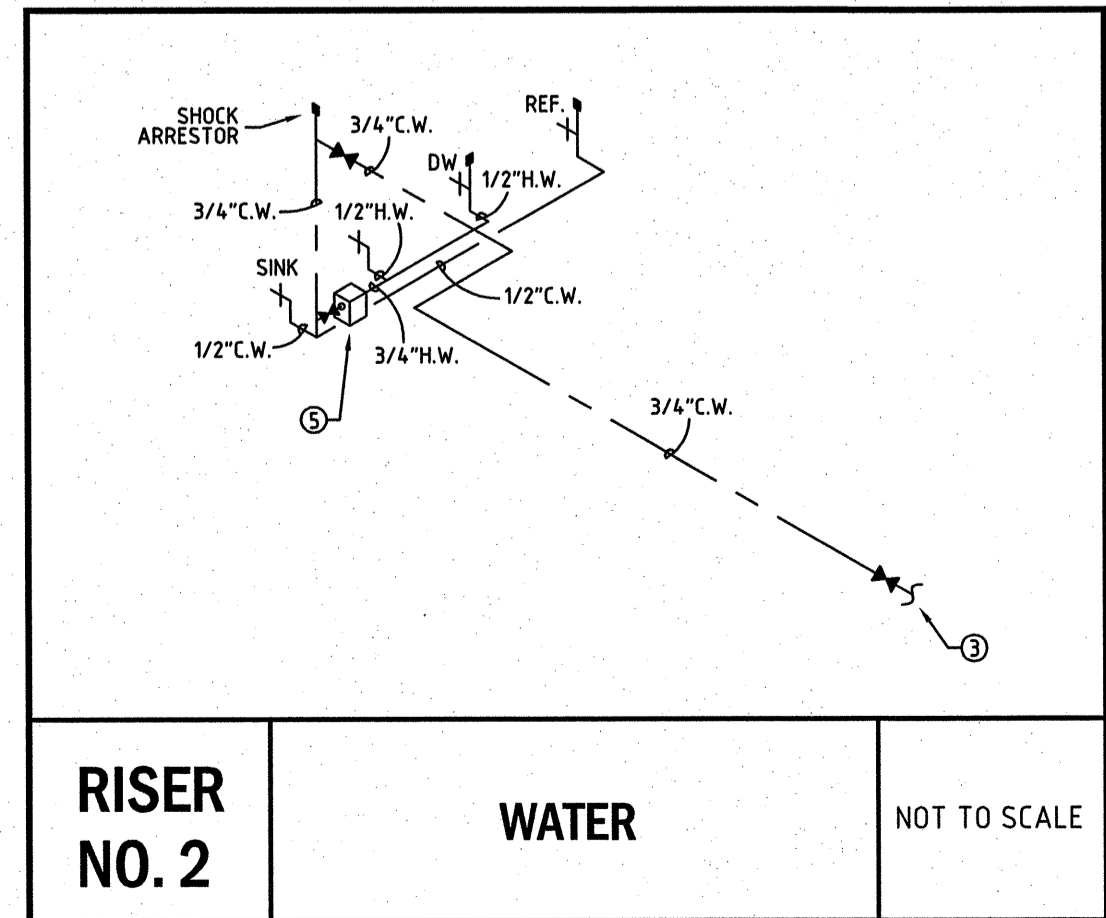
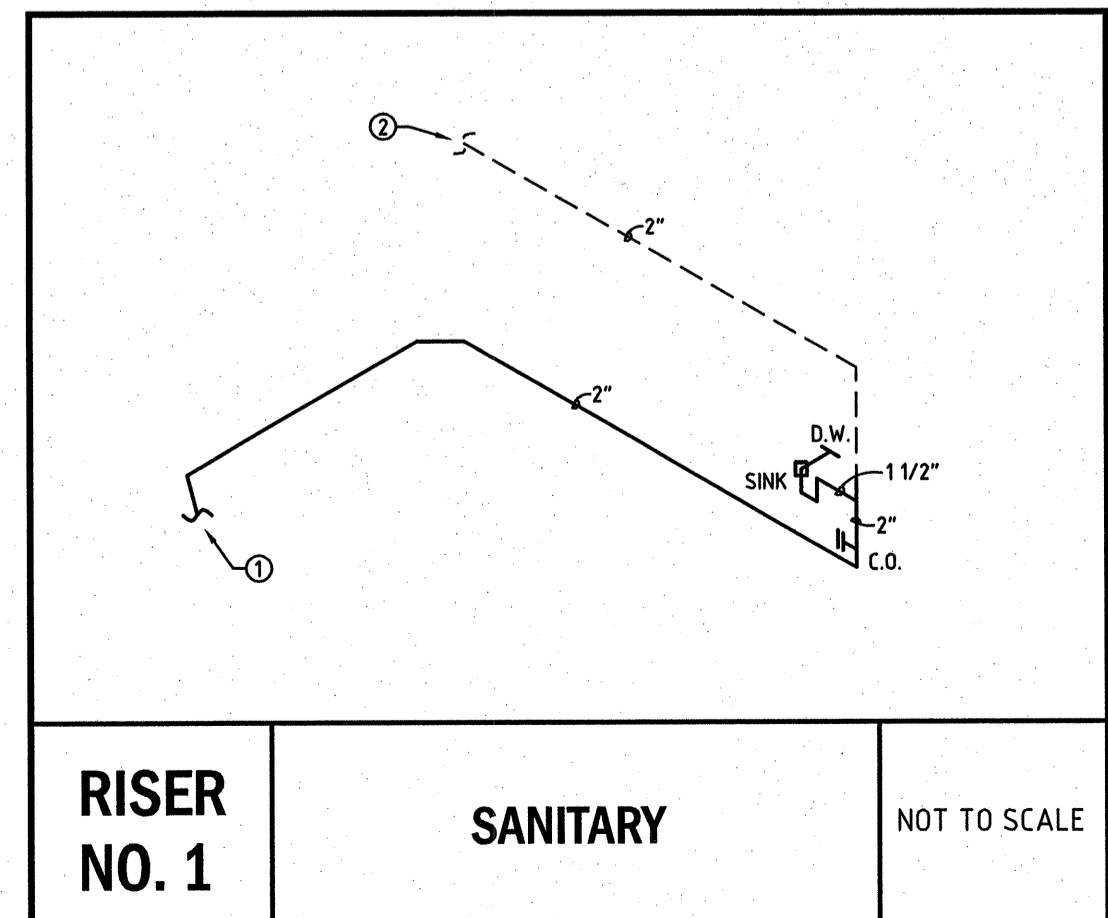
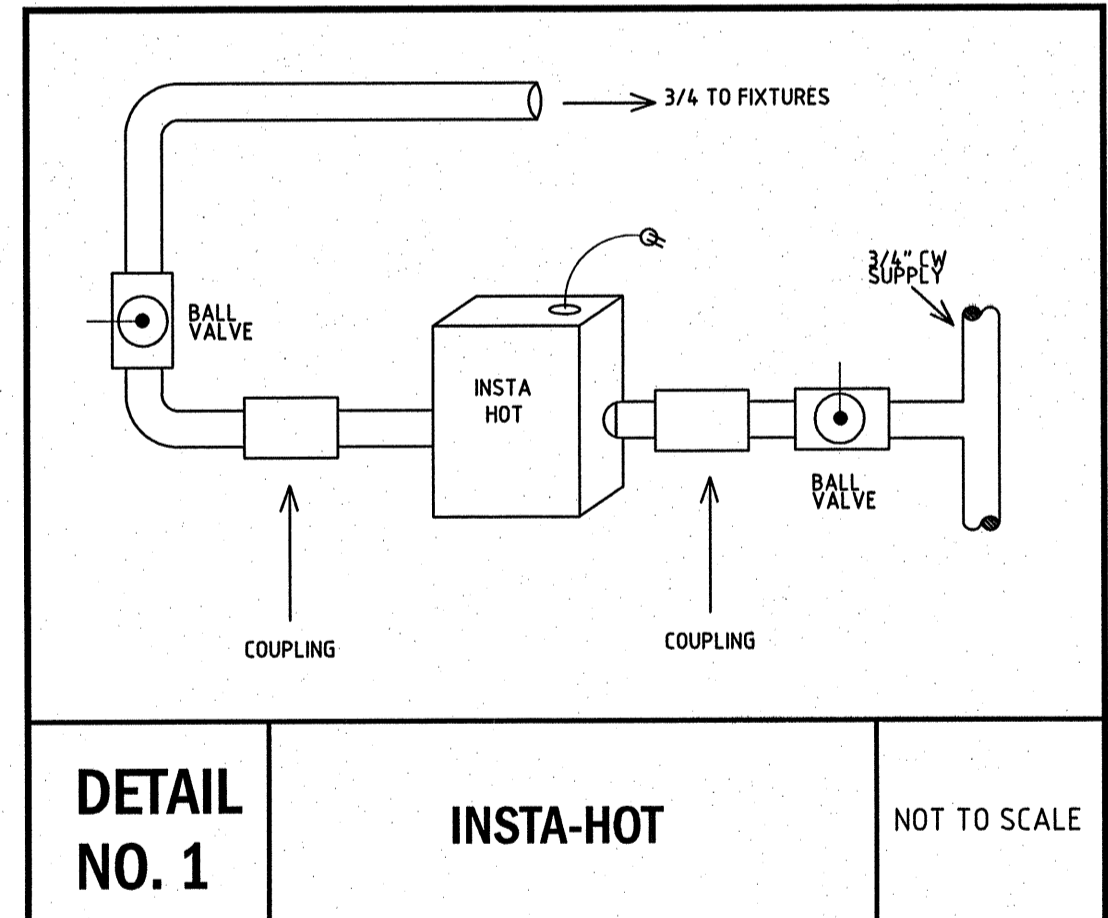
**P1.1**



