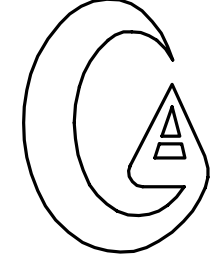


birse design inc + architecture + interior design + planning

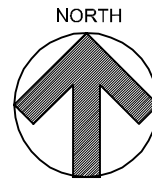
5300 woodland lakes drive
palm beach gardens, fl 33418
phone 561-249-4001
fax 772-409-8684
AA26001615

MECHANICAL ENGINEER / ELECTRICAL / PLUMBING

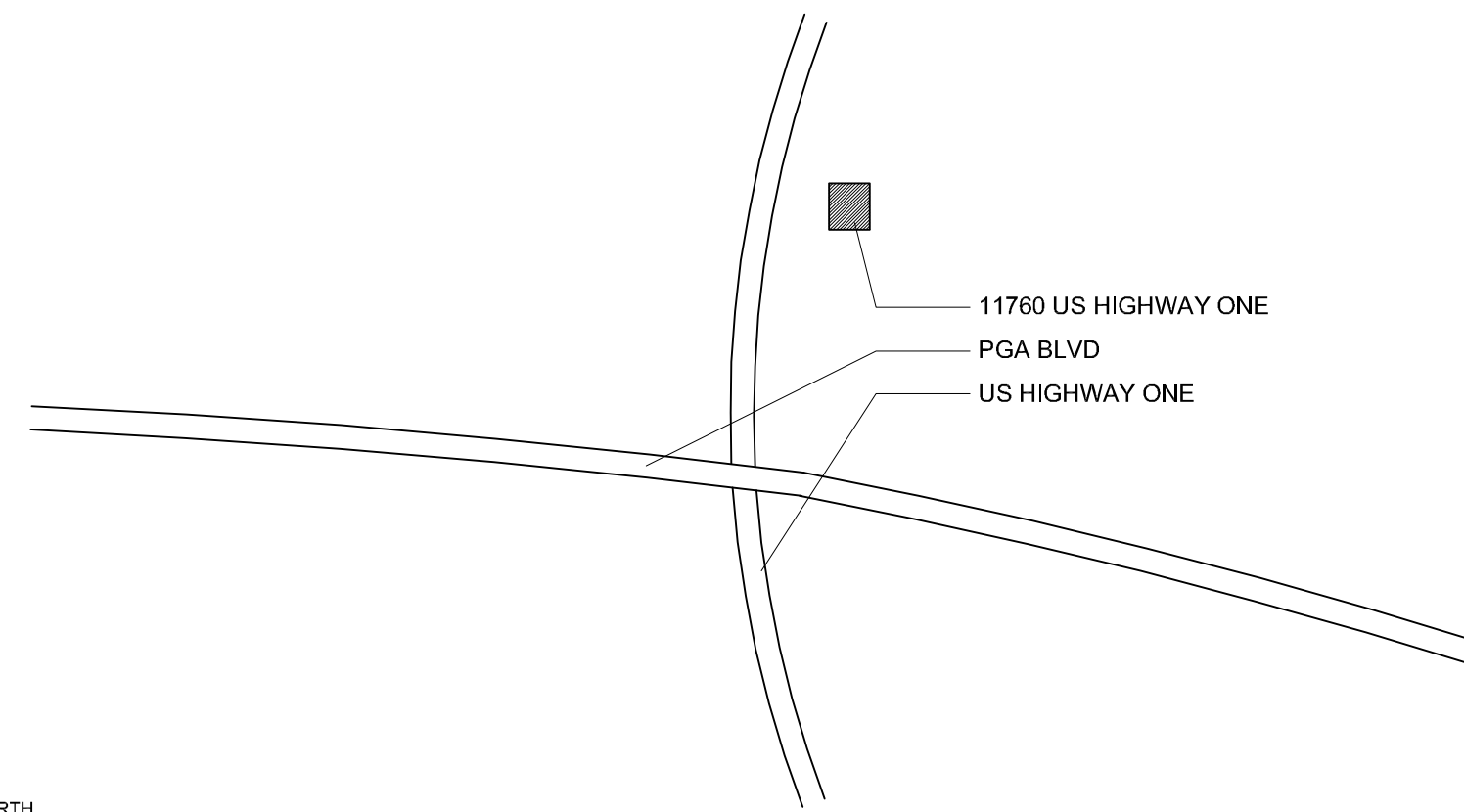


Gilman & Associates
MECHANICAL & ELECTRICAL ENGINEERS

129 N. FEDERAL HWY.
SUITE 211
LAKE WORTH, FL 33460
(561) 582-0210
P.E. 37933



1 LOCATION MAP
NOT TO SCALE



INDEX OF SHEETS:

- T TITLE SHEET
- ARCHITECTURAL SHEETS
- A-1 FLOOR PLANS
- A-2 DETAILS
- MECHANICAL/ELECTRICAL/PLUMBING SHEETS
- M-1 MECHANICAL
- P-1 PLUMBING
- E-1 ELECTRICAL PLAN

REFERENCE STANDARDS:

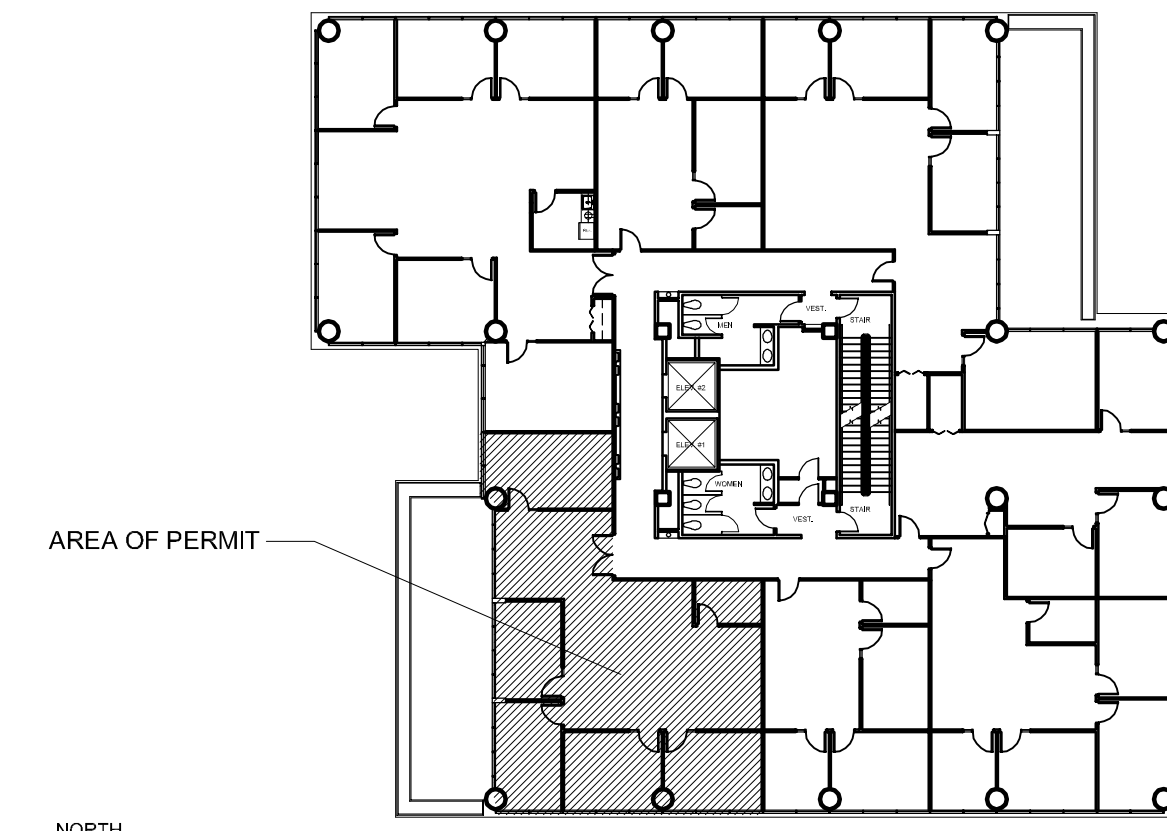
THIS PROJECT IS DESIGNED IN ACCORDANCE WITH THE FOLLOWING CODES:

1. THE FLORIDA BUILDING CODE (FBC), 2007 EDITION WITH 2009 SUPPLEMENTS (BUILDING, MECHANICAL, PLUMBING, FUEL GAS, EXISTING BUILDING).
2. NATIONAL ELECTRIC CODE (NEC), 2008 EDITION.
3. FLORIDA FIRE PREVENTION CODE, 2007 EDITION.
4. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 101, LIFE SAFETY CODE, 2006 EDITION.
5. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 1, UNIFORM FIRE CODE, 2006 EDITION.

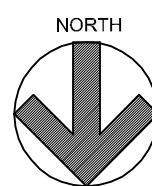
GENERAL NOTES:

1. THE CONTRACTOR SHALL AS A PART OF THIS CONTRACT FURNISH ALL MATERIALS, LABOR, TOOLS, EQUIPMENT, TRANSPORTATION, AND INSURANCE NECESSARY TO PROPERLY EXECUTE AND COMPLETE THE WORK ACCORDING TO THE PLANS AND SPECIFICATIONS.
2. THE CONTRACTOR IN THE WORK OF ALL TRADES SHALL PROTECT ALL EXISTING BUILDING AND PROPERTY FROM DAMAGE CAUSED BY THE ACTIVITIES OF THE CONTRACTOR AND SUBCONTRACTORS. THE CONTRACTOR SHALL REPAIR AND RESTORE THE JOB SITE AND SURROUNDING AREAS TO ITS ORIGINAL CONDITION. OWNER TO VERIFY SATISFACTION.
3. THE CONTRACTOR SHALL VISIT THE JOB SITE TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BID. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS BEFORE PROCEEDING WITH ANY WORK.
4. THE CONTRACTOR SHALL MAKE NO CHANGES TO THE CONSTRUCTION DRAWINGS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.
5. ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST CODES AND ORDINANCES.
6. THESE CONSTRUCTION DOCUMENTS ARE DIAGRAMATIC AND ARE TO CONVEY DESIGN INTENT. IT IS NOT THE INTENT OF THESE CONSTRUCTION DRAWINGS TO SHOW ALL DETAILS OF THE EXISTING CONDITIONS. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
7. EACH CONTRACTOR SHALL ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR MECHANICAL, ELECTRICAL, AND PLUMBING WITH THE APPROPRIATE TRADES.
8. ALL INDICATED UTILITY AND STUB-IN LOCATIONS ARE FOR REFERENCE ONLY. THE EXACT LOCATIONS SHALL BE VERIFIED ON THE JOB SITE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ENGINEERING AND THE ARCHITECTURAL DRAWINGS FOR THE ACTUAL PLACEMENT OF THE WORK RELATIVE TO FIELD CONDITIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OBTAINING INSTALLATION REQUIREMENTS FOR ALL BUILT-IN APPLIANCES, FIXTURES, AND EQUIPMENT. VERIFY EXACT ROUGH-IN DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO ROUGH-IN FRAME.
11. THE COST OF ADDITIONAL DESIGN WORK DUE TO ERRORS OR OMISSIONS IN CONSTRUCTION SHALL BE BORNE BY THE RESPECTIVE CONTRACTOR.
12. CONTRACTOR TO BE RESPONSIBLE FOR CHECKING STRUCTURAL CALCULATIONS FOR SPECIFIC REQUIREMENTS OF STRUCTURAL CONNECTIONS, SUBMIT STEEL TRUSS CALCULATIONS AND SHOP DRAWINGS OF ALL STRUCTURAL STEEL AND MISCELLANEOUS METAL FABRICATION BEFORE COMMENCING FABRICATION.
13. BIRSE DESIGN, INC. SHALL IN NO WAY BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNOLOGIES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. (THESE ARE SOLELY THE CONTRACTORS RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION).
14. EACH CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BRACING, SHORING, GUYING, OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS ASSOCIATED WITH WORK IN PLACE DURING CONSTRUCTION.
15. PROVIDE PORTABLE FIRE EXTINGUISHERS DURING CONSTRUCTION AS REQUIRED BY LOCAL CODES.
16. SPRINKLER SYSTEM: INSTALL FULL BUILDING SPRINKLER SYSTEM IN COMPLIANCE WITH THE REQUIREMENTS OF NFPA 13. SHOP DRAWINGS MUST BE APPROVED BEFORE INSTALLATIONS. PROVIDE OWNER WITH 2 COPIES OF PERMIT SETS.
17. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR MEETING THE REQUIREMENTS OF ALL CURRENT APPLICABLE BUILDING CODES AND ENFORCEMENT AGENCIES, FIRE MARSHALL, OR ANY OTHER BUILDING CODE ENFORCEMENT OFFICER AT NO EXTRA COST TO THE OWNER. NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO SUBMITTING A BID FOR THE PROJECT.
18. BASE BID SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

1. BUILDING AND TRADE PERMITS.
2. ALL ACCESSORY AND SITE IMPROVEMENT PERMITS.
3. WATER METER HOOK-UP AND METER DEPOSITS. - OWNER RESPONSIBILITY
4. HOOK-UP AND FEES FOR UNDERGROUND SERVICE FROM FPL LOCAL PHONE & CABLE T.V. - OWNER RESPONSIBILITY
5. SOIL, CONCRETE AND ANY OTHER NECESSARY TESTING.
6. ENGINEERING STAKE OUTS AND SURVEYS INCLUDING FINAL TIE - IN SURVEY.
7. CLEARING, GRUB, AND SITE PREPARATION, INCLUDING GRADING.
8. ALL BIDDERS AND THEIR SUBCONTRACTORS SHALL BE CURRENTLY LICENSED IN THE STATE OF FLORIDA.
9. THE OWNER RESERVES THE RIGHT TO REJECT ANY BIDS.
10. THE G.C. SHALL PROVIDE AN ESTIMATE OF TIME FOR COMPLETION.
11. THE GENERAL CONTRACTOR SHALL PROVIDE PROOF OF INSURANCE FOR WORKMANS' COMPENSATION AND ANY OTHER INSURANCES REQUIRED BY THE OWNER FOR ALL EMPLOYEES EITHER DIRECTLY EMPLOYED BY THE GENERAL CONTRACTOR OR BY HIS SUBCONTRACTORS.
12. THE CONTRACTOR SHALL CLEARLY LIST ANY WORK NOT INCLUDED IN HIS BID.
13. PROVIDE FIRE DEPARTMENT KNOX BOX ADJACENT TO FRONT DOOR OF BLDG.
14. CONTRACTOR TO PROVIDE AS BUILT DRAWINGS. PROVIDE TWO COPIES OF PERMIT SET TO OWNER



