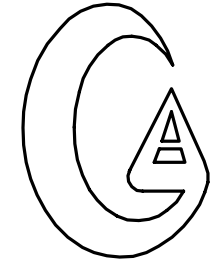


birse design inc + architecture + interior design + planning

5300 woodland lakes drive
palm beach gardens, fl 33418

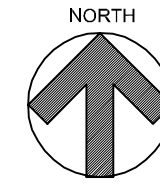
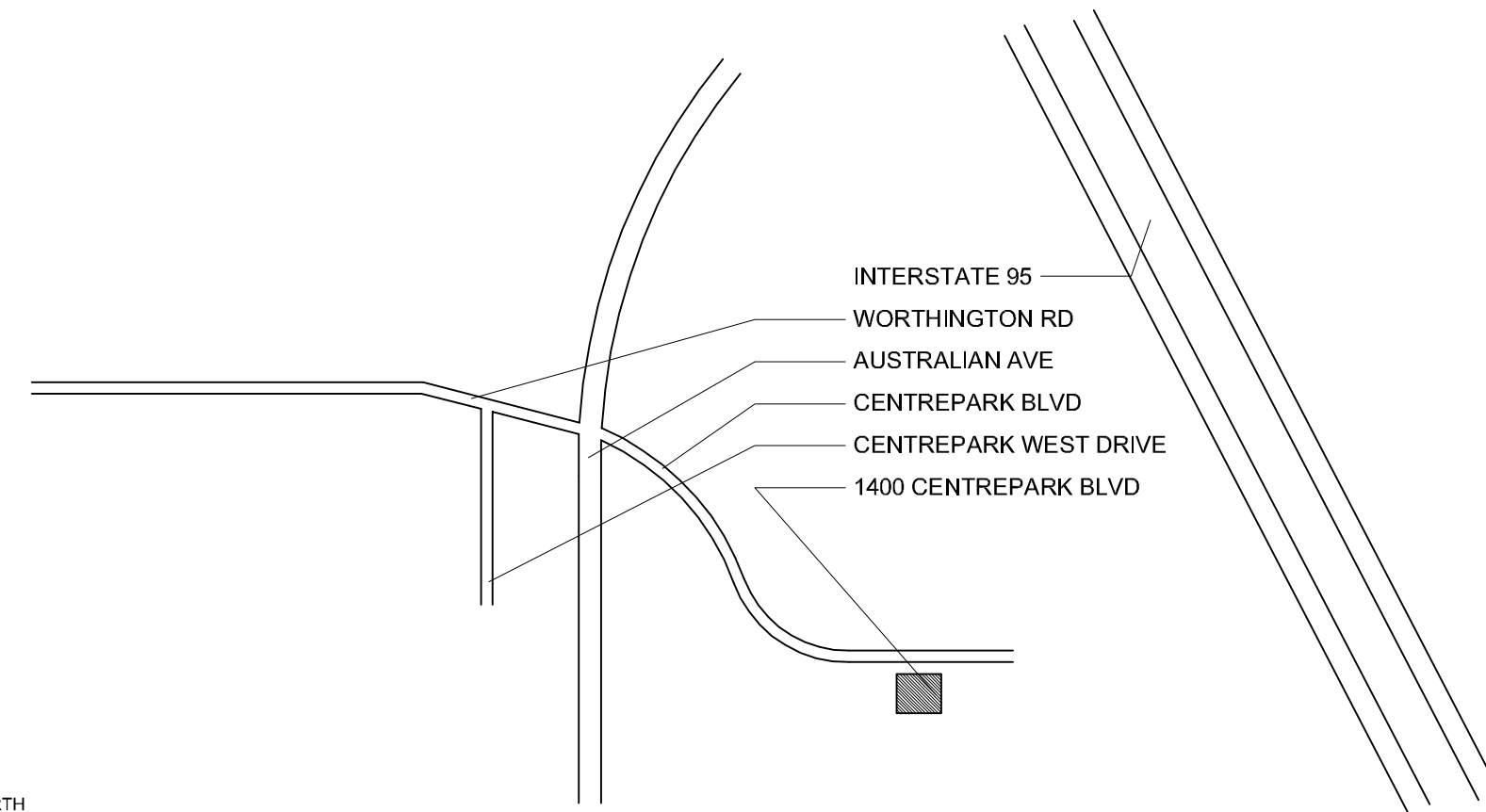
phone 561-249-4001
fax 772-409-8684
AA26001615