- PLUMBING KEY NOTES**
- CONNECT NEW 2" SANITARY LINE TO EXISTING SANITARY RISER IN WET COLUMN. VERIFY EXACT LOCATION, SIZE & CONNECTION POINT IN FIELD PRIOR TO CONSTRUCTION.
  - CONNECT NEW 2" VENT LINE TO EXISTING VENT LINE OVERHEAD. VERIFY EXACT LOCATION, SIZE, & CONNECTION POINT IN FIELD PRIOR TO CONSTRUCTION. IF DEVELOPED LENGTH OF VENT PIPE EXCEEDS 40 FEET, THE VENT PIPE SHALL BE INCREASED BY ONE NOMINAL PIPE SIZE FOR THE ENTIRE DEVELOPED LENGTH OF THE PIPE.
  - CONNECT NEW 3/4" COLD WATER LINE TO EXISTING COLD WATER LINE ABOVE CEILING IN SEPARATE TENANT SPACE. PROVIDE NEW TAP WITH S.O.V. AT POINT OF CONNECTION. VERIFY EXACT LOCATION, SIZE & CONNECTION POINT IN FIELD PRIOR TO CONSTRUCTION.
  - CONNECT NEW 1/4" CONDENSATE LINE TO EXISTING CONDENSATE RISER IN WET COLUMN. VERIFY EXACT LOCATION, SIZE & CONNECTION POINT IN FIELD PRIOR TO CONSTRUCTION.
  - NEW ELECTRIC INSTA-HOT, MOD # SR-30, LOCATED BELOW BREAK ROOM SINK. REFER TO MFG SPECS FOR REQUIREMENTS AND INSTALLATION.

- PLUMBING FIXTURES**
- \* SINK (HANDICAP) - ELKAY "LUSTERTONE" - SINGLE BOWL SINK MODEL # LRADQ1517 COLOR STAINLESS STEEL. 6" DEPTH (3) HOLES (PLUMBER TO VERIFY MOUNTING SYSTEM) FAUCET ELKAY COLOR CHROME MODEL # LKQ24388H.
  - \* INSTA-HOT - CHRONOMITE MODEL #SR-30/277 850 WATTS / 277V / 10 REFER TO MFG SPECS PRIOR TO INSTALLATION.
- NOTES:**
- \* OR APPROVED EQUAL TO BE SELECTED BY OWNER
  - 1. MOUNTING HEIGHT PER ADA STANDARD. INSULATE WATER AND DRAIN LINE.
  - 2. PROVIDE CUT SHEETS FOR REVIEW PRIOR TO PURCHASE.
  - 3. PLUMBING FIXTURES TO COMPLY WITH TABLE 604.4 F.B.C.
  - 4. ALL WALL HANG PLUMBING FIXTURES SHALL COMPLY WITH F.B.C. 2517.5.11, 2517.5.12 AND 2517.5.13
  - 5. ALL EXPOSED PIPING AND SURFACES UNDER LAVATORIES SHALL COMPLY WITH FBC 406.6.4.