* AREA FOR THIS PERMIT IS HATCHED
* AREA FOR THIS PERMIT = 1,824 SF



2 KEY MAP (5TH FLOOR)
NOT TO SCALE

PROJECT DATA:

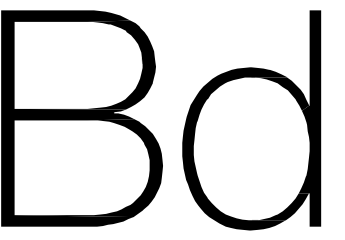
- * PROJECT ADDRESS: GOLDEN BEAR PLAZA
11760 US HIGHWAY ONE #501W
PALM BEACH GARDENS, FL 33408
- * EXISTING BUILDING IS TYPE I "A"
- * EXISTING BUILDING IS A 6 STORY BUILDING
- * EXISTING BUILDING CLASSIFICATION IS GROUP "B"
- * LEVEL 2 ALTERATION PER "EXISTING BUILDING CODE 2007"
- * 5TH FLOOR IS A MULTI TENANT FLOOR
- * SUITES #501W = 1,824 SF
- * TOTAL NEW SUITE = 1,824 SF/100 = 18 OCCUPANTS
- * DESIGN OCCUPANT LOAD = 18 OCCUPANTS

PROJECT NOTES:

SYMBOL INDEX:

- ADMIN. ROOM NAME
[108] ROOM NUMBER
- (A) DOOR MARK/NUMBER
- (1) WINDOW MARK/NUMBER
- 1 WALL SECTION/SHEET NUMBER
- 1 BUILDING SECTION/SHEET NUMBER
- 2 ELEVATION TARGET/SHEET NUMBER
- 1 DETAIL NUMBER/SHEET NUMBER
- 8'-6" CEILING HEIGHT
- [F.E.] FIRE EXTINGUISHER
- [X] 2x4' FLUORESCENT LIGHT FIXTURE
- [L] WALL MOUNTED LIGHT FIXTURE
- [R] RECESSED LIGHT DOWN FIXTURE

COPYRIGHT NOTE:
THESE PLANS AND SPECIFICATIONS PREPARED BY BIRSE DESIGN, INC. AND ARE INSTRUMENTS OF SERVICE THAT ARE PROTECTED BY COPYRIGHT LAW. THEY MAY NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT APPROVAL FROM BIRSE DESIGN, INC. AND MAY NOT BE USED IN SUBSEQUENT PROJECTS WITHOUT APPROVAL FROM BIRSE DESIGN, INC. THE DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF BIRSE DESIGN, INC.



birse design inc.

5300 woodland lakes drive
palm beach gardens, fl 33418
phone 561-249-4001
fax 772-409-8684
AA26001615

ALLEN S BIRSE
AR94279

ONE AMERICA
GOLDEN BEAR PLAZA
11760 US HIGHWAY ONE #501W
PALM BEACH GARDENS, FL 33408
PROJECT NUMBER GBP29

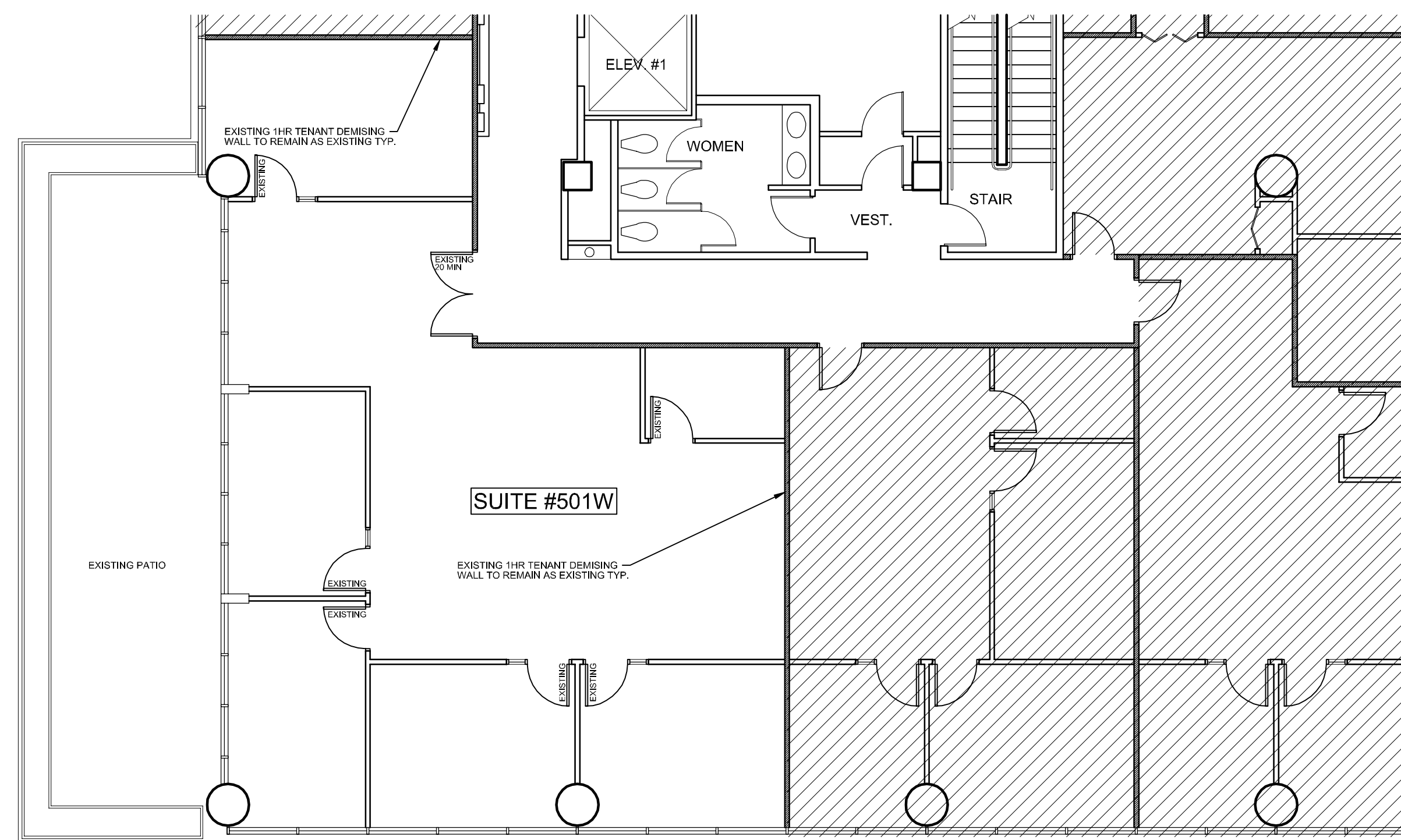
REVISIONS	
1	_____
2	_____
3	_____
4	_____
5	_____

DRAWN BY ASB

CD

04/22/11

T

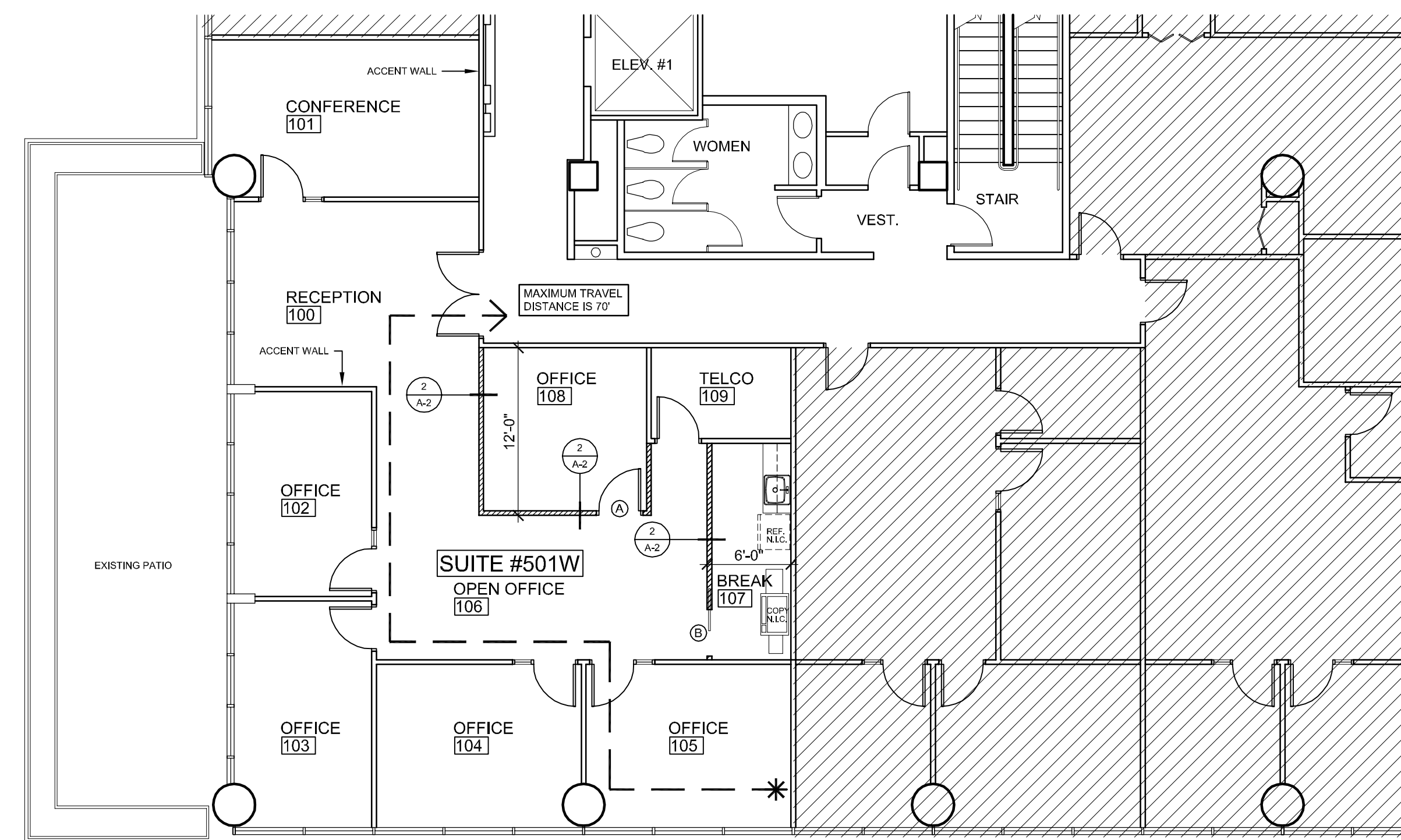


WALL LEGEND	
	EXIST PARTITION
	EXIST 1 HR WALL

1. ALL WALLS/DOORS/WINDOWS ARE EXISTING AS PER EXISTING FLOOR PLAN 1/A-1
2. TOILET ROOMS ARE EXISTING IN COMMON AREA CORRIDOR AS PER FLOOR PLAN 1/A-1
3. DRINKING FOUNTAIN IS EXISTING IN COMMON AREA CORRIDOR AS PER FLOOR PLAN 1/A-1

1 (EXISTING) FLOOR PLAN

1/8" = 1'-0"