MECHANICAL ENGINEER / ELECTRICAL / PLUMBING



Gilman & Associates
MECHANICAL & ELECTRICAL ENGINEERS

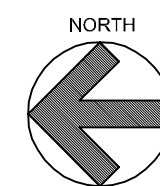
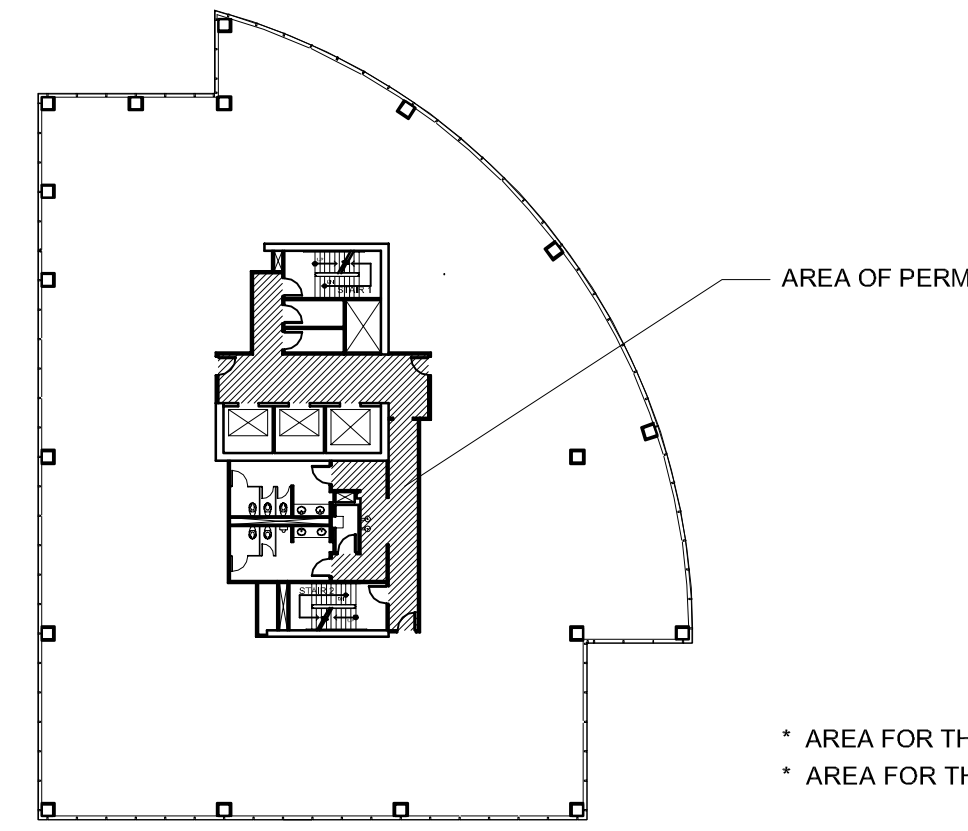
129 N. FEDERAL HWY.
SUITE 211
LAKE WORTH, FL 33460
(561) 582-0210
P.E. 37933



1 LOCATION MAP
NOT TO SCALE

INDEX OF SHEETS:

T	TITLE SHEET
ARCHITECTURAL SHEETS	
A-1	3RD FLOOR PLANS
A-2	4TH FLOOR PLANS
A-3	DETAILS
MECHANICAL/ELECTRICAL/PLUMBING SHEETS	
M-1	MECHANICAL PLANS
M-2	MECHANICAL NOTES
E-1	ELECTRICAL



2 KEY MAP (3RD)
NOT TO SCALE

AREA OF PERMIT

* AREA FOR THIS PERMIT IS HATCHED
* AREA FOR THIS PERMIT = 756 SF

REFERENCE STANDARDS:

THIS PROJECT IS DESIGNED IN ACCORDANCE WITH THE FOLLOWING CODES:

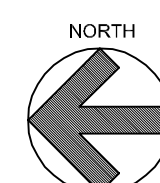
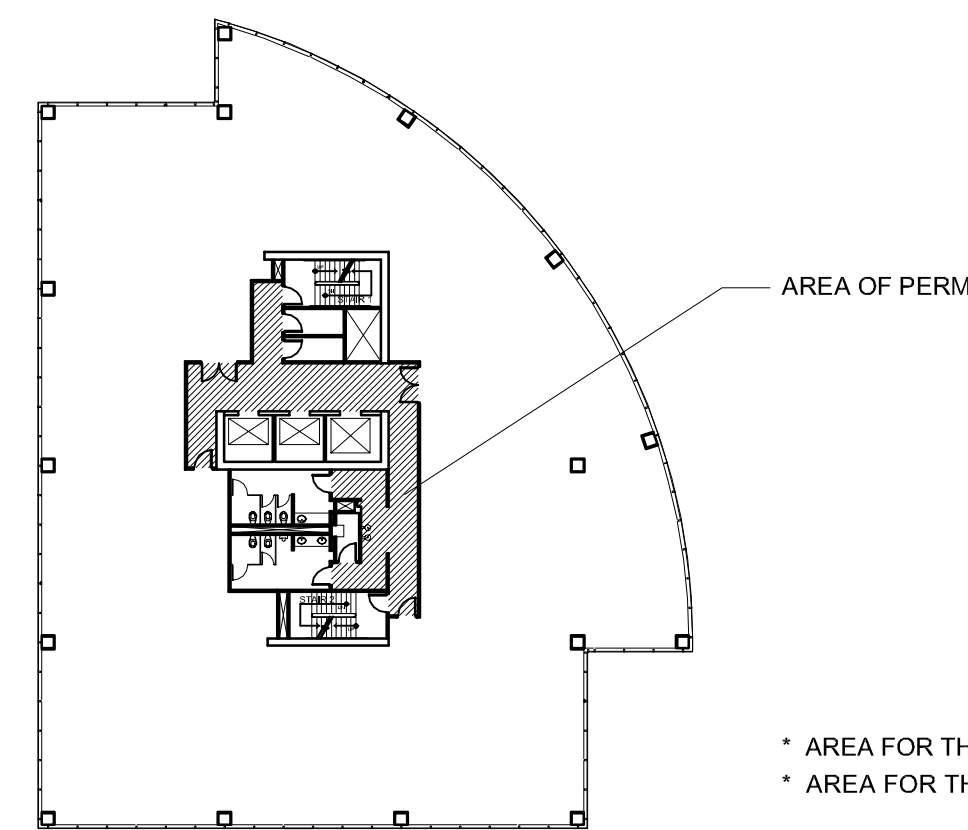
1. THE FLORIDA BUILDING CODE (FBC), 2007 EDITION WITH 2009 SUPPLEMENTS (BUILDING, MECHANICAL, PLUMBING, FUEL GAS, EXISTING BUILDING).
2. NATIONAL ELECTRIC CODE (NEC), 2008 EDITION.
3. FLORIDA FIRE PREVENTION CODE, 2007 EDITION.
4. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 101, LIFE SAFETY CODE, 2006 EDITION.
5. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 1, UNIFORM FIRE CODE, 2006 EDITION.

GENERAL NOTES:

1. THE CONTRACTOR SHALL AS A PART OF THIS CONTRACT FURNISH ALL MATERIALS, LABOR, TOOLS, EQUIPMENT, TRANSPORTATION, AND INSURANCE NECESSARY TO PROPERLY EXECUTE AND COMPLETE THE WORK ACCORDING TO THE PLANS AND SPECIFICATIONS.
2. THE CONTRACTOR IN THE WORK OF ALL TRADES SHALL PROTECT ALL EXISTING BUILDING AND PROPERTY FROM DAMAGE CAUSED BY THE ACTIVITIES OF THE CONTRACTOR AND SUBCONTRACTORS. THE CONTRACTOR SHALL REPAIR AND RESTORE THE JOB SITE AND SURROUNDING AREAS TO ITS ORIGINAL CONDITION. OWNER TO VERIFY SATISFACTION.
3. THE CONTRACTOR SHALL VISIT THE JOB SITE TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BID. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS BEFORE PROCEEDING WITH ANY WORK.
4. THE CONTRACTOR SHALL MAKE NO CHANGES TO THE CONSTRUCTION DRAWINGS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.
5. ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST CODES AND ORDINANCES.
6. THESE CONSTRUCTION DOCUMENTS ARE DIAGRAMATIC AND ARE TO CONVEY DESIGN INTENT. IT IS NOT THE INTENT OF THESE CONSTRUCTION DRAWINGS TO SHOW ALL DETAILS OF THE EXISTING CONDITIONS. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
7. EACH CONTRACTOR SHALL ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR MECHANICAL, ELECTRICAL, AND PLUMBING WITH THE APPROPRIATE TRADES.
8. ALL INDICATED UTILITY AND STUB-IN LOCATIONS ARE FOR REFERENCE ONLY. THE EXACT LOCATIONS SHALL BE VERIFIED ON THE JOB SITE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ENGINEERING AND THE ARCHITECTURAL DRAWINGS FOR THE ACTUAL PLACEMENT OF THE WORK RELATIVE TO FIELD CONDITIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OBTAINING INSTALLATION REQUIREMENTS FOR ALL BUILT-IN APPLIANCES, FIXTURES, AND EQUIPMENT. VERIFY EXACT ROUGH-IN DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO ROUGH-IN FRAME.
11. THE COST OF ADDITIONAL DESIGN WORK DUE TO ERRORS OR OMISSIONS IN CONSTRUCTION SHALL BE BORNE BY THE RESPECTIVE CONTRACTOR.
12. CONTRACTOR TO BE RESPONSIBLE FOR CHECKING STRUCTURAL CALCULATIONS FOR SPECIFIC REQUIREMENTS OF STRUCTURAL CONNECTIONS, SUBMIT STEEL TRUSS CALCULATIONS AND SHOP DRAWINGS OF ALL STRUCTURAL STEEL AND MISCELLANEOUS METAL FABRICATION BEFORE COMMENCING FABRICATION.
13. BIRSE DESIGN, INC. SHALL IN NO WAY BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNOLOGIES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. (THESE ARE SOLELY THE CONTRACTORS RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION).
14. EACH CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BRACING, SHORING, GUYING, OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS ASSOCIATED WITH WORK IN PLACE DURING CONSTRUCTION.
15. PROVIDE PORTABLE FIRE EXTINGUISHERS DURING CONSTRUCTION AS REQUIRED BY LOCAL CODES.
16. SPRINKLER SYSTEM: INSTALL FULL BUILDING SPRINKLER SYSTEM IN COMPLIANCE WITH THE REQUIREMENTS OF NFPA 13. SHOP DRAWINGS MUST BE APPROVED BEFORE INSTALLATIONS. PROVIDE OWNER WITH 2 COPIES OF PERMIT SETS.
17. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR MEETING THE REQUIREMENTS OF ALL CURRENT APPLICABLE BUILDING CODES AND ENFORCEMENT AGENCIES, FIRE MARSHALL, OR ANY OTHER BUILDING CODE ENFORCEMENT OFFICER AT NO EXTRA COST TO THE OWNER. NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO SUBMITTING A BID FOR THE PROJECT.
18. BASE BID SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