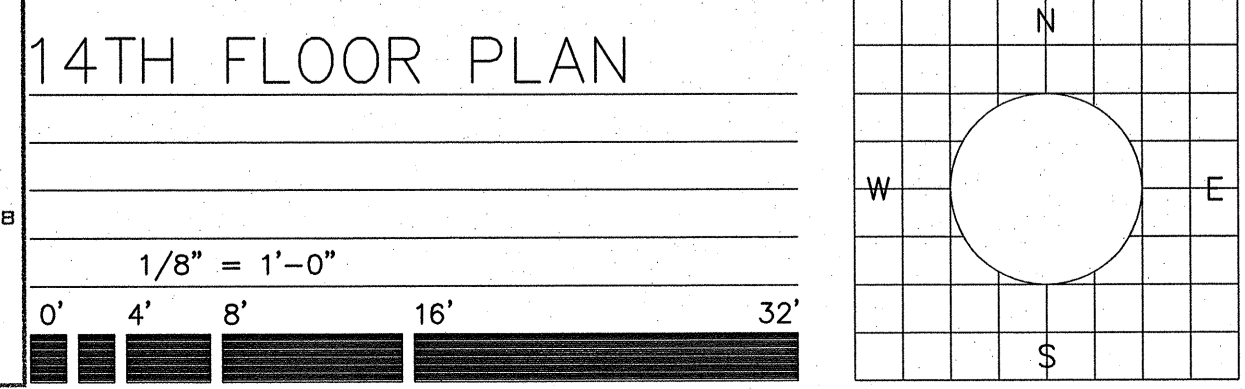
- NOTES:**
- FLOOR SLABS ARE POST TENSIONED & MUST BE XRAYED PRIOR TO CORE DRILLING OR OTHER PENETRATIONS. CONTRACTOR SHALL OBTAIN THE BUILDING OWNER'S PERMISSION PRIOR TO COMMENCING ANY SLAB PENETRATIONS.
  - ALL PIPING ROUTED BELOW FLOOR OF TENANT'S SPACE TO BE COORDINATED WITH EXISTING UTILITIES AND LANDLORD PRIOR TO CONSTRUCTION. PIPING TO BE ROUTED TIGHT TO SLAB WHERE EVER POSSIBLE.
  - CEILING SPACE IS A COMMON PLENUM NO COMBUSTIBLE MATERIALS ALLOWED.