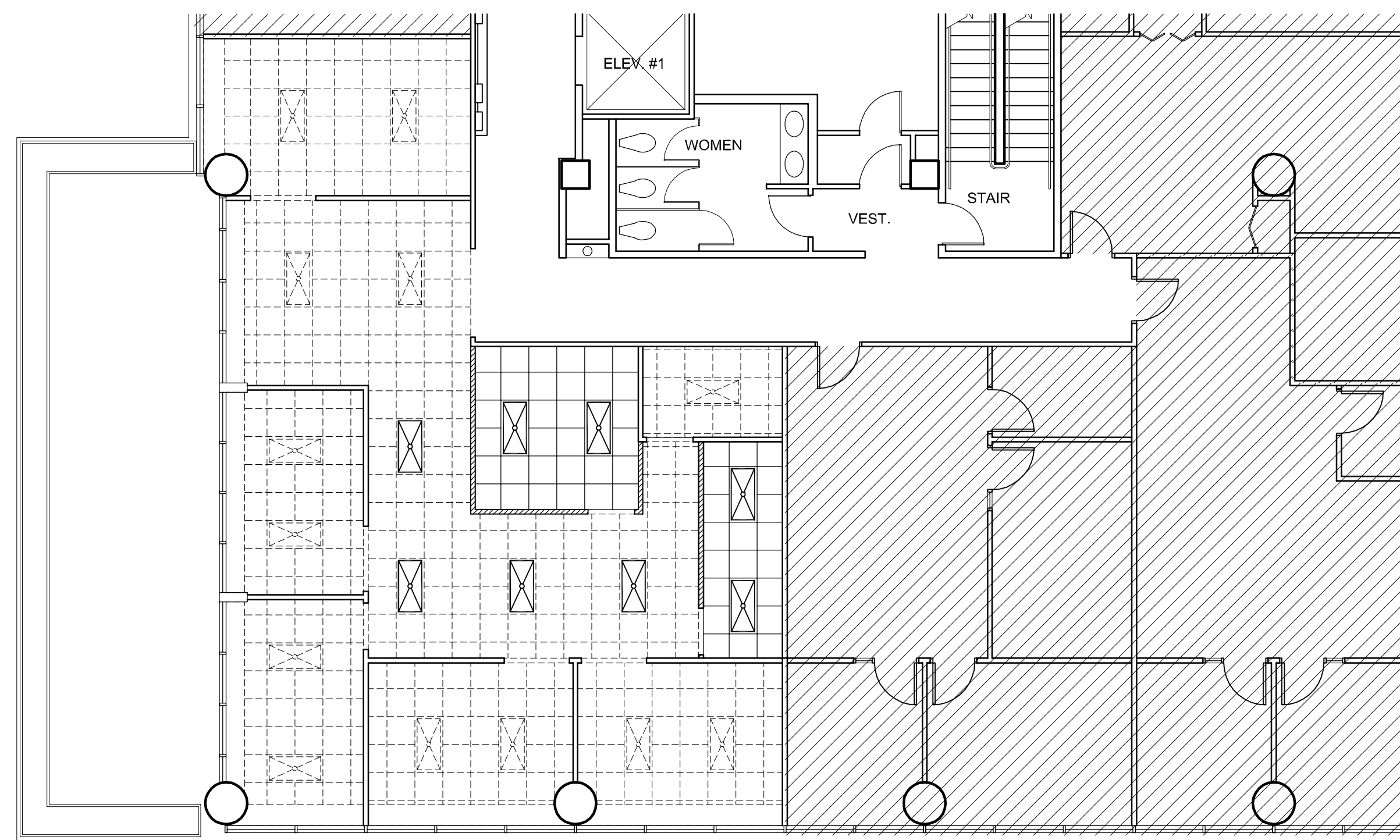
WALL LEGEND	
	EXIST PARTITION TO REMAIN
	NEW METAL STUD PARTITION

1. PROVIDE NEW PARTITIONS AND NEW DOOR AS INDICATED IN 2/A-1
2. PROVIDE NEW SINK/CABS IN BREAK ROOM AS PER 2/A-2
3. NEW FINISHES AS PER FINISH SCHEDULE 4/A-1
4. PATCH/REPAIR/PAINT EXISTING WALLS AS NECESSARY

[F.E.] INDICATES NEW 10 L.B. ABC TYPE FIRE EXTINGUISHER WITH HANGER BRACKET

2 (PROPOSED) FLOOR PLAN

1/8" = 1'-0"



WALL LEGEND	
	EXIST PARTITION TO REMAIN
	NEW METAL STUD PARTITION

-
-

1. PROVIDE NEW CEILING GRIDLIGHTS AS PER PROPOSED CEILING PLAN 3/A-2
2. REUSE ALL EXISTING CEILING TILE/GRIDLIGHTS IF POSSIBLE
3. NEW CEILING TILES TO MATCH EXISTING
4. ALL NEW CEILING HEIGHTS TO MATCH EXISTING

3 (PROPOSED) CEILING PLAN

1/8" = 1'-0"

MK	ROOM NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
		MAT	MAT HT	MAT FIN	MAT FIN HT	
SUITE #501W						
100	RECEPTION	CPT1	VL 4"	GWB PT1	EXISTING	SEE 2/A-1 FOR ACCENT WALL
101	CONFERENCE	CPT1	VL 4"	GWB PT1	EXISTING	SEE 2/A-1 FOR ACCENT WALL
102	OFFICE	CPT1	VL 4"	GWB PT1	EXISTING	
103	OFFICE	CPT1	VL 4"	GWB PT1	EXISTING	
104	OFFICE	CPT1	VL 4"	GWB PT1	EXISTING	
105	OFFICE	CPT1	VL 4"	GWB PT1	EXISTING	
106	OPEN OFFICE	CPT1	VL 4"	GWB PT1	EXISTING	
107	BREAK	VCT	VL 4"	GWB PT1	ACT1	MATCH
108	OFFICE	CPT1	VL 4"	GWB PT1	ACT1	MATCH
109	TELCO	VCT	VL 4"	GWB PT1	EXISTING	

- * ALL INTERIOR WALL AND CEILING FINISHES TO HAVE A MIN CLASS "C" FLAME SPREAD CLASSIFICATION
- * ALL INTERIOR FLOOR FINISH SHALL BE NOT LESS THAN CLASS II
- * SAMPLES ARE REQUIRED TO BE APPROVED PRIOR TO ORDERING/ TENANT TO APPROVE FINISH SCHEDULE PRIOR TO ORDERING

FINISH SELECTIONS

- CARPET (CPT1) (1ST CHOICE)
MANUFACTURER: PATCRAFT
STYLE: OPPORTUNITY KNOCKS #10162
COLOR: OPEN POSITION #62208
- CARPET (CPT1) (2ND CHOICE)
MANUFACTURER: PATCRAFT
STYLE: SOUND INVESTMENTS #10050
COLOR: MASSAGE #50508
- VINYL BASE (VL)
MANUFACTURER: JOHNSONITE
COLOR: #101 SEAWEED
- VINYL COMPOSITION TILE (VCT)
MANUFACTURER: ARMSTRONG
COLOR: ANIMAL CRACKERS #52523
- FIELD PAINT (PT1)
MANUFACTURER: SHERWIN WILLIAMS
COLOR: SW #6505 ATMOSPHERIC
- ACCENT PAINT (PT2)
MANUFACTURER: SHERWIN WILLIAMS
COLOR: SW #6507 RESOLUTE BLUE
- ACOUSTIC CEILING TILE (ACT1)
MANUFACTURER: MATCH EXISTING
COLOR: AMATCH EXISTING
- LAMINATE (COUNTERTOP)
MANUFACTURER: FORMICA
COLOR: COLORADO SLATE #7014-77
FINISH: MATTE
- LAMINATE (CABS)
MANUFACTURER: FORMICA
COLOR: PUMICE #658-58
FINISH: MATTE

4 FINISH SCHEDULE

1/8" = 1'-0"

Bd

birse design inc.