SYMBOL INDEX:

ADMIN.	ROOM NAME
108	ROOM NUMBER
(A)	DOOR MARK/NUMBER
(1)	WINDOW MARK/NUMBER
1/1A2	WALL SECTION/SHEET NUMBER
1/1A2	BUILDING SECTION/SHEET NUMBER
1/1A2	ELEVATION TARGET/SHEET NUMBER
1/1A2	DETAIL NUMBER/SHEET NUMBER
8'-6"	CEILING HEIGHT
F.E.	FIRE EXTINGUISHER
2x4	2x4' FLUORESCENT LIGHT FIXTURE
WALL	WALL MOUNTED LIGHT FIXTURE
RECESSED	RECESSED LIGHT DOWN FIXTURE



3 KEY MAP (4TH)
NOT TO SCALE

AREA OF PERMIT

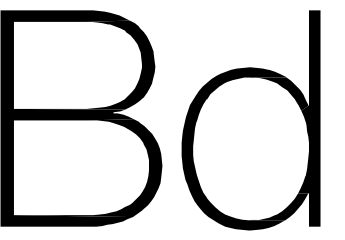
* AREA FOR THIS PERMIT IS HATCHED
* AREA FOR THIS PERMIT = 703 SF

PROJECT DATA:

- * PROJECT ADDRESS: 1400 CENTREPARK BLVD
3RD & 4TH FLOORS
WEST PALM BEACH, FL 33410
- * EXISTING BUILDING IS TYPE I "A"
- * EXISTING BUILDING IS A 10 STORY BUILDING
- * EXISTING BUILDING CLASSIFICATION IS GROUP "B"
- * LEVEL 2 ALTERATION PER "EXISTING BUILDING CODE 2007"

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birse design inc.