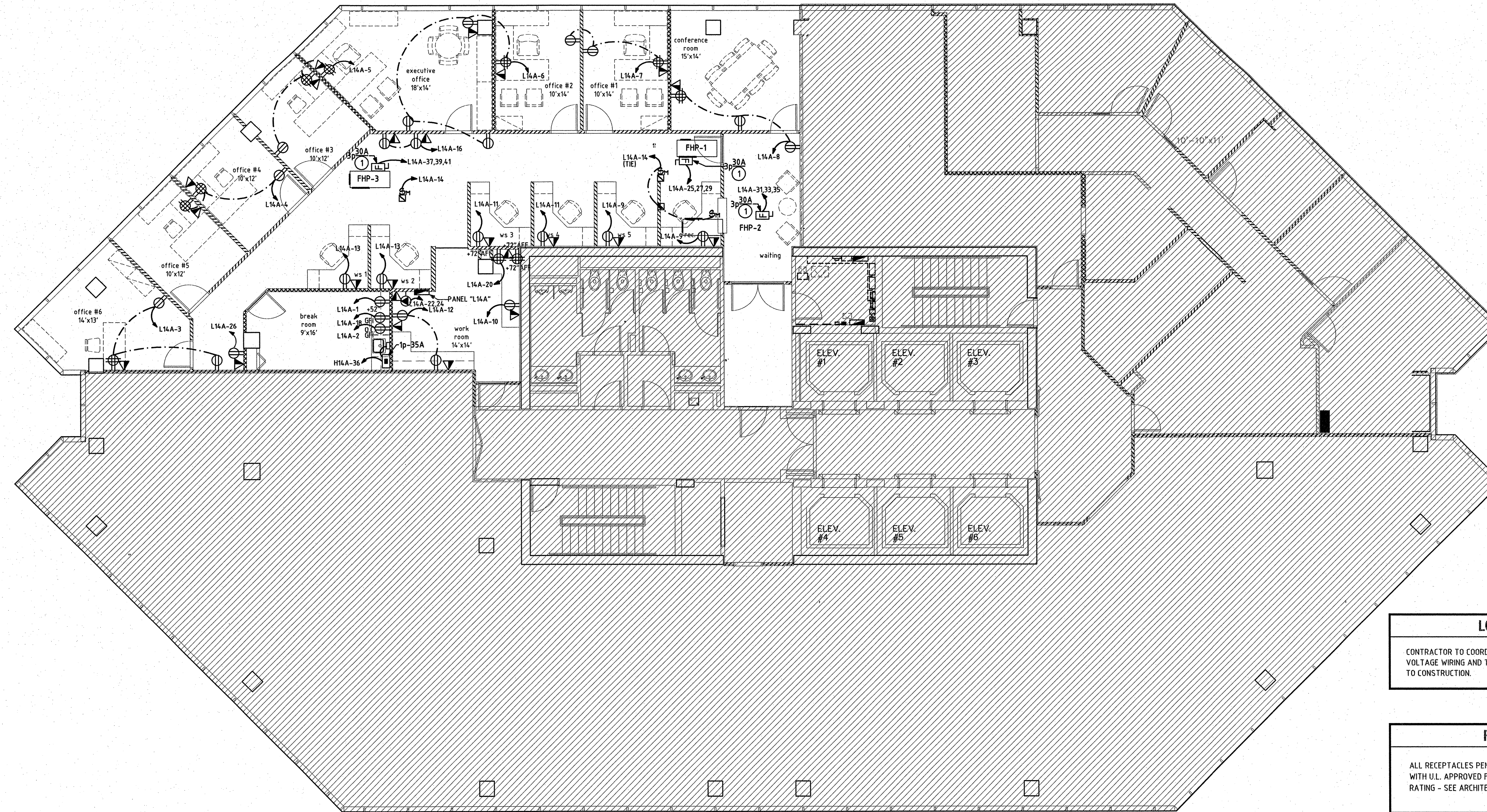


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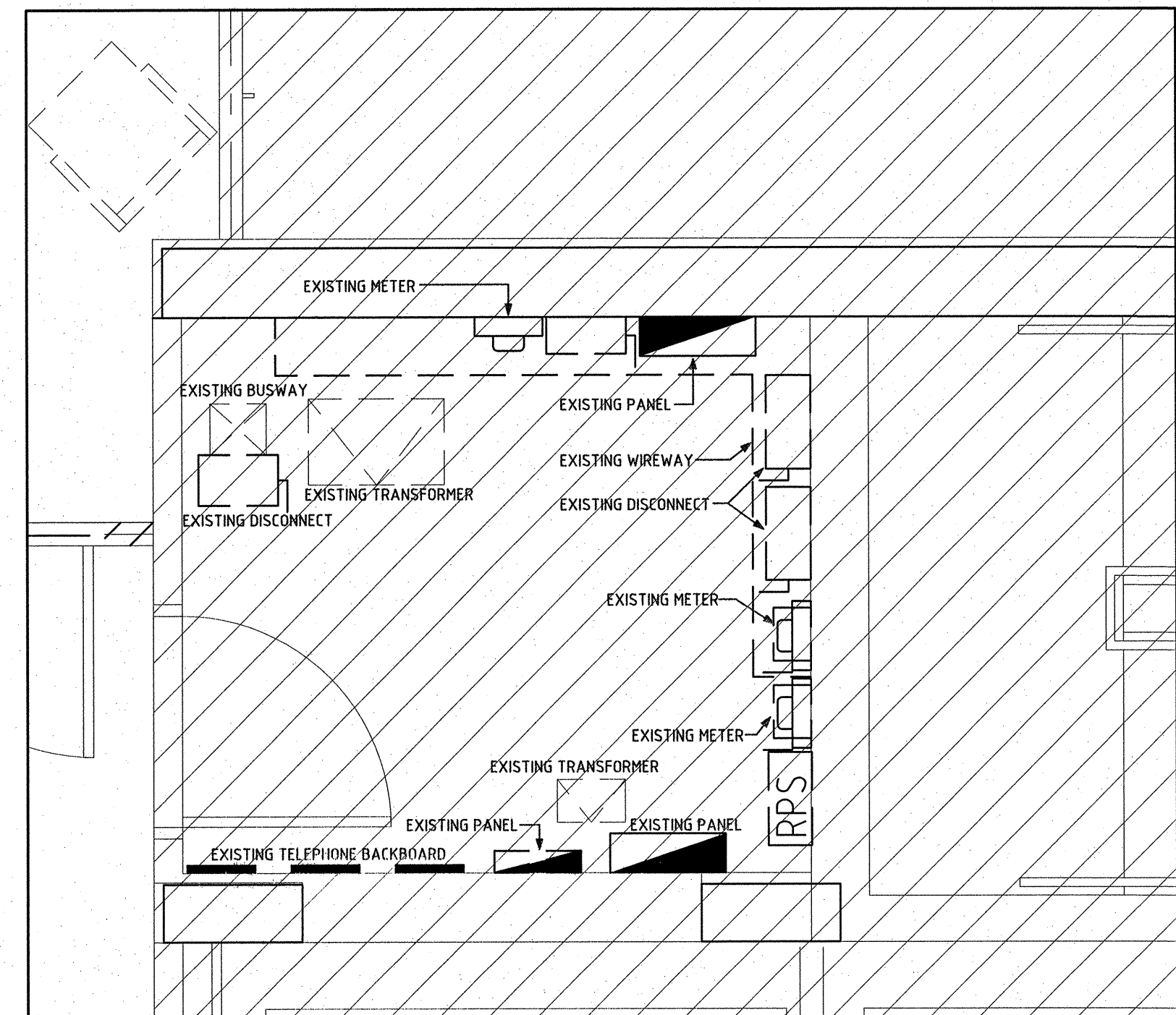
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 1640 N.W. BOCA RATON BLVD.  
 BOCA RATON, FL 33432  
 TEL: (561) 391-9392 FAX: (561) 391-9898  
 CERTIFICATE OF AUTHORIZATION NO. 28107  
 HAROLD R. TUSBLER, P.E. LICENSE #19315  
 MARINA WHITELOCK, P.E. LICENSE #31922  
 E-MAIL: INFO@W&PCONSULTING.COM





**1 POWER PLAN**  
SCALE: 1/8"=1'-0"



**1 ELECTRIC ROOM**  
SCALE: 1/2"=1'-0"

**LOW VOLTAGE NOTE**  
CONTRACTOR TO COORDINATE LOCATION AND REQUIREMENTS OF ALL LOW VOLTAGE WIRING AND TELEPHONE/DATA/TV DEVICES WITH OWNER PRIOR TO CONSTRUCTION.

**FIRE RATING NOTE**  
ALL RECEPTACLES PENETRATING FIRE RATED WALLS SHALL BE PROVIDED WITH U.L. APPROVED FIRE RATED ASSEMBLIES. (EQUAL TO WALL FIRE RATING - SEE ARCHITECTURAL DRAWINGS)

**EQUIPMENT/FEEDEER REMOVAL NOTES**  
SALVAGED MATERIALS, EQUIPMENT, AND FEEDERS SHALL BE DELIVERED TO THE OWNER AT HIS PROPERTY AND STORED WITHIN THE BUILDING WHERE DIRECTED. ANY REMOVED MATERIALS OR EQUIPMENT WHICH THE OWNER DOES NOT WISH TO KEEP SHALL BE DISPOSSED OF BY THE CONTRACTOR, WITHOUT ADDITIONAL COST TO THE OWNER.