5300 Woodward Lakes #418
Palm Beach Gardens, FL 33418
phone 561-216-4001
fax 772-405-9884
AA26001615

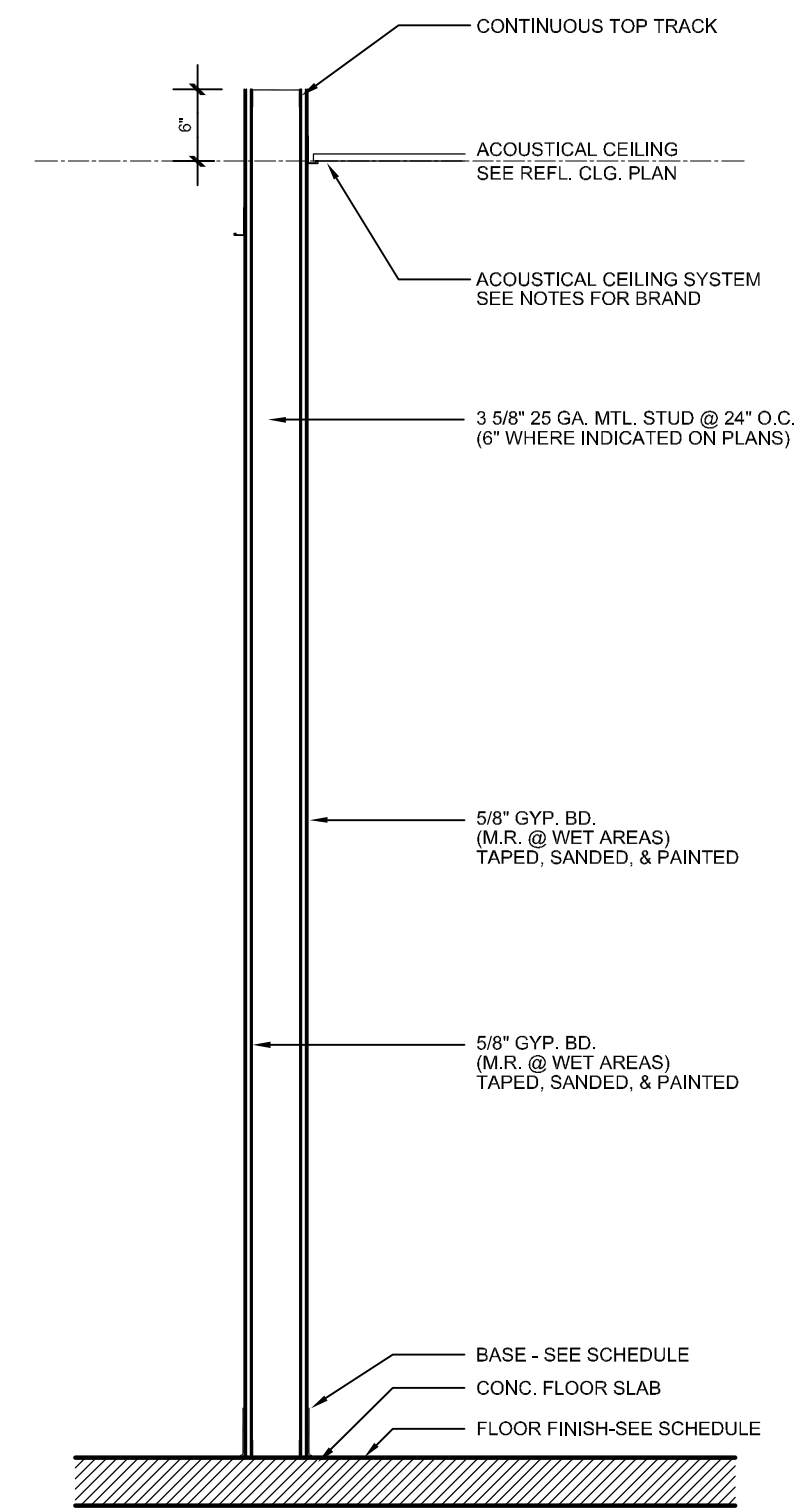
ALLEN S BIRSE
AR94279

ONE AMREICA
GOLDEN BEAR PLAZA
11760 US HIGHWAY ONE #501W
PALM BEACH GARDENS, FL 33408
PROJECT NUMBER GBP29

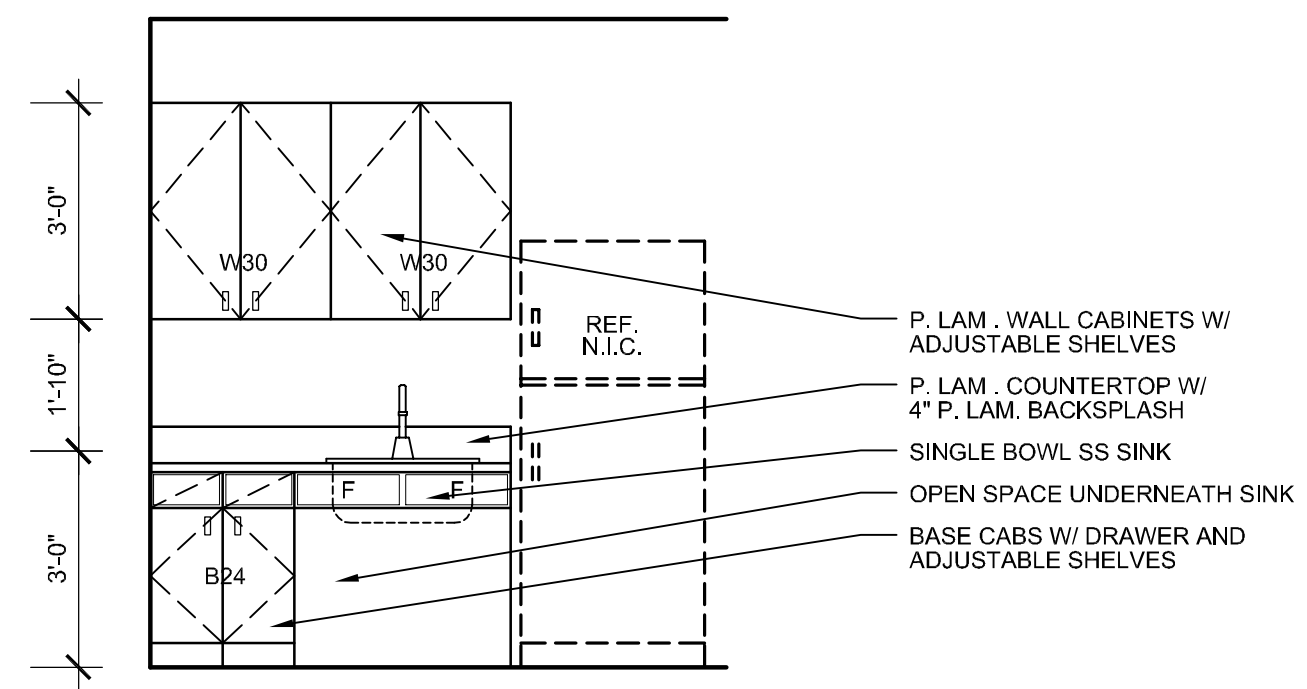
REVISIONS	
1	
2	
3	
4	
5	

DRAWN BY ASB
CD
04/22/11

A-1

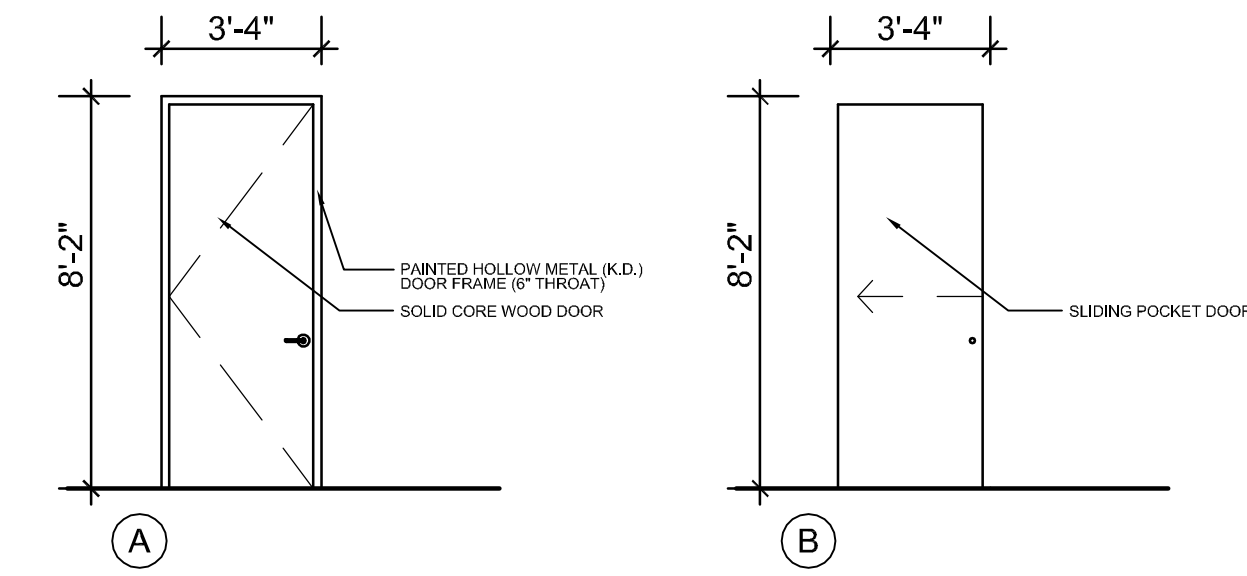


1 WALL TYPE (INT. PARTITION)
3/4" = 1'-0"



- * SINKS SHALL BE MOUNTED WITH THE COUNTER OR RIM NO HIGHER THAN 34" ABOVE THE FINISH FLOOR
- * KNEE CLEARANCE OF AT LEAST 27" HIGH, 30" WIDE AND 19" DEEP IS PROVIDED UNDERNEATH
- * EACH SINK SHALL BE A MAXIMUM OF 6 1/2" DEEP
- * HOT WATER AND DRAIN PIPES UNDER THE SINK SHALL BE INSULATED OR OTHERWISE CONFIGURED SO AS TO PROTECT AGAINST ANY CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER THE SINK
- * A CLEAR FLOOR SPACE OF AT LEAST 30" BY 48" SHALL BE PROVIDED IN FRONT OF THE SINK TO ALLOW FORWARD APPROACH. THE CLEAR FLOOR SPACE SHALL BE ON AN ACCESSIBLE ROUT AND SHALL EXTEND A MAXIMUM OF 19 INCHES UNDERNEATH THE SINK
- * 19" MAX CLEAR AREA SHALL BE PROVIDED UNDERNEATH THE SINK
- * ALL FAUCETS TO BE LEVER OPERATED

2 BREAK ELEVATION
3/8" = 1'-0"



- * NEW TENANT INTERIOR DOOR HARDWARE TO MATCH EXISTING (REUSE HARDWARE FROM DEMO'D DOOR IF POSSIBLE)
- * ALL EXTERIOR TENANT DOORS TO HAVE 5" SOLID TOP RAIL (NO THROUGH BOLTING)
- * ALL DOOR STOPS ARE TO BE FLOOR MOUNTED (NOT WALL MOUNTED)
- * DOOR HARDWARE IS REQUIRED TO COMPLY WITH FBC 11-4.13.9 FOR ACCESSIBILITY

DOOR SCHEDULE

MARK	LABEL	DOOR					FRAME SIZE/MAT.	REMARKS
		MAT	TYPE	SIZE				
				W	H	T		
A		WD	FLUSH	3'0"	8'0"	1-3/4"	2" HM	STAIN TO MATCH EXISTING
B		WD	FLUSH	3'0"	8'0"	1-3/4"		STAIN TO MATCH EXISTING

3 DOORS
1/4" = 1'-0"

Bd

birse design inc.

5300 Woodland Lakes Blvd
Palm Beach Gardens, FL 33418
phone 561-216-4001
fax 772-406-9884
AA26001615

ALLEN S BIRSE
AR94279

ONE AMERICA
GOLDEN BEAR PLAZA
11760 US HIGHWAY ONE #501W
PALM BEACH GARDENS, FL 33408
PROJECT NUMBER GBP29

REVISIONS

1	
2	
3	
4	
5	

THIS DOCUMENT AND THESE DRAWINGS ARE THE PROPERTY OF BIRSE DESIGN INC. NO PART OF THIS DRAWING OR REPRODUCTION THEREOF SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BIRSE DESIGN INC.

DRAWN BY ASB

CD

04/22/11

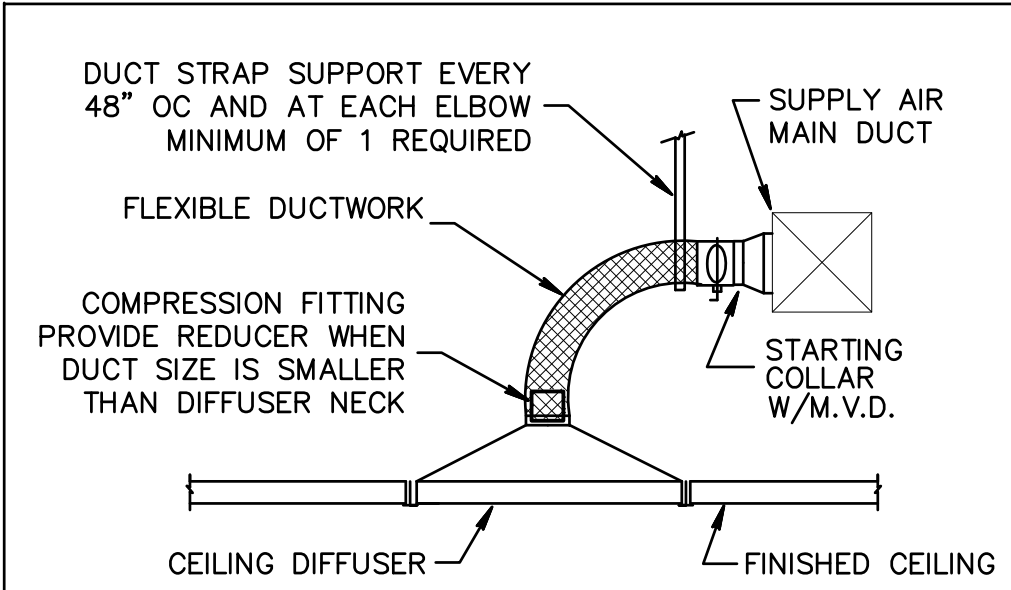
A-2

GENERAL DEMOLITION NOTES

- UNLESS OTHERWISE NOTED, ALL EQUIPMENT AND DUCTWORK IN THE PROJECT AREA WHICH IS NOT INDICATED TO REMAIN, IS TO BE REMOVED. THE CONTRACTOR SHALL INVESTIGATE THE PROJECT AREA PRIOR TO BID TO DETERMINE ALL REQUIRED DEMOLITION.
- EXISTING CONDITIONS SHOWN ON THIS DRAWING ARE TAKEN FROM ORIGINAL DRAWINGS AND FIELD INVESTIGATION. ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO BID. FIELD CONDITIONS SHALL GOVERN.
- DEMOLITION WORK IS NOT SPECIFICALLY IDENTIFIED ON THESE PLANS, AND MAY BE DESCRIBED ON THE ARCHITECTS PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED DEMOLITION WHETHER SHOWN ON THE PLANS OR NOT.
- ALL MECHANICAL SYSTEMS SERVING OTHER SPACES OR FLOORS, THAT RUN THROUGH THE PROJECT AREA SHALL REMAIN ACTIVE DURING CONSTRUCTION, SO AS NOT TO CAUSE ANY DISRUPTION TO THESE OTHER SPACES.
- ALL ITEMS REMOVED UNDER THIS PROJECT SHALL BE DISPOSED OF OR TURNED OVER TO THE OWNER AT THE OWNER'S DISCRETION.
- PROPERLY REMOVE AND DISPOSE OF ALL HVAC DUCTWORK AND AIR DISTRIBUTION DEVICES WHICH ARE TO BE REMOVED. CONSULT WITH OWNER AND OBTAIN THE OWNER'S APPROVAL PRIOR TO DISPOSAL OF REMOVED MATERIAL.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL PIPING AND DUCTS, NEW OR EXISTING, WITHIN THE PROJECT AREA, ARE PROPERLY SUPPORTED.
- ALL OCCUPIED SPACES ARE TO REMAIN OPERATIONAL DURING BUSINESS HOURS THROUGHOUT THE DEMOLITION AND CONSTRUCTION PERIOD. COORDINATE ALL WORK AS DESCRIBED IN THE ARCHITECTS DOCUMENTS.

HVAC PROJECT SPECIFIC NOTES

CONTRACTOR IS TO INSPECT ALL EXISTING DUCTWORK SHOWN ON THESE PLANS AS REMAINING. REPAIR AS REQUIRED ANY DAMAGED DUCTWORK OR INSULATION. WHERE DUCTWORK IS SHOWN TO BE PARTIALLY REMOVED, CAP SEAL, AND INSULATE TO MATCH EXISTING METHODS AND MATERIALS. EXISTING VAV UNITS WHICH ARE REMAINING ARE TO BE INSPECTED, ADJUSTED AND REPAIRED WHERE NECESSARY.



CEILING DIFFUSER DETAIL

MECHANICAL GENERAL NOTES:

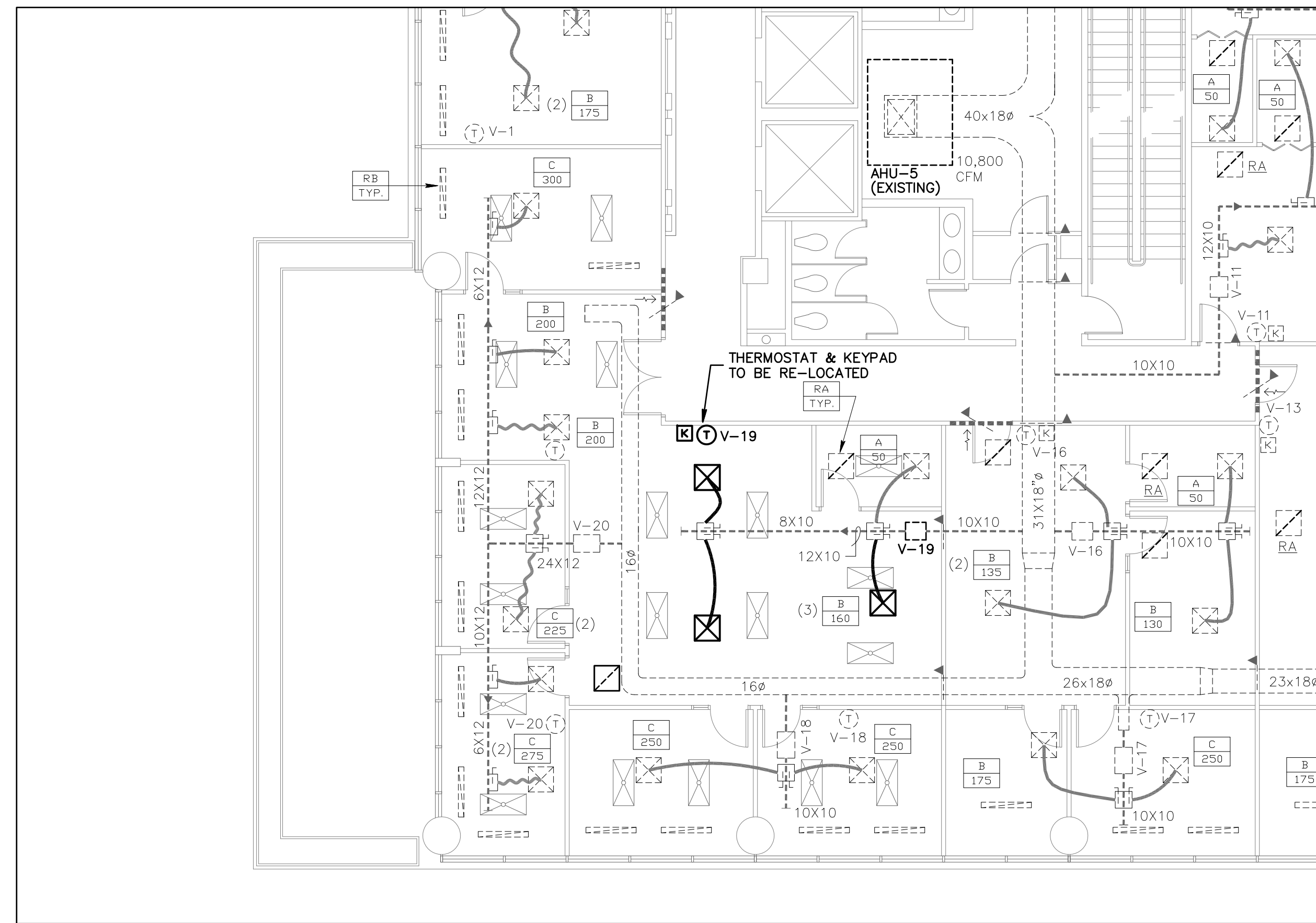
- THESE DRAWINGS ARE DIAGRAMMATIC. ALL OFFSETS, FITTINGS, TRANSITIONS AND ACCESSORIES ARE NOT SHOWN. THE CONTRACTOR SHALL INCLUDE IN HIS BID ALL ITEMS REQUIRED TO PROVIDE A COMPLETE AND OPERATIONAL SYSTEM. DO NOT SCALE DRAWINGS FOR INSTALLATION.
- ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER BY LICENSED CONTRACTORS.
- THE CONTRACTOR SHALL OBTAIN AT HIS EXPENSE ALL NECESSARY FEES PERMITS, AND TESTS.
- ALL WORK SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES. NO CONTRACTOR SHALL BID UNLESS FAMILIAR WITH THESE CODES.
- CORRECTION OF DEFECTS TO THIS WORK SHALL BE MADE PROMPTLY WITHOUT CHARGE TO THE OWNER. REPAIR AND REPLACEMENT FOR DAMAGE CAUSED BY THIS CONTRACTOR SHALL BE MADE PROMPTLY WITHOUT CHARGE TO THE OWNER.
- ALL WORK OF THIS TRADE SHALL BE COORDINATED WITH ALL OTHER TRADES TO AVOID ANY INTERFERENCES THAT MAY DELAY PROGRESS OF CONSTRUCTION.
- THE CONTRACTOR SHALL INCLUDE THE WORK OF ALL REQUIRED SUB-CONTRACTORS, SUCH AS ELECTRICAL, INSULATING, TEST & BALANCE, ETC., AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM.
- EQUIPMENT SHALL BEAR A U.L. OR OTHER RECOGNIZED LABEL, NAMEPLATES, WIRING DIAGRAMS, AND ENERGY RATINGS AS APPLICABLE.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND ACCESSORIES TO BE READILY ACCESSIBLE FOR SERVICING, TESTING, BALANCING, AND REPLACEMENT.
- THE CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE AGAINST DEFECTS IN ALL MATERIALS AND WORKMANSHIP FOR ONE YEAR FROM ACCEPTANCE, WITH FOUR ADDITIONAL YEARS OF WARRANTY ON COMPRESSORS.
- THE CONTRACTOR SHALL PROVIDE THREE COPIES OF SUBMITTAL DATA, SHOP DRAWINGS, AND AT COMPLETION OF THE PROJECT TWO SETS OF OPERATION AND MAINTENANCE MANUALS FOR ALL PROJECT ITEMS.
- PROVIDE ALL CONTROLS, STARTERS, CONTROL WIRING, DISCONNECTS, AND OTHER ELECTRICAL EQUIPMENT AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM.
- THE HVAC CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, ON SITE, A DETAILED AS-BUILT PLAN SHOWING ACTUAL INSTALLATIONS. THE CONTRACTOR IS TO PROVIDE A NEATLY DRAWN COMPREHENSIVE AS-BUILT SET OF PLANS UPON COMPLETION, WHICH ARE SUITABLE FOR SUBMISSION TO THE BUILDING DEPARTMENT AND TO THE OWNER.
- PRIOR TO ACCEPTANCE BY THE OWNER THE SYSTEMS SHALL BE TESTED AND BALANCED BY THE CONTRACTOR. PROVIDE A WRITTEN REPORT.
- SUPPLY AND INSTALL DUCT MOUNTED SMOKE DETECTORS AS REQUIRED.
- COORDINATE LOCATION OF CEILING DIFFUSERS, GRILLES AND REGISTERS IN THE FIELD WITH LIGHTS AND ARCHITECTURAL ELEMENTS.
- ALL GRILLES TO BE TITUS OR METALLAIRE UNLESS OTHERWISE NOTED, SIZES AS SHOWN ON PLANS, ALUMINUM CONSTRUCTION.
- ALL DUCT WORK SHALL BE BUILT AND INSTALLED IN ACCORDANCE WITH SMACNA STANDARDS AND LOCAL BUILDING CODES.
- ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS.
- ALL OUTSIDE AIR DUCTWORK SHALL BE SHEETMETAL WITH EXTERIOR R-6 INSULATION. PROVIDE BLANKET TYPE INSULATION IN CONCEALED SPACES, AND BOARD TYPE IN EXPOSED AREAS.
- ALL EXHAUST AIR DUCT SHALL BE GALVANIZED SHEET METAL CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH ASHRAE AND SMACNA STANDARDS.
- FLEXIBLE DUCT, WHERE SHOWN, SHALL BE U.L. CLASS 1, R-6 INSULATION.
- LOW PRESSURE SUPPLY AND RETURN RECTANGULAR DUCTWORK IS RIGID DUCTBOARD, 1 IN. THICK, R-4.2 INSULATION.
- PROVIDE ELBOW TURNING VANES IN ALL RECTANGULAR DUCTS WHERE TURNS ARE GREATER THAN 45 DEGREES.
- PROVIDE BACKDRAFT DAMPERS FOR ALL EXHAUST FANS.
- VERIFY ALL THERMOSTAT LOCATIONS WITH THE LANDLORD.
- CONDENSATE DRAIN PIPING SHALL BE ABOVE GRADE COPPER DRAIN, WASTE AND VENT FITTINGS. INSULATE ALL CONDENSATE PIPING W/3/4\"/>