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AA26001615

ALLEN S BIRSE
AR94279

CORRIDOR IMPROVEMENT

1400 CENTREPARK BLVD
3RD & 4TH FLOORS
WEST PALM BEACH, FL 33401

PROJECT NUMBER CP25

REVISIONS

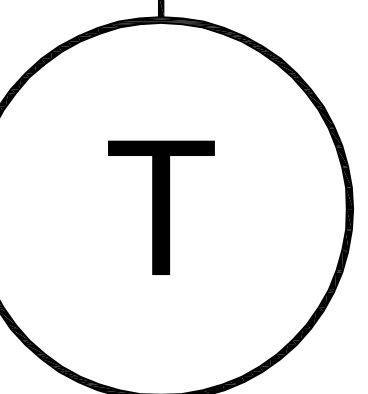
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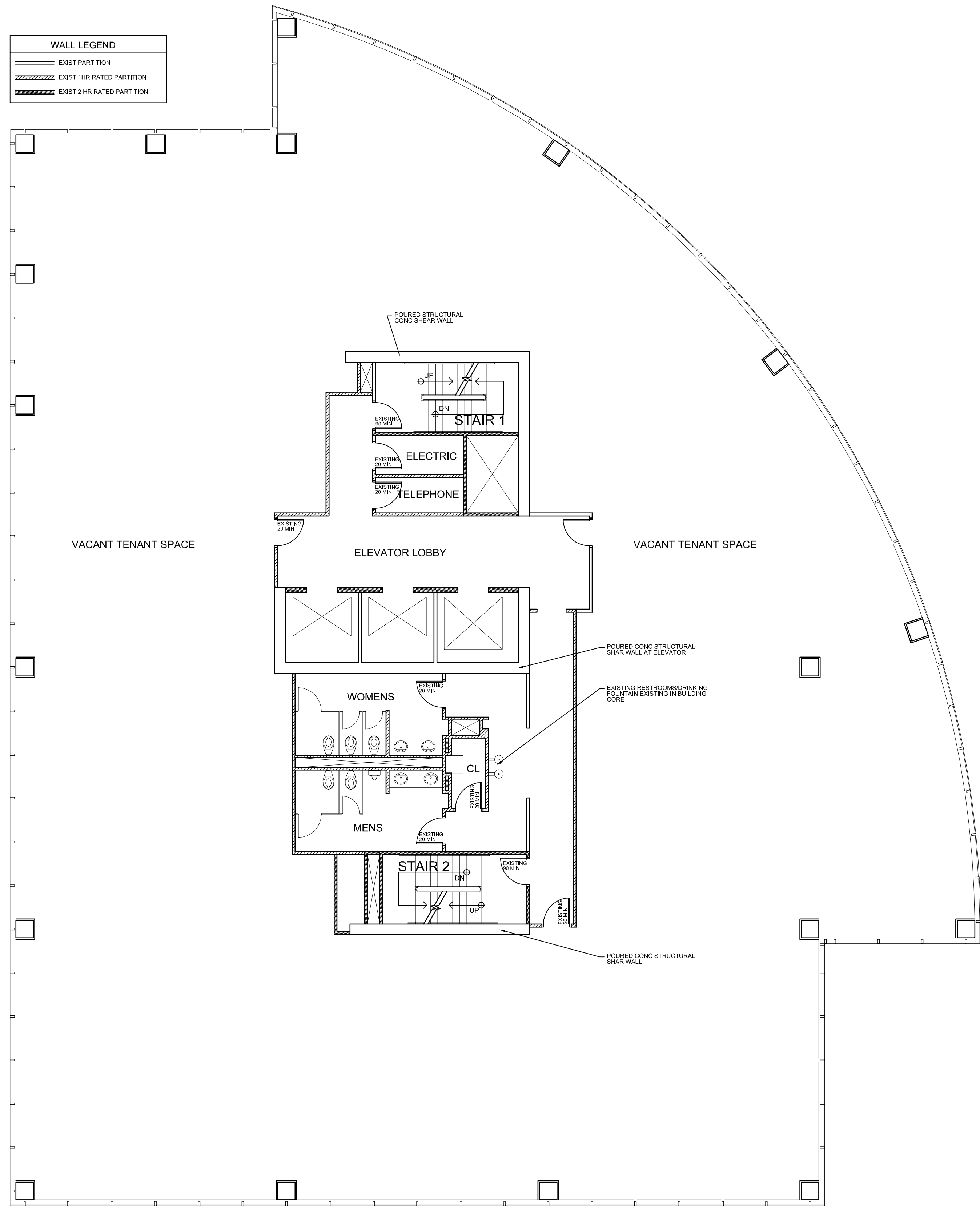
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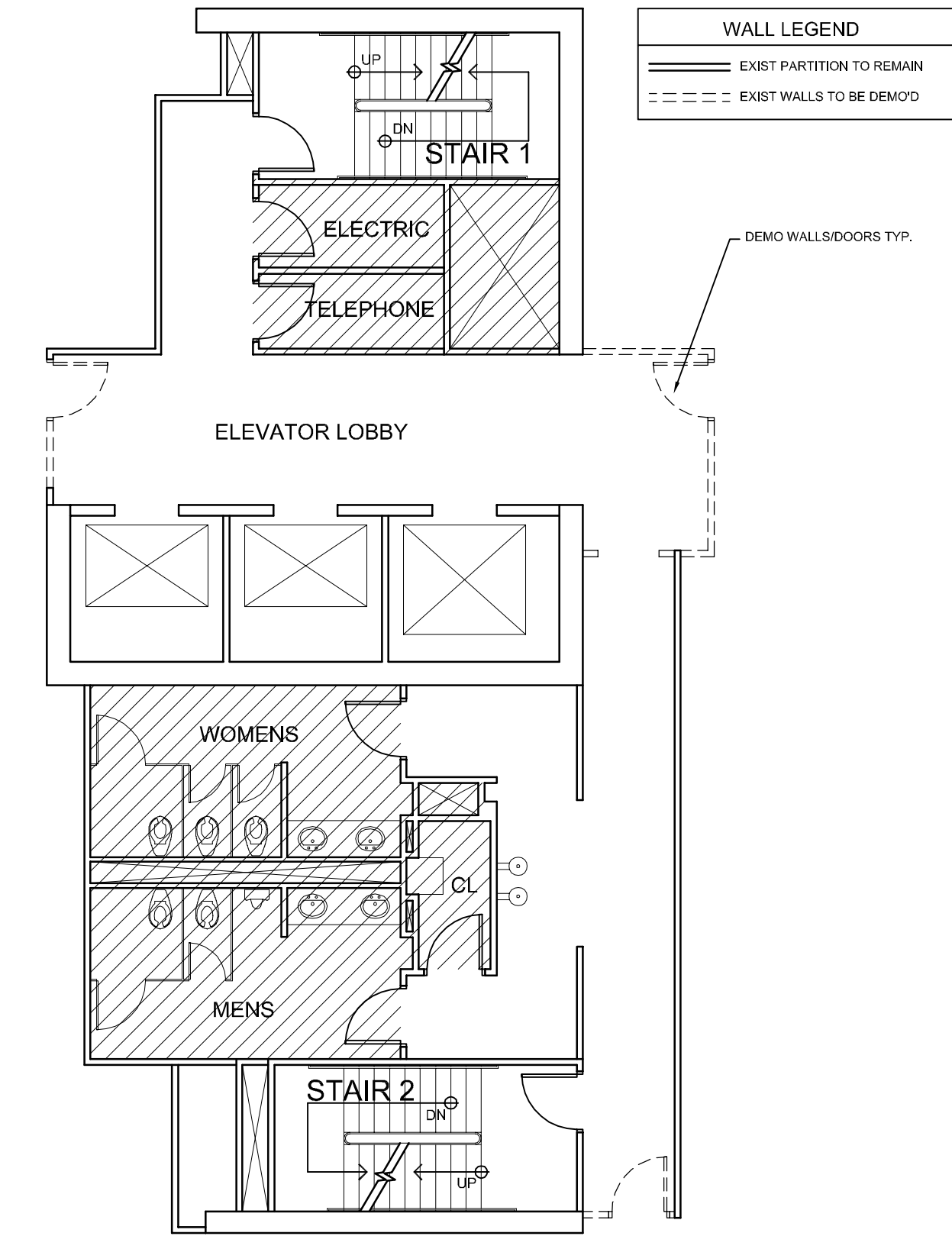