**KEY NOTES**  
① PROVIDE FUSES AS RECOMMENDED BY EQUIPMENT MANUFACTURER.

ELECTRICAL SYMBOL LEGEND			
⊕	110V DUPLEX RECEPTACLE	⊞	FUSE DISCONNECT
⊕	110V SWITCHED DUPLEX RECEPTACLE	⊞	ELECTRICAL CIRCUIT BREAKER
⊕	QUAD-PLEX RECEPTACLE	⊞	ELECTRICAL PANEL
⊕ WP	WATER PROOF RECEPTACLE	⊞	ELECTRICAL METER
⊕ GFI	GROUND FAULT CIRCUIT INTERRUPTER	⊞	THERMOSTAT
⊕	110V CEILING MOUNTED SWITCHED RECEPTACLE	⊞	SWITCH
⊕	110V FLOOR MOUNTED DUPLEX RECEPTACLE - FLUSH WITH FLOOR	⊞	MOTOR RATED SWITCH
⊕	110V FLOOR MOUNTED DUPLEX RECEPTACLE - FLUSH WITH FLOOR	⊞	J-BOX
⊕	TELE/DATA PORT PROVIDE (4) CAT6 CABLES AT EACH LOCATION. CONFIRM ALL REQUIREMENTS AND LOCATIONS WITH OWNER	⊞	J-BOX MOUNTED BELOW RAISED FLOOR
⊕	TELEPHONE PORT	⊞	RECESSED JUNCTION BOX FOR SYSTEM FURNITURE POWER
⊕	DATA PORT	⊞	RECESSED JUNCTION BOX FOR SYSTEM FURNITURE TELEPHONE/DATA
⊕	CEILING MOUNTED DATA PORT	⊞	TELEVISION JACK
		⊞	TELEPHONE / CATV BOARD
		⊞	FLOOR MOUNTED TELE/DATA PORT - FLUSH WITH FLOOR ***

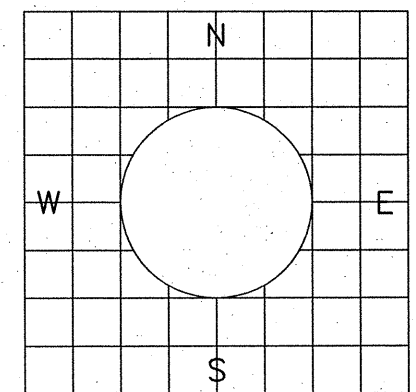
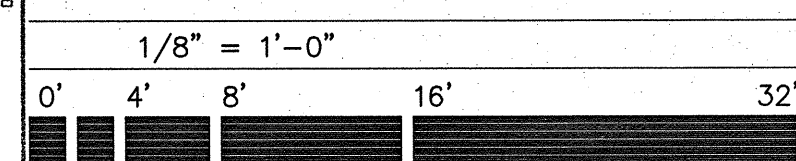
NOTE: ALL SYMBOLS MAY NOT BE USED FOR THIS PROJECT  
 \*\* PROVIDE 3/4" C WITH PULL WIRE. STUB ABOVE CEILING.  
 \*\*\* PROVIDE 3/4" C WITH PULL WIRE BELOW FLOOR TO NEAREST WALL.

MOUNTING NOTES:  
 RECEPTACLES ARE TO BE MOUNTED AT 18" ABOVE FINISHED FLOOR, UNLESS OTHERWISE NOTED.  
 SWITCHES ARE TO BE MOUNTED AT 48" ABOVE FINISHED FLOOR, UNLESS OTHERWISE NOTED.

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 1640 N.W. BOCA RATON BLVD.  
 BOCA RATON, FL 33432  
 TEL: (561) 391-9292 FAX: (561) 391-9898  
 CERTIFICATE OF AUTHORIZATION NO. 28107  
 HAROLD R. TUBSLEIN, P.E. LICENSE #19315  
 LURELLA JAFFRAY, P.E. LICENSE #73122  
 MARTIN WHITELOCKE, P.E. LICENSE #53899  
 E-MAIL: INFO@FAECONSULTING.COM

**14TH FLOOR PLAN**



**PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.**

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 ARCHITECTURE • INTERIOR DESIGN, INC.  
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 1401 FORUM WAY, SUITE 100 • WEST PALM BEACH, FLORIDA 33401  
 Benjamin John Glidden, III #AR6536  
 Keith M. Spina #AR15419

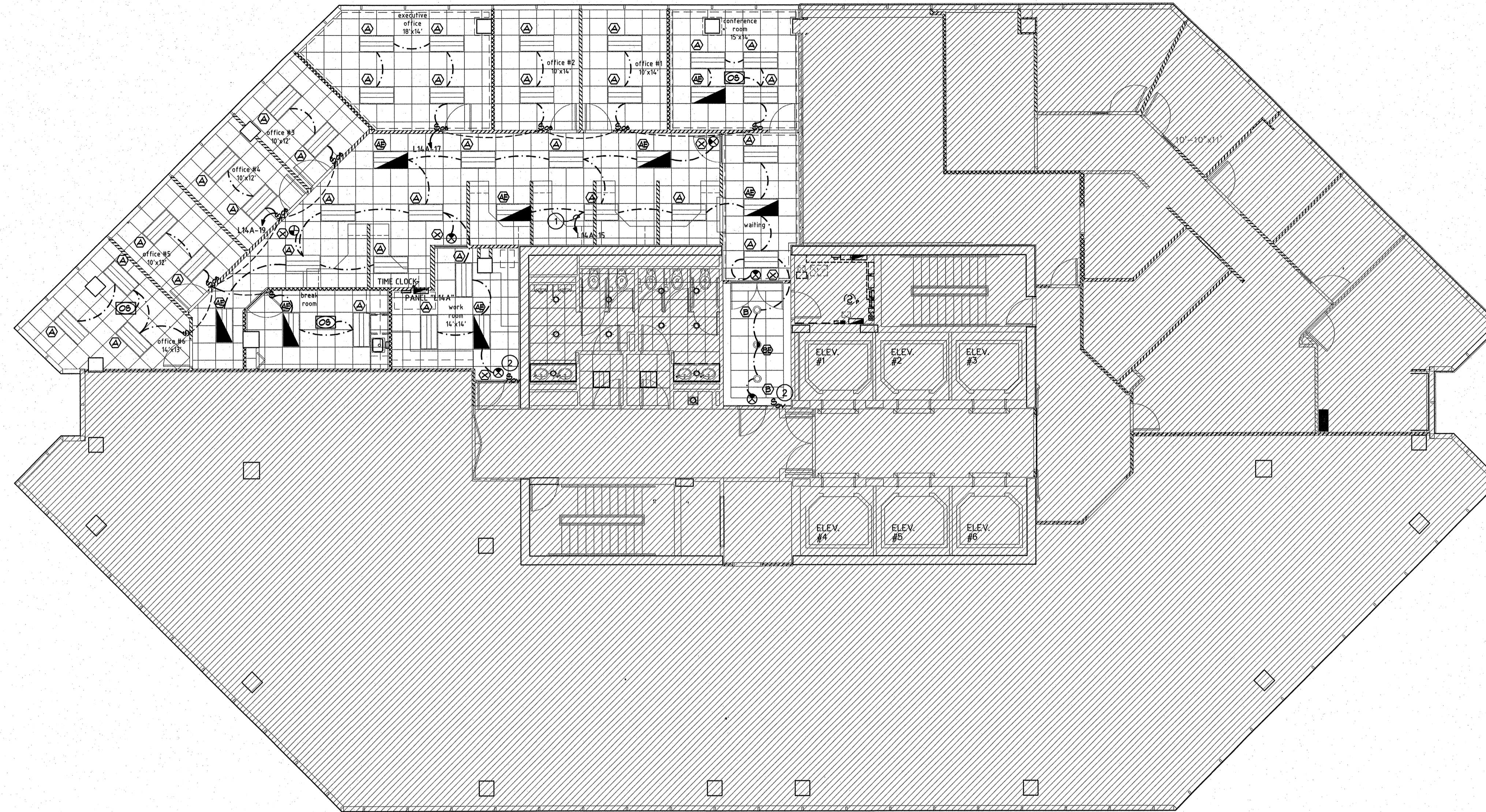
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 drawn by: CUS/KAB  
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**E1.1**