ABBREVIATIONS

VAV	VARIABLE AIR VOLUME
S/A	SUPPLY AIR
R/A	RETURN AIR
O/A	OUTSIDE AIR
E/A	EXHAUST AIR
CFM	CUBIC FEET PER MINUTE.
MVD	MANUAL VOLUME DAMPER (OPPOSED BLADE TYPE).
FD	FIRE DAMPER
E	EXISTING TO REMAIN
R	RE-LOCATED EXISTING EQUIPMENT

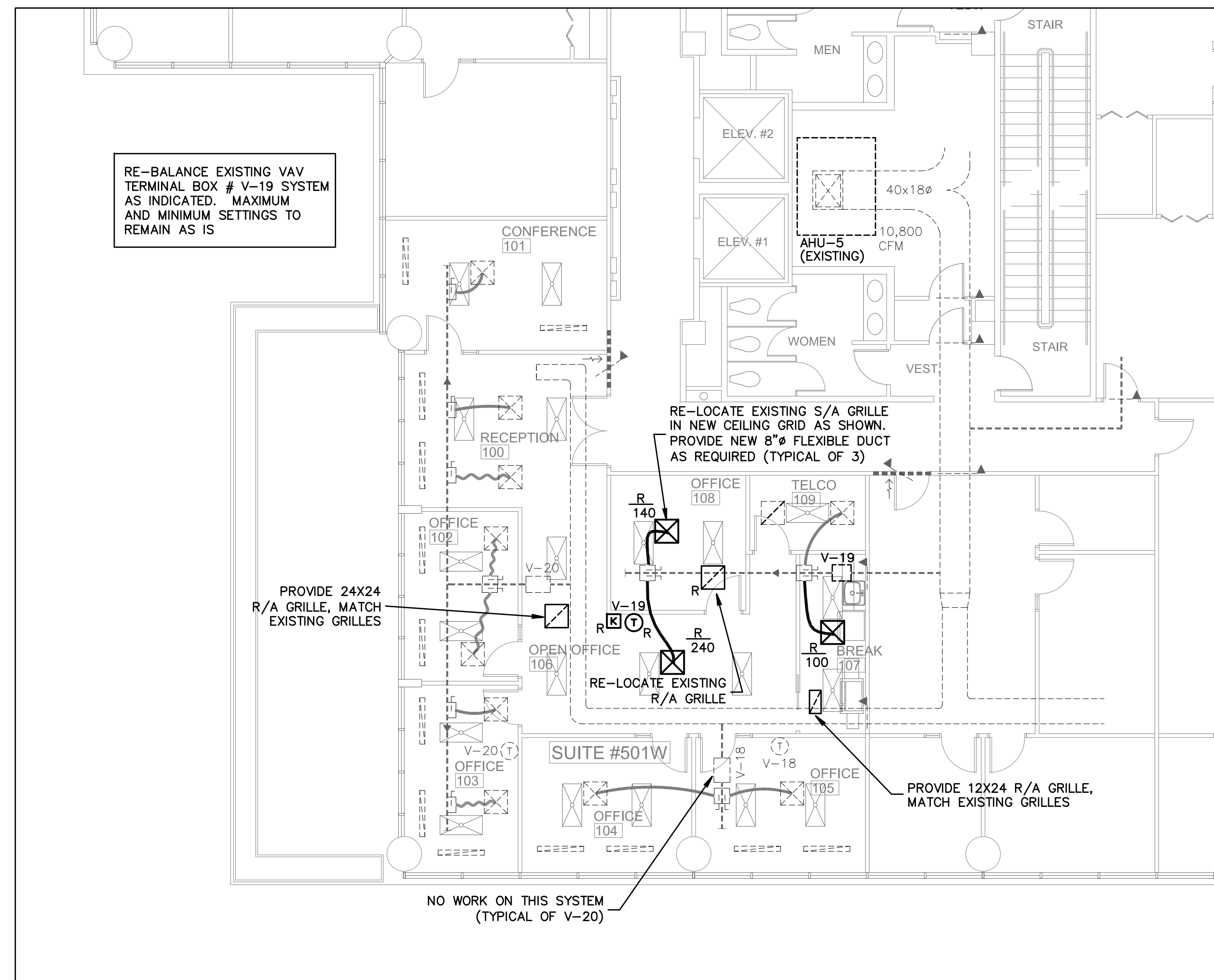
SYMBOL LEGEND

	EQUIPMENT TO REMAIN
	EQUIPMENT AS NOTED
	SUPPLY AIR DIFFUSER TO REMAIN
	RETURN/TRANSFER GRILLE TO REMAIN
	SUPPLY AIR DIFFUSER AS NOTED
	RETURN/TRANSFER GRILLE AS NOTED
	DUCTWORK AS NOTED
	EXISTING DUCTWORK TO REMAIN
	OVERTIME A/C KEYPAD
	TYPE B FIRE DAMPER W/ACCESS DOOR.
	MANUAL VOLUME DAMPER
	THERMOSTAT TO REMAIN
	THERMOSTAT AS NOTED
	FLEXIBLE DUCT, U.L. CLASS 1
	DUCT TRANSITION
	CONNECTION TO EXISTING EQUIPMENT



HVAC FLOOR PLAN - EXISTING

SCALE: 1/8" = 1'-0"



HVAC FLOOR PLAN - PROPOSED

SCALE: 1/8" = 1'-0"

PROJ. # 11-010
 Gilman & Associates, Inc.
 MECHANICAL & ELECTRICAL ENGINEERS
 1250 N. FEDERAL HIGHWAY SUITE 202
 Lake Worth, FL 33460 C.A. 0009078
 PHONE: (561) 581-1500 FAX: (561) 581-1501
 RONALD D. GILMAN P.E. 547883

Bd

birse design inc.

5300 Woodloch Lakes Drive
 Palm Beach Gardens, FL 33418
 phone 561-249-4001
 fax 772-405-8864
 AA-C6001 0115

ONE AMERICA

GOLDEN BEAR PLAZA
 11760 US HIGHWAY ONE #501W
 PALM BEACH GARDENS, FL 33408
 PROJECT NUMBER GBP29

REVISIONS

1	
2	
3	
4	
5	

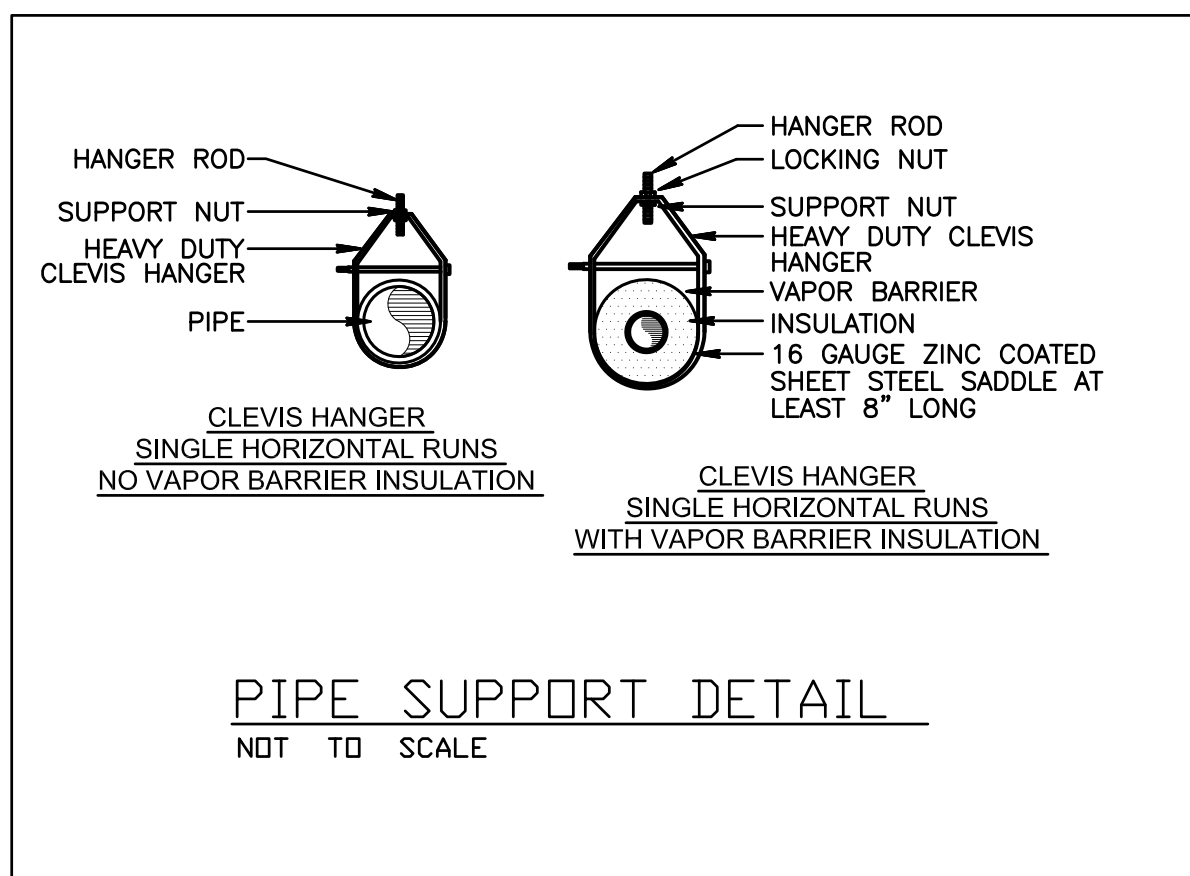
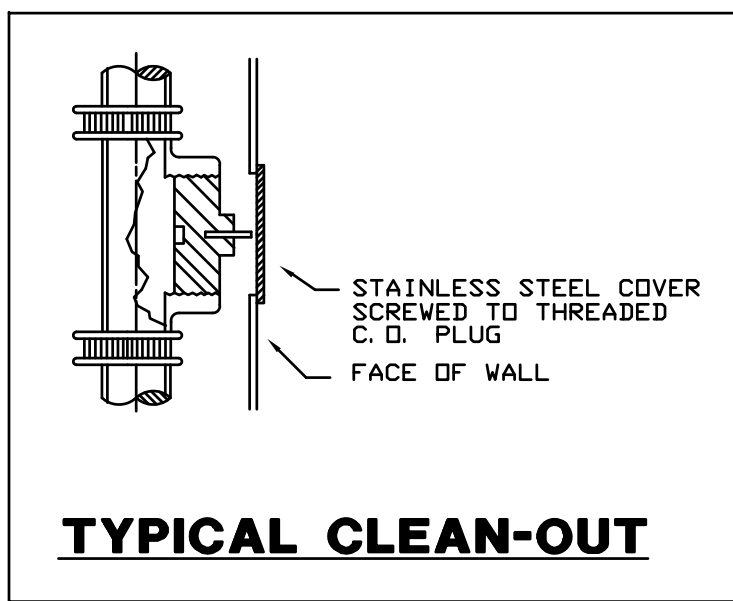
THIS DESIGN AND THESE DRAWINGS ARE THE PROPERTY OF BIRSE DESIGN INC. NO PART OF THIS WORK MAY BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION FROM BIRSE DESIGN INC.