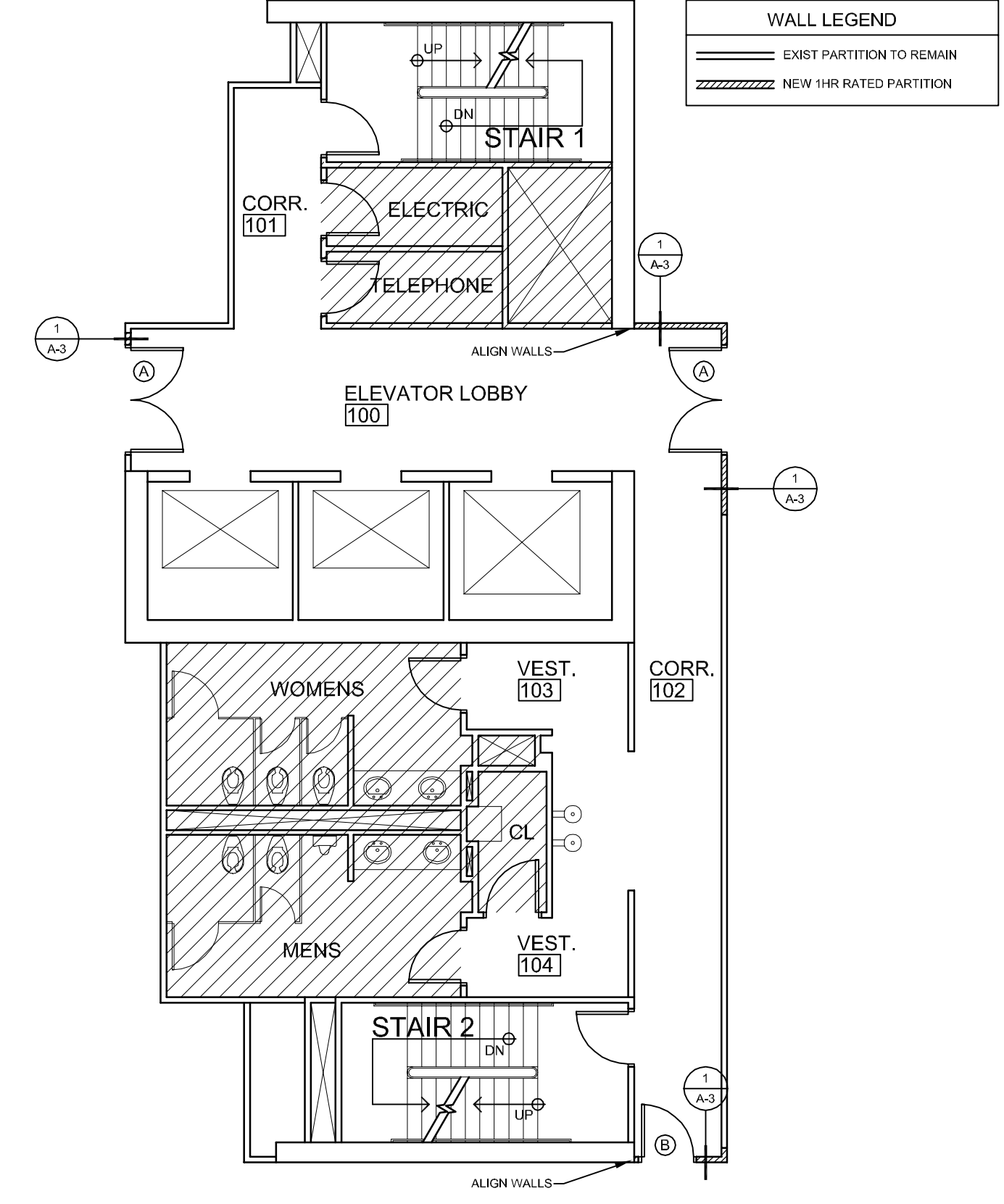
1 3RD (EXISTING) FLOOR PLAN
1/8" = 1'-0"