1 LIGHTING PLAN  
SCALE: 1/8"=1'-0"

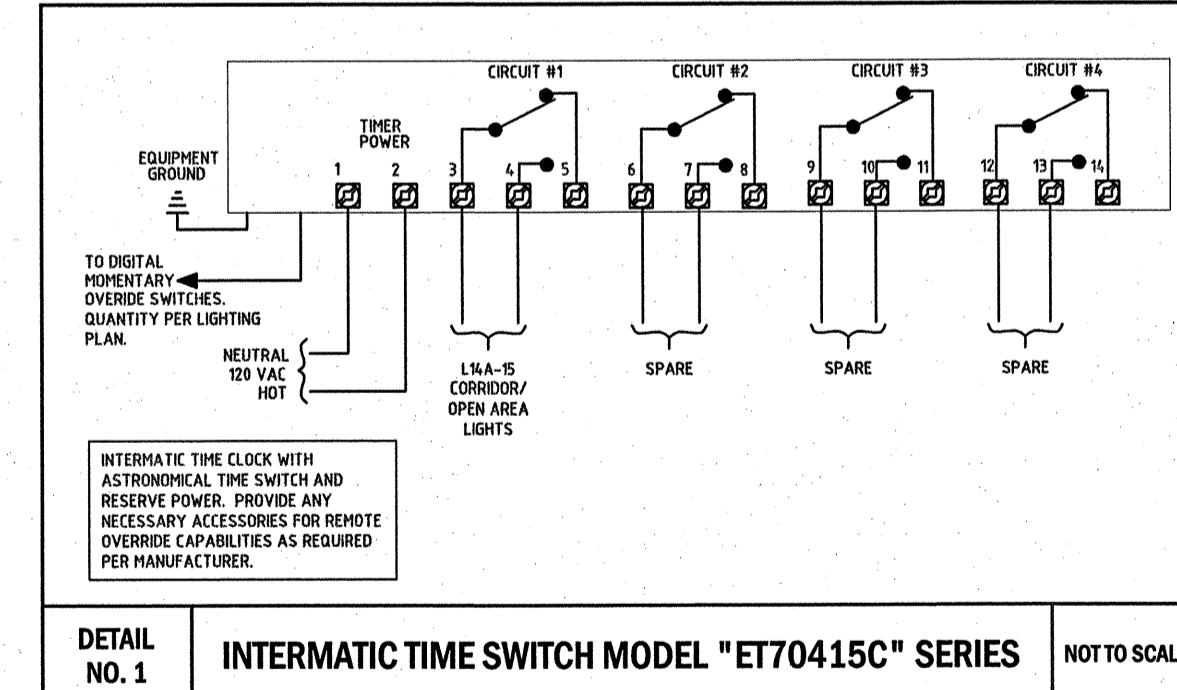
	LEVITON E2-MAX LIGHTING CONTROL PANEL WITH ASTRONOMICAL TIME CLOCK
	OCCUPANCY SENSOR SWITCH LEVITON OSMT-MDW
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	TIMER SWITCH FOR EXHAUST FAN
	VERRIDE SWITCH LEVITON LV24-0
	OCCUPANCY SENSOR LEVITON OSC10-R
	RELOCATED LIGHT FIXTURE
	EXISTING

NOTE:  
1. ALL SYMBOLS MAY NOT BE USED FOR THIS PROJECT.

- GENERAL LIGHTING NOTES**
- ALL EXIT, EMERGENCY, AND BATTERY PACKS IN FLUORESCENT FIXTURES TO BE WIRED AHEAD OF CONTROL SWITCH.
  - IF APPLICABLE, ALL DIMMER SWITCHES SHALL HAVE A PRESET MINIMUM RATING OF 1.0 KW.
  - ALL FIXTURE COUNTS, SELECTIONS, AND EXACT LOCATIONS MUST BE VERIFIED WITH OWNER/ARCHITECT PRIOR TO PURCHASE.
  - CONTRACTOR TO VERIFY IF ANY LOW VOLTAGE LIGHT FIXTURES REQUIRE STEP-DOWN TRANSFORMERS, QUANTITY AND LOCATION TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
  - ALL FIXTURES TO HAVE U.L. CERTIFICATION.
  - ALL LUMINAIRES SHALL COMPLY WITH SECTION 4.10.73.G OF THE NEC.

- ENERGY COMPLIANCE NOTE**
- OCCUPANCY SENSORS SHALL BE THE MEANS OF AUTOMATIC LIGHTING SHUTOFF FOR NEW AREAS PER FBC 13-415 AB.1. OCCUPANCY SENSORS MUST TURN LIGHTS OFF WITHIN 30 MINUTES AFTER AN OCCUPANT LEAVES THE SPACE.
  - RECORD DRAWINGS OF INSTALLATION AND OPERATION MANUALS ARE TO BE PROVIDED TO THE OWNER WITHIN 30 DAYS AS SPECIFIED IN THE FLORIDA BUILDING CODE SECTION 13-413.1.ABC.2.