DRAWN BY DR

CD

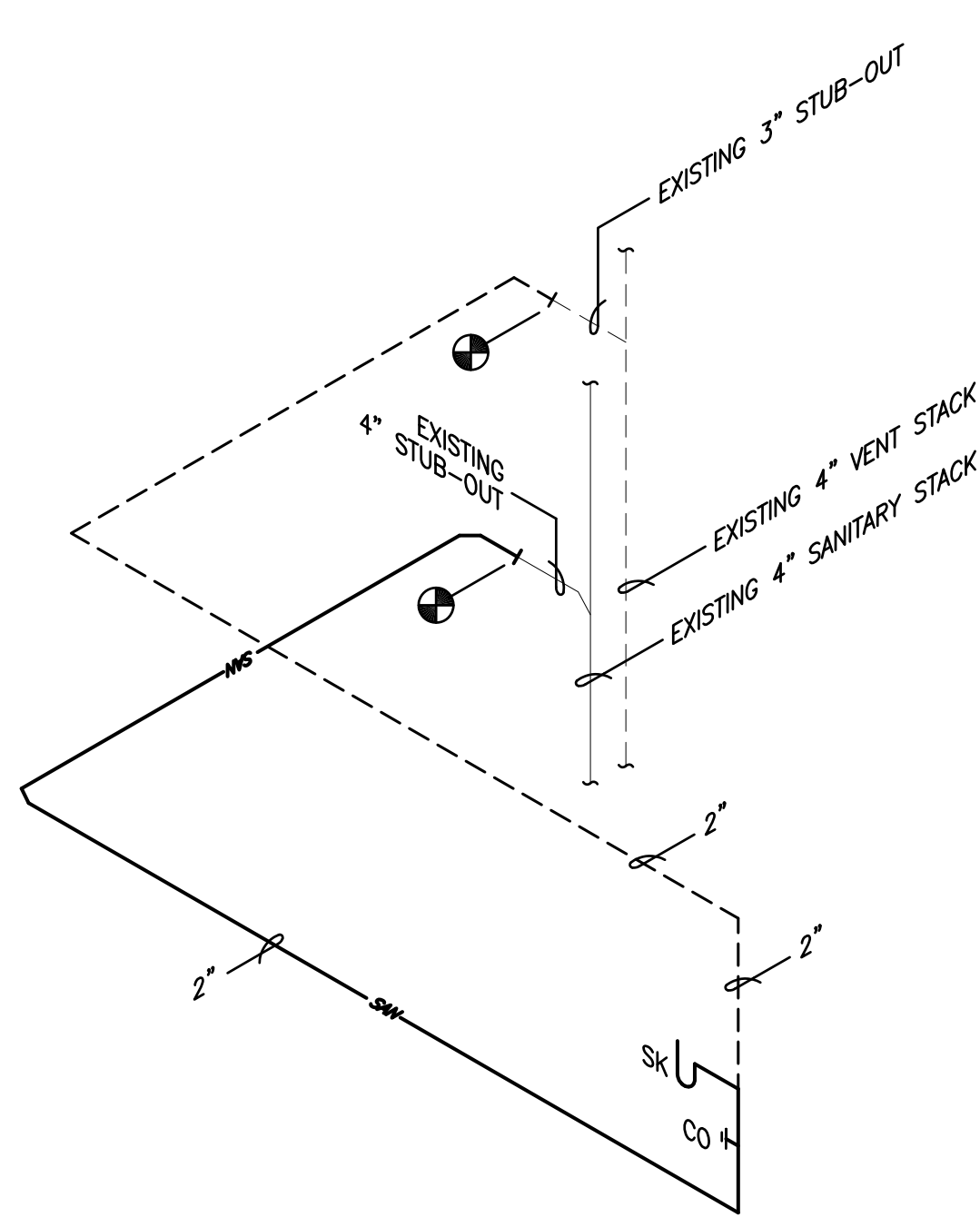
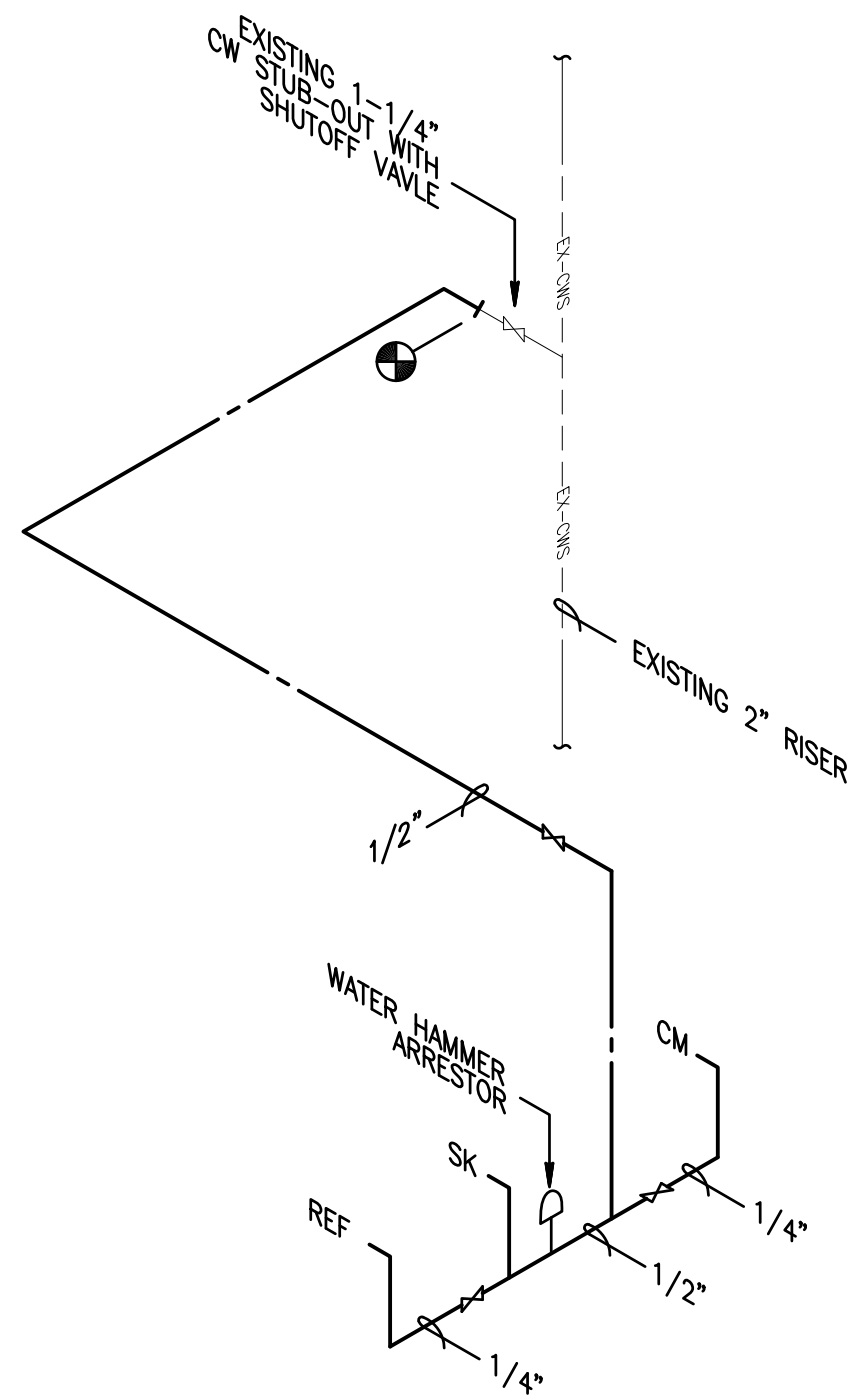
4-14-11

M-1



PLUMBING GENERAL NOTES:

- ALL WORKMANSHIP AND MATERIAL SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE LOCAL CODES, RULES AND ORDINANCES.
- CONTRACTOR SHALL VISIT THE JOB SITE AND THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS.
- ALL MATERIAL SHALL BE NEW.
- ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE.
- ALL EXCAVATION AND BACKFILL AS REQUIRED FOR THIS PHASE OF CONSTRUCTION SHALL BE A PART OF THIS CONTRACT.
- REQUIRED INSURANCE SHALL BE PROVIDED BY THE CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF WORK.
- CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTION & TESTS.
- DRAWINGS ARE DIAGRAMMATIC. DO NOT SCALE FOR THE EXACT LOCATION OF FIXTURES, PIPING, EQUIPMENT, ETC.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION. REPORT ANY DISCREPANCY TO ENGINEER/ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.
- VERIFY LOCATION, SIZE, INVERTS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ADVISE ENGINEER OF ANY DISCREPANCIES.
- WATER PIPING SHALL BE TYPE "L" COPPER FOR 2" & UNDER & TYPE "K" COPPER FOR 2-1/2" AND ABOVE. ALL UNDERGROUND WATER PIPING SHALL BE TYPE "K" COPPER.
- SOIL, WASTE, VENT AND STORM DRAIN PIPING SHALL BE CAST IRON NO HUB 301-72 ABOVE GRADE AND SCH. 40 PVC BELOW GRADE.
- CONDENSATE DRAIN TO BE COPPER DRAIN, WASTE & VENT FITTINGS. INSULATE ALL CONDENSATE EXCEPT UNDERGROUND.
- INSULATE PER A.D.A. ALL EXPOSED HANDICAP LAVATORIES DRAIN PIPING AND HOT & COLD STOP AND SUPPLIES. COVERS SHALL BE SOFT, REMOVABLE AND UPC APPROVED. MANUFACTURE: PLUMBEREX HANDY-SHIELD, TRU-BRO OR PRO-SERIES.
- ALL FIXTURES MUST BE PROVIDED WITH READILY ACCESSIBLE STOPS & APPROPRIATELY MARKED ACCESS PANELS. COORDINATE LOCATIONS WITH GENERAL CONTRACTOR PRIOR TO INSTALLATION.
- FURNISH AND INSTALL A SIOUX CHIEF HYDRA-RESTER AT EACH GROUP OF FIXTURES.
- DIELECTRIC COUPLINGS ARE REQUIRED BETWEEN ALL DISSIMILAR METAL IN PIPING AND EQUIPMENT CONNECTIONS.
- ISOLATE COPPER PIPE FROM HANGER OR SUPPORTS WITH ISOLATOR PAD. (HAIR FELT LINING).
- ALL FIRE RATED FLOOR AND WALL PENETRATIONS SHALL BE PROPERLY PROTECTED FROM FIRE, SMOKE AND WATER PENETRATION BY FILLING VOIDS BETWEEN PIPE & WALL/FLOOR SLEEVES WITH U.L. APPROVED FIRE/SMOKE/WATER SEALANT.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS & WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE BY OWNER. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED.
- PROVIDE 1/2" TRAP PRIMER LINE FOR ALL FLOOR DRAINS FROM THE NEAREST PLUMBING FIXTURE OR PROVIDE SIOUX CHIEF #695 TRAP PRIMER.
- PROVIDE ACCESS PANELS FOR ALL CONCEALED VALVES AND ALL WATER HAMMER ARRESTERS. ACCESS PANELS IN RATED WALLS MUST MAINTAIN THE SAME RATING & MUST MATCH THE FINISH OF THE WALL IN WHICH IT IS INSTALLED.
- PROVIDE CHROME PLATED COMBINATION COVER PLATE & CLEANOUT PLUG OR ACCESS PANEL FOR ALL WALL CLEANOUTS ZURN ZS-1469 SERIES C.O. OR OTHER APPROVED ACCESS PANEL.
- NO COMBUSTIBLE MATERIAL TO BE USED IN MECHANICAL ROOMS OR IN CEILING SPACES WHERE USED AS RETURN AIR PLENUMS.
- ALL PLUMBING FIXTURES SHALL MEET STATE AND LOCAL CODES.