- LIGHTING KEY NOTES**
- WIRE CIRCUIT THROUGH ELECTRONIC TIME CLOCK "TC-1". SEE THIS SHEET FOR DETAILS.
  - PROVIDE DIGITAL MOMENTARY SWITCH TO OVER-RIDE TIME "OFF" FOR CIRCUIT "L14A-15"



ALLOWED	USED
WAITING/CORBY: 13 W/SQ FT x 150 SQ FT = 195 WATTS	195 WATTS
CONFERENCE RM: 13 W/SQ FT x 200 SQ FT = 260 WATTS	260 WATTS
OPEN OFFICE: 11 W/SQ FT x 380 SQ FT = 418 WATTS	418 WATTS
OFFICE/WORK ROOM: 11 W/SQ FT x 168 SQ FT = 185 WATTS	185 WATTS
BREAK RM: 12 W/SQ FT x 150 SQ FT = 180 WATTS	180 WATTS
<b>TOTAL ALLOWED: 2998 WATTS</b>	<b>TOTAL USED: 2298 WATTS</b>

TYPE	MFG/MOD NO	LAMP	MOUNTING	DESCRIPTION
A	DAYBRITE "ARIOSO SERIES" ZAVG226-PHW-UNV-EB10R	2-28T5	RECESSED	2'x4' FLUORESCENT DIRECT/INDIRECT
AD	DAYBRITE "ARIOSO SERIES" ZAVG226-PHW-UNV-EB10R-E7	2-28T5	RECESSED	2'x4' FLUORESCENT DIRECT/INDIRECT W/ 90 MIN BATTERY PACK
D	LITON "L1VH41 SERIES" CLEAR TRIM AND SPECULAR LOW BRIDGES FINISH	QUAD 32W	RECESSED	4" APERTURE DOWNLIGHT. PROVIDE DIMMING COMPATIBLE WITH EXISTING SYSTEM
DC	LITON "L1VH41 SERIES" CLEAR TRIM AND SPECULAR LOW BRIDGES FINISH	QUAD 32W	RECESSED	4" APERTURE DOWNLIGHT. PROVIDE 90 MIN BATTERY/BALLAST. PROVIDE DIMMING COMPATIBLE WITH EXISTING SYSTEM.
X	MCPHILBEN (SHALL MATCH 14TH FLOOR) COLOR RED	INCLUDED	EXIT LIGHT	LED EXIT LIGHT - COLOR RED W/ 90 MIN. BATTERY PACK

NOTES:  
1. PROVIDE ELECTRONIC BALLAST FOR ALL FLUORESCENT LAMPED FIXTURES.  
2. FLUORESCENT LAMP COLOR TEMPERATURE SHALL BE 4100K.  
3. SEE LIGHTING PLAN FOR EXIT SIGN CHEVRON REQUIREMENTS AND NUMBER OF FACES.  
5. COORDINATE ALL LIGHTING FIXTURE TYPES WITH ARCHITECT PRIOR TO BID/PURCHASE.  
6. ALL EMERGENCY LIGHTING TEST BUTTONS TO BE MOUNTED INSIDE LIGHT FIXTURE.

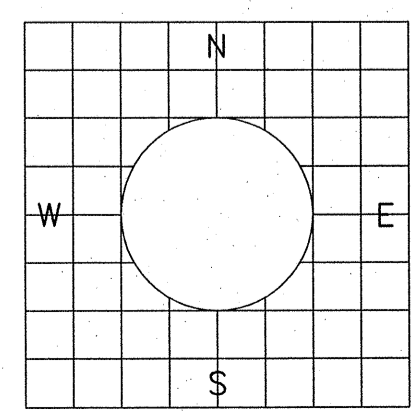
- NOTES TO CONTRACTOR:**
- REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR THE FINAL LOCATION OF ALL FIXTURES, DEVICES, ETC.
  - VERIFY LIGHTING REQUIREMENTS WITH OWNER/VENDOR PRIOR TO BID & CONSTRUCTION.
  - ALL SWITCHES AND THERMOSTATS SHALL BE MOUNTED @ 42" A.F.F. COORDINATE EXACT LOCATIONS ON WALL IN FIELD WITH ARCHITECT PRIOR TO ROUGH IN.
  - ALL SWITCH AND OUTLET PLATES SHALL MATCH THE COLOR OF SWITCH AND OUTLET PLATES ON 20TH FLOOR.

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1640 N.W. BOCA RATON BLVD.  
BOCA RATON, FL 33432  
TEL: (561) 391-9292 FAX: (561) 391-9998  
CERTIFICATE OF AUTHORIZATION NO. 28107  
HAROLD R. TUSSLER, P.E. LICENSE #19315  
URBULA IAPPATE, P.E. LICENSE #73122  
MARTIN WHITLEDON, P.E. LICENSE #53899  
E-MAIL: INFO@EAECONSULTING.COM

14TH FLOOR PLAN

1/8" = 1'-0"