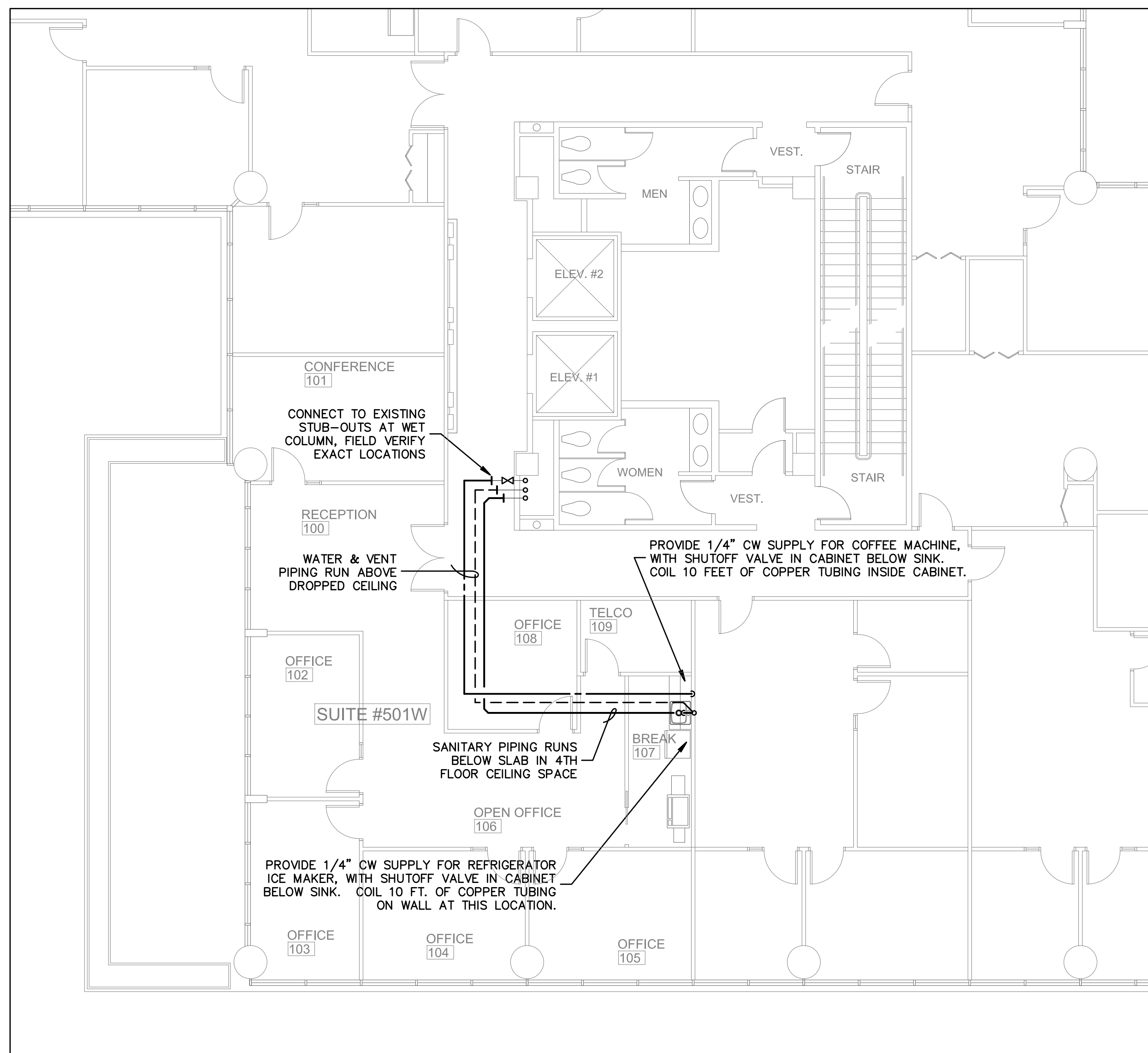


PLUMBING FIXTURE SCHEDULE (AMERICAN STANDARD OR EQUAL)

NAME	FIXTURE	MODEL #	ACCESSORIES
SK	KITCHEN SINK	SINGLE BOWL - JUST #SL-ADA-1921-A-GR 6.5" DEEP	JUST #J-1174-KS FAUCET, #J-35-ADA COMPLETE DRAIN ASSEMBLY, SUPPLY PIPES, MCQUIRE ANGLE STOPS & ADJUSTABLE "T" TRAP INSULATE DRAIN AND SUPPLY PIPES BELOW SINK.
FIXTURE	WATER PIPE SIZE	NOMINAL SAN. SIZE	MAXIMUM FLOW RATES
SINK	1/2"	1 1/2"	2.0 GPM

SYMBOLS & ABBREVIATIONS

—○—	CONDENSATE LINE	CD
—●—	HOT WATER PIPE	HW
—○—	COLD WATER PIPE	CW
— —	GATE VALVE (SHUT-OFF VALVE)	SOV
— —	SANITARY LINE	SAN
— —	VENT LINE	
—EX-SAN—	EXISTING SANITARY LINE	
—EX-CWS—	EXISTING COLD WATER SUPPLY LINE	
SK	SINK	SK
CM	COFFEE MACHINE	CM
REF	REFRIGERATOR	REF
WHA	WATER HAMMER ARRESTOR	WHA
—○—	CONNECTION TO EXISTING SYSTEMS	
—X—X—	PIPING TO BE DEMOLISHED	



PLUMBING FLOOR PLAN
SCALE: 1/8" = 1'-0"

PROJ.# 11-010
Gilman & Associates, Inc.
MECHANICAL & ELECTRICAL ENGINEERS
129 N. FEDERAL HIGHWAY SUITE 202
Lake Worth, FL 33460 C.A. 000078
RONALD D. GILMAN P.E. 347883

Bd

birse design inc.
5300 Woodland Lakes drive
palm beach gardens, fl 33418
phone 561-249-4001
fax 772-025-9864
A/C6001 0115

ONE AMERICA
GOLDEN BEAR PLAZA
11760 US HIGHWAY ONE #501W
PALM BEACH GARDENS, FL 33408
PROJECT NUMBER GBP29

REVISIONS

1	
2	
3	
4	
5	

THIS DESIGN AND THESE DRAWINGS ARE THE PROPERTY OF BIRSE DESIGN INC. NO PART OF THIS DESIGN MAY BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION FROM BIRSE DESIGN INC.

DRAWN BY DR

CD
4-14-11

P-1

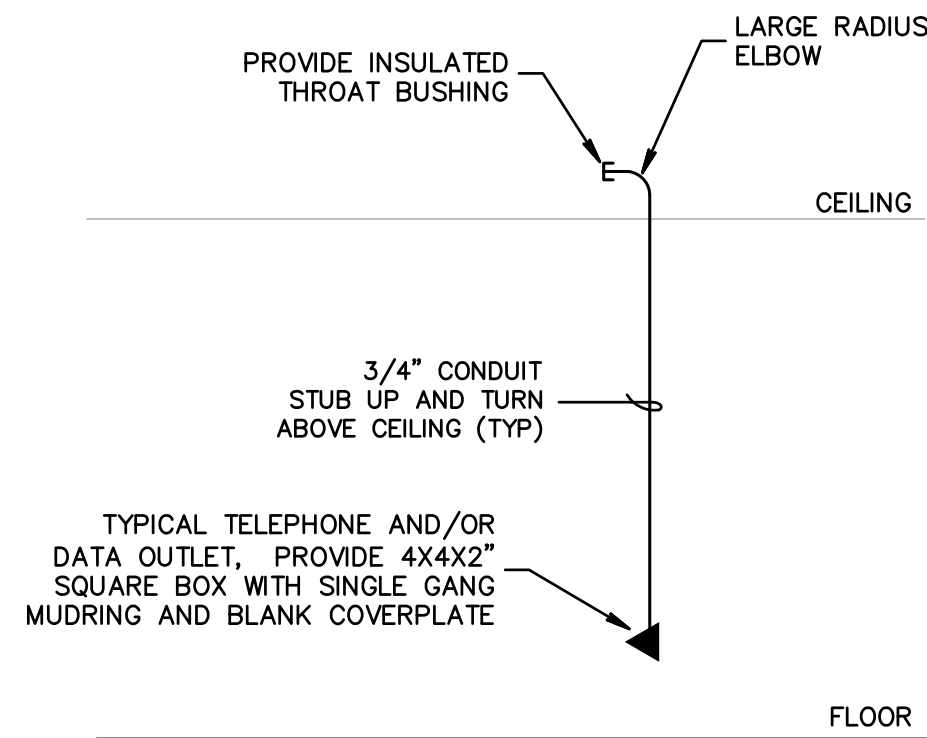
ELECTRICAL LEGEND

- LIGHTING FIXTURE IDENTIFICATION
- RECTANGULAR LIGHTING FIXTURE - AS NOTED
- RECTANGULAR LIGHTING FIXTURE - EXISTING AS NOTED
- EXIT LIGHT WITH EMERGENCY BATTERY BACKUP
- EMERGENCY LIGHTING FIXTURE WITH BATTERY BACKUP
- DUPLEX RECEPT - 20 AMP (18" A.F.F.)
- SINGLE RECEPT - 20 AMP (18" A.F.F.)
- DUPLEX RECEPT MOUNTED ABOVE COUNTER - 20 AMP (42" A.F.F.)
- SINGLE POLE TOGGLE SWITCH, 48" AFF
- 3-WAY TOGGLE SWITCH, 48" AFF
- ELECTRICAL PANELBOARD
- MOTOR LOAD
- CIRCUIT HOME RUN TO PANELBOARD OR AS INDICATED
- CONDUIT CONCEALED
- EXISTING CIRCUIT AS NOTED
- CAPPED CONDUIT
- TELEVISION OUTLET (18" A.F.F.)
- TELEPHONE/DATA OUTLET (18" A.F.F.)
- TEL/DATA OUTLET FLUSH FLOOR MOUNTED
- EXISTING DUPLEX RECEPTACLE TO REMAIN.
- EXISTING TELEPHONE/DATA OUTLET TO REMAIN
- E EXISTING DEVICE TO REMAIN, UNLESS NOTED OTHERWISE
- R EXISTING DEVICE, RELOCATED AS SHOWN
- D EXISTING DEVICE TO BE DEMOLISHED OR RELOCATED
- OCCUPANCY SENSOR WITH MANUAL SWITCH, HUBBELL LHMTS1, 48" AFF
- OCCUPANCY SENSOR, CEILING MOUNT, HUBBELL OMNI DT-2000

FIRE ALARM LEGEND

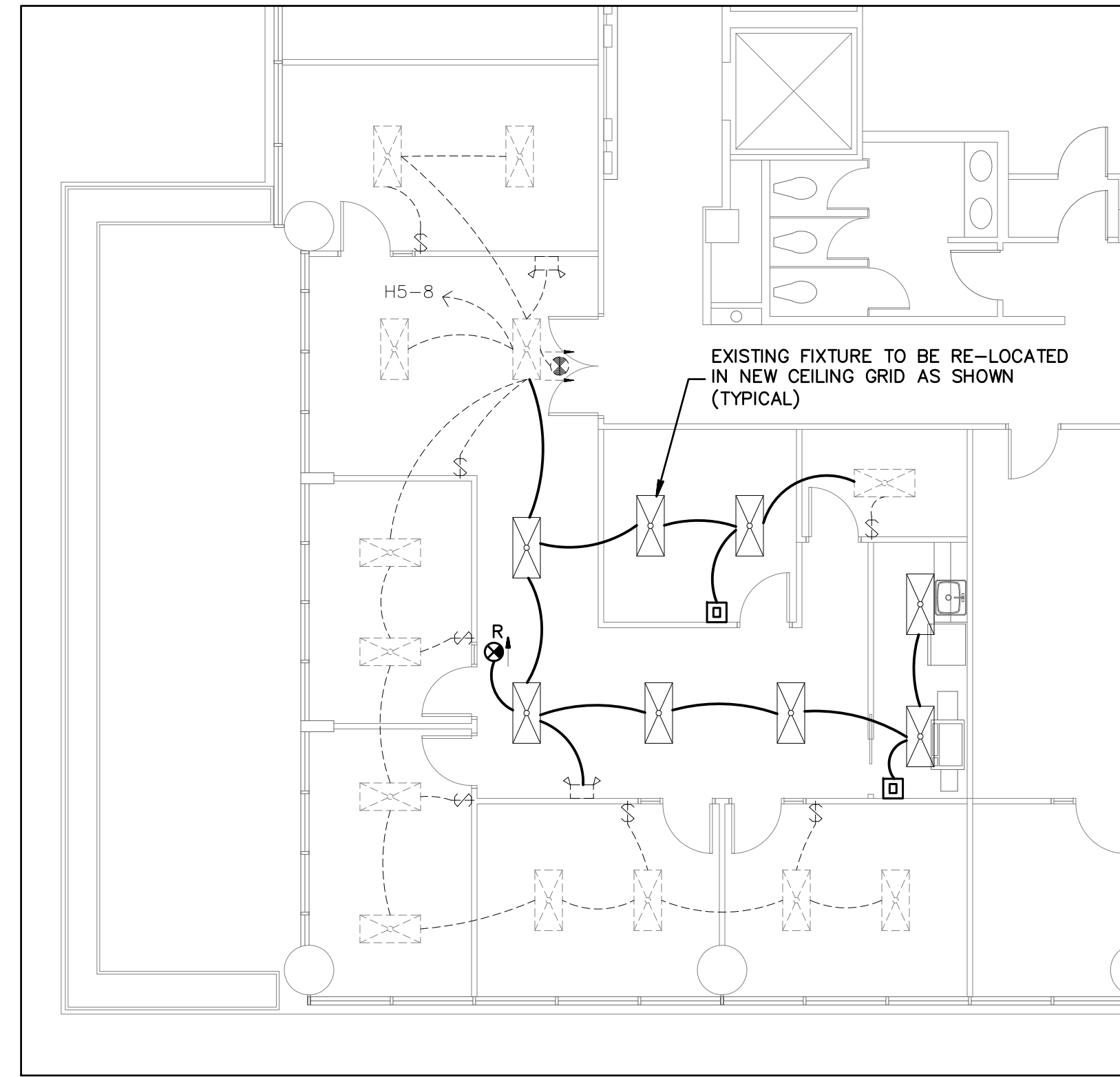
- MANUAL PULL STATION 48" AFF
- WALL MOUNT HORN/STROBE 80" AFF TO BOTTOM
- ADA COMPLIANT STROBE LIGHT 80" AFF TO BOTTOM
- CEILING SMOKE DETECTOR PHOTOELECTRIC TYPE