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1401 FORUM WAY, SUITE 100 • WEST PALM BEACH, FLORIDA 33401  
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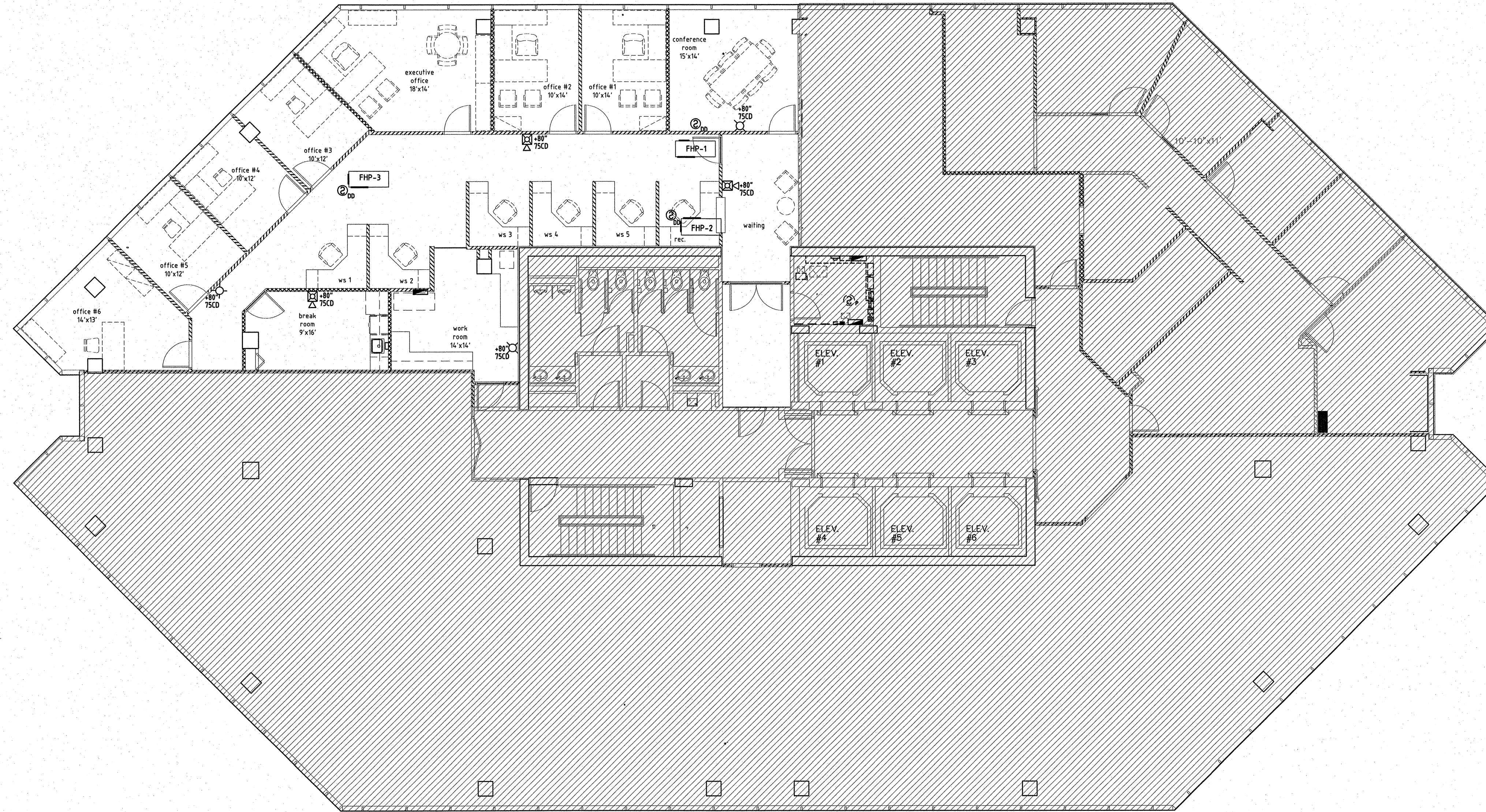
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**E2.1**





ALL FIRE ALARM WORK OR COORDINATION OF FIRE ALARM SYSTEM SHALL BE COORDINATED WITH BUILDING MANAGEMENT.

CEILING IS COMMON PLENUM  
NO COMBUSTIBLE MATERIAL ALLOWED

ALL HVAC UNITS TO TIE INTO THE FIRE ALARM SYSTEM AND HAVE GLOBAL SHUT DOWN. COORDINATE WITH BUILDING ENGINEER.

FIRE ALARM SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	WALL MOUNTED STROBE LIGHT (C AS INDICATED)
	WALL MOUNTED HORN/STROBE (C AS INDICATED)
	PULL STATION
	SMOKE DUCT DETECTOR (GROUND TEST STATION) (CONTROL MODULE)
	PHOTOELECTRIC SMOKE DETECTOR (STANDARD BASE WITH TRIM RING) (ADDRESSABLE MONITOR MODULE)
	FIRE SMOKE DAMPER
(E)	EXISTING DEVICE TO REMAIN
(RE)	RELOCATED DEVICE
NO SYMBOL	NEW DEVICE

ALL NEW DEVICES SHALL TIE INTO BUILDING'S EXISTING FIRE ALARM SYSTEM. ALL FIRE ALARM DEVICES SHALL MATCH EXISTING BUILDING'S STANDARDS.

**FIRE ALARM NOTE**  
FIRE ALARM DEVICES ON THIS PLAN ARE SHOWN FOR INTENT ONLY. FIRE ALARM CONTRACTOR TO PROVIDE SHOP DRAWINGS AND CUT SHEETS FOR APPROVAL BY THE LANDLORD AND BY THE FIRE MARSHALL. FIRE ALARM DEVICES SHALL TIE INTO THE BUILDING'S MAIN FIRE ALARM SYSTEM.

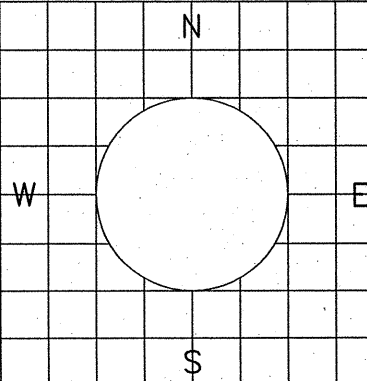
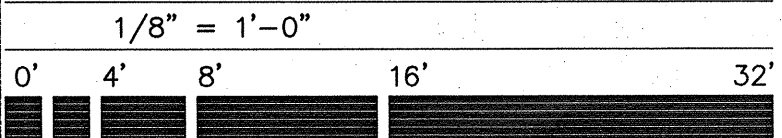
**SPRINKLER NOTE**  
BUILDING IS FULLY SPRINKLED, THEREFORE SMOKE DETECTORS ARE NOT REQUIRED AND ONLY (P) PULL STATION IS REQUIRED PER BUILDING.

**GENERAL NOTE**  
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JUDITHA LAFRATTE, P.E. LICENSE #73122  
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E-MAIL: INFO@FAECONSULTING.COM

14TH FLOOR PLAN



PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.

**GLIDDEN • SPINA & PARTNERS**  
ARCHITECTURE • INTERIOR DESIGN, INC.  
PHONE: 561.684.6844 • FAX: 561.684.5594 • E-MAIL: info@gsppartners.com  
1401 FORUM WAY, SUITE 100 • WEST PALM BEACH, FLORIDA 33401  
FL License: #AA25600602  
Benjamin John Glidden, III #AR6536  
Keith M. Spina #AR13419

**TENANT IMPROVEMENTS FOR:**  
**MRS MILLER, KAGAN, RODRIGUEZ & SILVER**  
AT NORTHBRIIDGE CENTER  
515 N. FLAGLER DR., SUITE 1400  
WPB, FLORIDA

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sheet title: 14TH FLOOR PLAN	revisions:
file name: 11445_FA1.1.DWG	
project no: 11445	date: 12/13/11
drawn by: C/SK/AB	checked by: UI

**FA1.1**