ALL DEVICES ARE EXISTING, TO REMAIN AS IS, SHOWN FOR REFERENCE ONLY



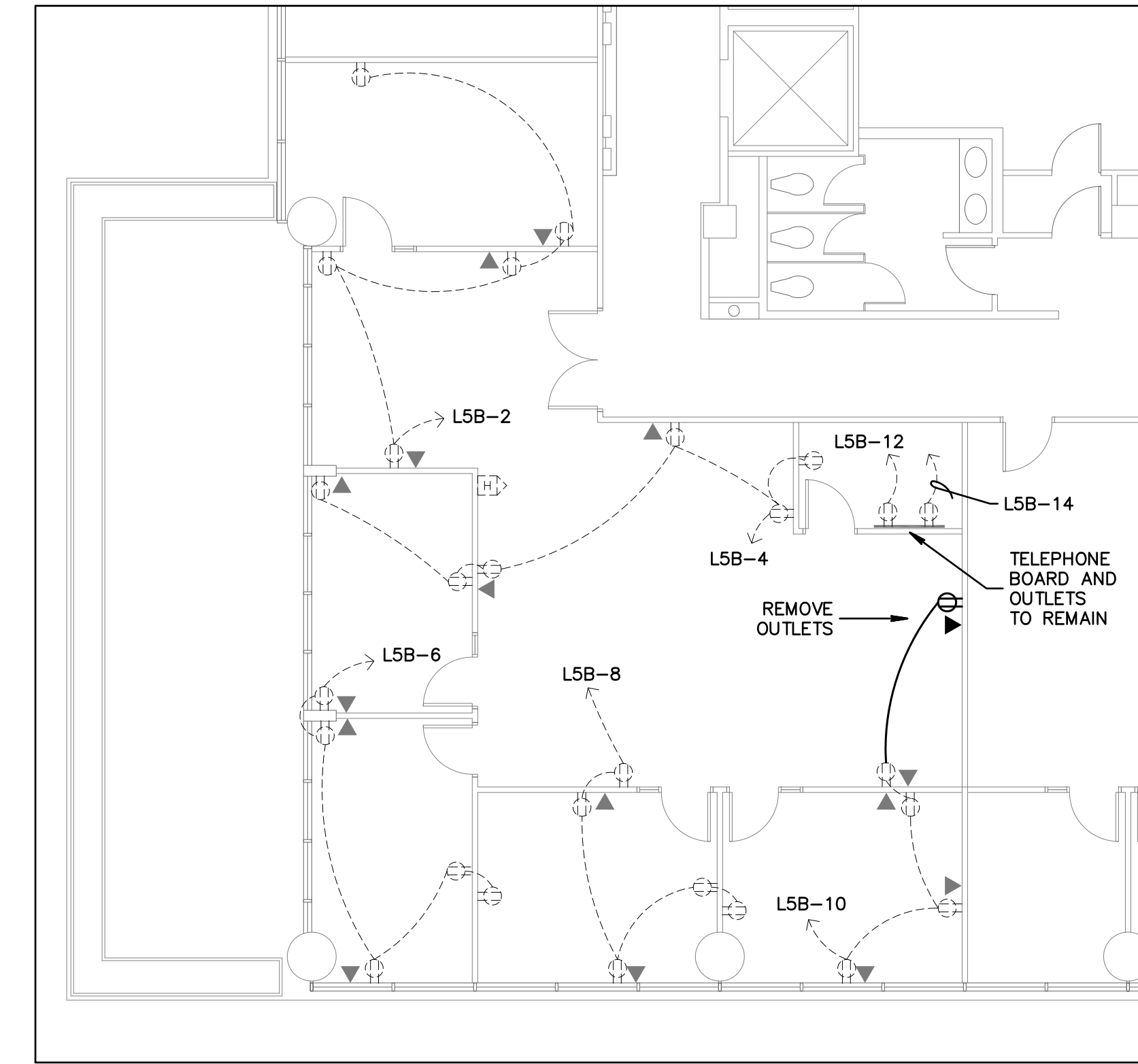
COMMUNICATIONS OUTLET DETAIL

NO SCALE



LIGHTING FLOOR PLAN

SCALE: 1/8" = 1'-0"

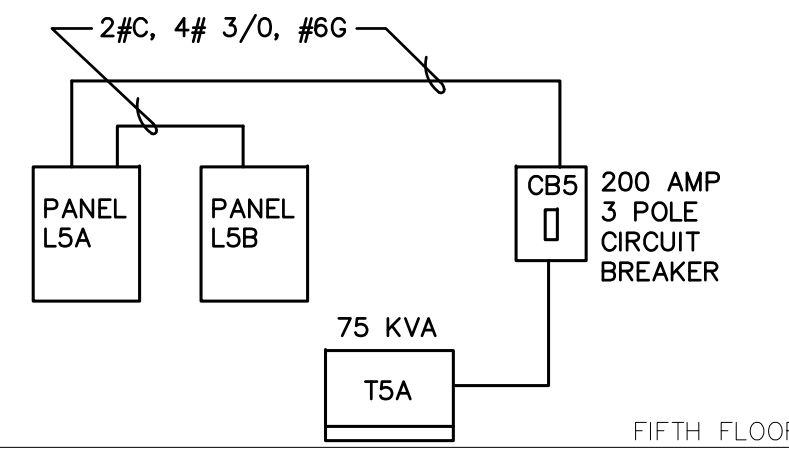


EXISTING ELECTRICAL FLOOR PLAN

SCALE: 1/8" = 1'-0"

ELECTRICAL GENERAL NOTES

1. DO NOT SCALE THE ELECTRICAL DRAWINGS. REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT. CONFIRM WITH OWNERS REPRESENTATIVE.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE NFPA-70 (2008), THE LIFE SAFETY CODE NFPA-101 (2006), THE NATIONAL FIRE ALARM CODE NFPA-72 (2002), AND THE FLORIDA BUILDING CODE (FBC 2007 WITH 2009 SUPPLEMENTS).
3. MINIMUM WIRE SIZE SHALL BE #12 A.W.G., EXCLUDING CONTROL WIRING, UNLESS OTHERWISE NOTED ALL CONDUCTORS SHALL BE COPPER WITH THWN INSULATION.
4. OUTLET BOXES SHALL BE SHEET STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET OR DAMP LOCATIONS AND SPECIAL ENCLOSURES AS REQUIRED FOR OTHER CLASSIFIED AREAS.
5. DISCONNECT SWITCHES SHALL BE HP-RATED, HEAVY DUTY, QUICK-MAKE, QUICK-BREAK ENCLOSURES AS REQUIRED BY EXPOSURE.
6. MOTOR STARTERS SHALL BE MANUAL OR MAGNETIC, WITH OVERLOAD RELAYS IN EACH HOT LEG.
7. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
8. ELECTRICAL SYSTEM SHALL BE COMPLETE AND EFFECTIVELY GROUNDED AS REQUIRED BY THE LATEST EDITION OF THE N.E.C.
9. ALL MATERIALS SHALL BE NEW AND BEAR UNDERWRITERS' LABELS WHERE APPLICABLE.
10. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE, AND ACCEPTED BY ENGINEER/ARCHITECT.
11. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
12. CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE.
13. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PART OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
14. ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
15. CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS, AND TESTING.
16. THE ELECTRICAL INSTALLATION SHALL MEET ALL STANDARD REQUIREMENTS OF POWER AND TELEPHONE COMPANIES.
17. FURNISH AND INSTALL DISCONNECT SWITCHES AND WIRING FOR AIR CONDITIONING SYSTEM AS PER MANUFACTURERS RECOMMENDATIONS. CONTROLS ARE TO BE SUPPLIED BY AIR CONDITIONING CONTRACTOR AND CONNECTED BY ELECTRICAL CONTRACTOR.
18. ALL RACEWAYS UNDERGROUND SHALL BE A MINIMUM OF 3/4" CONDUIT.
19. ALL CIRCUIT BREAKERS, TWO AND THREE POLE, TO BE COMMON TRIP. NO TIE HANDLES, OR TANDEMS WILL BE ACCEPTED.
20. ALL FUSES, UNLESS NOTED ON DRAWING, SHALL BE CURRENT LIMITING (C.L.) RATED FOR 200,000 A.I.C.
21. ALL ELECTRICAL EQUIPMENT, DEVICES, WIRE, ETC., SHALL BE LISTED FOR THE INTENDED USE, WITH UNDERWRITER'S LABORATORIES, INC. (UL), WHERE STANDARDS HAVE BEEN ESTABLISHED BY UL.
22. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN, ON SITE, A DETAILED AS-BUILT PLAN SHOWING ACTUAL INSTALLATIONS. THE CONTRACTOR IS TO PROVIDE A NEATLY DRAWN COMPREHENSIVE AS-BUILT SET OF PLANS UPON COMPLETION, WHICH ARE SUITABLE FOR SUBMISSION TO THE BUILDING DEPARTMENT AND THE OWNER.
23. ALL WIRING IS TO BE IN CONDUIT. CABLES ARE NOT ACCEPTABLE EXCEPT WHERE USED FOR FINAL CONNECTIONS TO RECESSED LIGHTING FIXTURES IN LENGTHS UP TO SIX FEET MAXIMUM.



PARTIAL EXISTING RISER DIAGRAM

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NEW AND EXISTING ELECTRICAL SYSTEMS, FIXTURES, DEVICES, AND OTHER EQUIPMENT RELATED TO THESE TENANT SPACES ARE IN GOOD WORKING ORDER. REPAIR AS NEEDED.

LIGHTING ENERGY CODE COMPLIANCE
ALLOWANCE: 830 SQ. FT. X 1.1 WATTS = 913 WATTS
INSTALLED: 10 X 85W = 850 WATTS

EXISTING PANEL

TYPE: WESTINGHOUSE W10B		MAIN BUS: 400A											
SERVICE: 120/208 3Ø 4W		NEUTRAL: FULL											
MOUNTING: SURFACE		MAINS: LUGS ONLY											
POLES: 42		A.I.C. 10K											
DEM. K.V.A.	NO DEM. K.V.A.	TRIP PDLE	CON-DUIT	WIRE	REMARKS	CKT. NO.	CKT. NO.	REMARKS	WIRE	CON-DUIT	TRIP PDLE	NO DEM. K.V.A.	DEM. K.V.A.
	0.9	20-1			SUITE 507 REC.	1	2	SUITE 501 REC.			20-1	0.9	
	0.9	20-1			SUITE 507 REC.	3	4	SUITE 501 REC.			20-1	0.9	
	0.9	20-1			SUITE 507 REC.	5	6	SUITE 501 REC.			20-1	0.9	
	0.7	20-1			SUITE 507 REC.	7	8	SUITE 501 REC.			20-1	0.9	
	0.2	20-1			SUITE 507 TEL.	9	10	SUITE 501 REC.			20-1	0.7	
	0.3	20-1			SUITE 507 SERV.	11	12	SUITE 501 TEL.			20-1	0.2	
	0.9	20-1			SUITE 505 REC.	13	14	SUITE 501 SERV.			20-1	0.3	
	0.9	20-1			SUITE 505 REC.	15	16	SUITE 501 REC.	12	1/2	20-1	0.5	
	0.9	20-1			SUITE 505 REC.	17	18	501 REFRIG.	12	1/2	20-1	0.8	
	0.9	20-1			SUITE 505 REC.	19	20	501 APPLIANCE	12	1/2	20-1	1.5	
	0.2	20-1			SUITE 505 TEL.	21	22	501 COPY MACH.	12	1/2	20-1	0.8	
	0.3	20-1			SUITE 505 SERV.	23	24	SPARE			20-1		
	0.9	20-1			SUITE 503 REC.	25	26	SPARE			20-1		
	0.9	20-1			SUITE 503 REC.	27	28	SPARE			20-1		
	0.7	20-1			SUITE 503 REC.	29	30	SPARE			20-1		
	0.2	20-1			SUITE 503 TEL.	31	32	SPARE			20-1		
	0.3	20-1			SUITE 503 SERV.	33	34	505 REFRIG.			20-1	0.6	
		20-1			SPARE	35	36	505 APPLIANCE			20-1	1.5	
		20-2			SPARE	37	38	505 COPY MACH.			20-1	0.8	
						39	40	505 INSTA-HDT			20-2	4.2	
	0.2	20-1			VAV CONTROLS	41	42						
	11.2											15.6	

SECTION A LOAD: 19.7 KVA
SECTION B LOAD: 26.8 KVA
TOTAL LOAD: 46.5 KVA = 129 AMPS

- ① EXISTING CIRCUITS TO REMAIN AS IS, SHOWN FOR REFERENCE ONLY.
- ② EXISTING SPARE CIRCUIT BREAKER TO BE RE-USED AS SHOWN.



PROPOSED ELECTRICAL FLOOR PLAN

SCALE: 1/8" = 1'-0"

Bd

birse design inc.

5300 Woodland Lakes Drive
Palm Beach Gardens, FL 33418
phone: 561-249-4001
fax: 772-405-8864
A/C6001015

ONE AMREICA

GOLDEN BEAR PLAZA
11760 US HIGHWAY ONE #501W
PALM BEACH GARDENS, FL 33408
PROJECT NUMBER GBP29

REVISIONS

- 1
- 2
- 3
- 4

THIS DESIGN AND THESE DRAWINGS ARE THE PROPERTY OF BIRSE DESIGN INC. NO PART OF THIS WORK MAY BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION FROM BIRSE DESIGN INC.

PROJ.# 11-010
Gilman & Associates, Inc.
MECHANICAL & ELECTRICAL ENGINEERS
129 N. FEDERAL HIGHWAY SUITE 202
Lake Worth, FL 33460 C.A.#009078
P.O. BOX 580158
RONALD D. GILMAN, P.E. #37883

DRAWN BY DR

CD

4-14-11

E-1