- ALL 3RD FLOOR WALLS/DOORS ARE EXISTING AS PER EXISTING FLOOR PLAN 1/A-1
- TOILET ROOMS ARE EXISTING IN COMMON AREA CORRIDOR AS PER FLOOR PLAN 1/A-1
- DRINKING FOUNTAIN IS EXISTING IN COMMON AREA CORRIDOR AS PER FLOOR PLAN 1/A-1

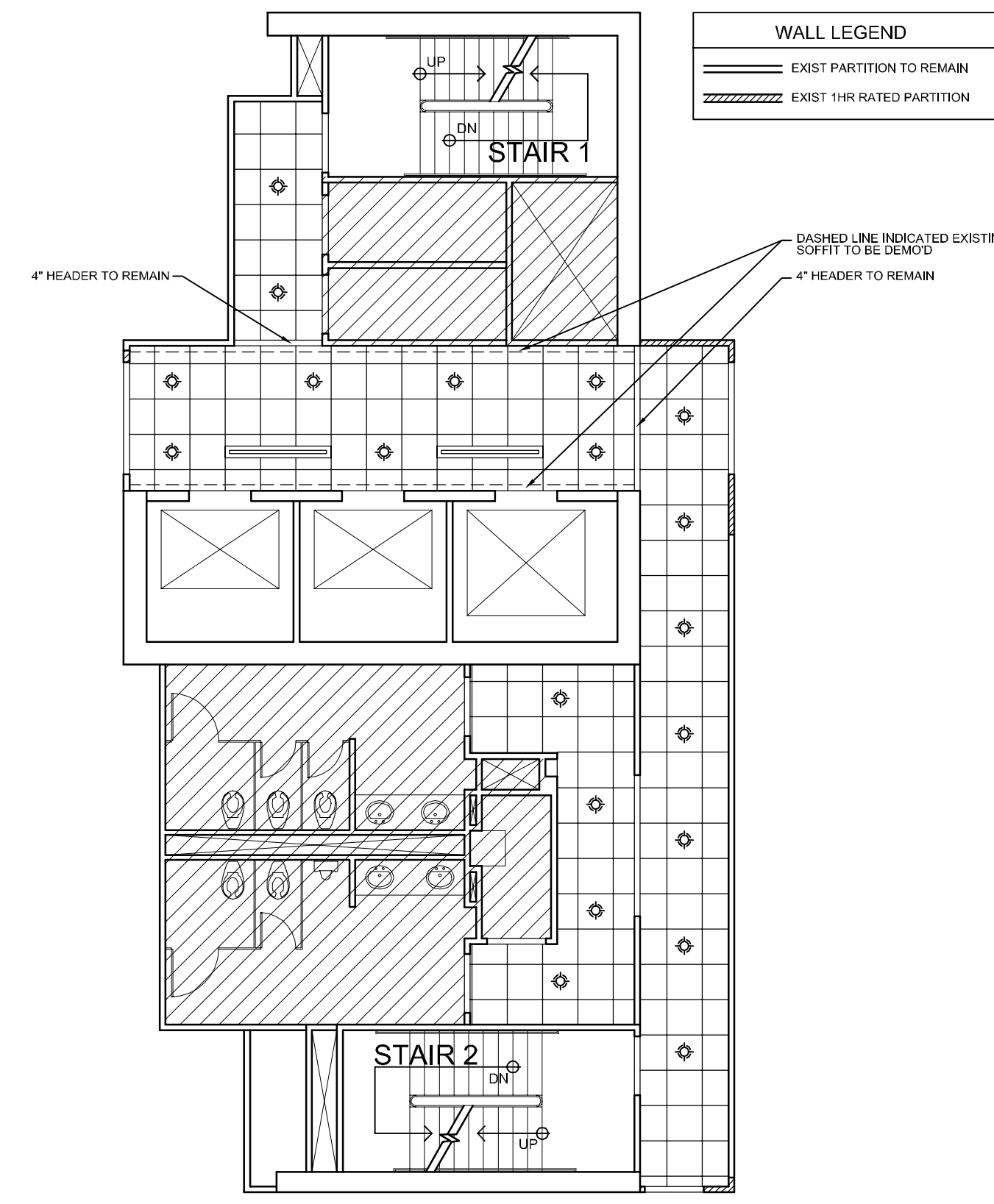
2 EXISTING NOTES



3 3RD (DEMO) FLOOR PLAN
1/8" = 1'-0"



4 3RD (PROPOSED) FLOOR PLAN
1/8" = 1'-0"



5 3RD (PROPOSED) CEILING PLAN
1/8" = 1'-0"

- DEMO EXISTING HARD/SUSPENDED CEILING SYSTEM/LIGHTS
 - REMOVE ALL EXISTING CARPET
 - REMOVE PLASTER/STONE/MIRRORS/WALL COVERING/CROWN MOULDING FROM WALL
 - REMOVE ALL WALL SCONCES (REMOVE WIRING BACK TO PANEL/PATCH HOLES)
 - STAIN EXISTING DOORS TO MATCH BUILDING STANDARD (REPLACE ALL HARDWARE WITH BUILDING STANDARD/PAIN'T FRAMES)
 - PROVIDE CLEAR COAT AT ALL EXISTING WOOD DOORS AFTER TOUCH UP AND ANY NEW STAINED WOOD
 - CORRIDOR TO RECEIVE NEW CARPET/WALL COVERING/WOOD BASE (BASE PROFILE TO MATCH RENOVATED FLOORS)
 - PROVIDE NEW CEILING GRID/TILE/LIGHTS AS PER PROPOSED CEILING PLAN (5/4-1)/CEILING HEIGHTS TO MATCH EXISTING
 - ELEVATOR WALL TO RECEIVE WOOD PANELS (SEE ELEVATION)
 - ALL HVAC GRILLS TO BE REPLACED WITH BUILDING STANDARD
 - ALL LIFE SAFETY DEVICES TO BE REPLACED WITH NEW BUILDING STANDARD DEVICES
 - REPLACE ALL EXIST SIGN'S WITH BUILDING STANDARD LCD "CEILING HUNG"
 - ALL SPRINKLER HEADS TO BE CONCEALED WHITE AND CENTERED IN CEILING
 - CONTRACTOR RESPONSIBLE FOR PROTECTION OF ALL EXISTING BUILDING SYSTEMS
 - CONTRACTOR TO TOUCH UP AND REPAIR WALLS/DOORS AS NECESSARY
 - CONTRACTOR TO VISIT BUILDING ENGINEER TO DETERMINE BUILDING STANDARD FINISHES
 - CONTRACTOR TO VISIT COMPLETED FLOORS TO UNDERSTAND DESIGN INTENT
 - CONTRACTOR TO COORDINATE AND PAY FOR ELEVATOR SERVICE COMPANY TO REMOVE AND REPLACE CALL BUTTONS AND OTHER ELEVATOR DEVICES THAT ARE TO BE REMOVED DURING WORK
- * STRUCTURES UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL COMPLY WITH NFPA 241
- * ACCUMULATIONS OF COMBUSTIBLE WASTE AND DUST DEBRIS SHALL BE REMOVED FROM THE STRUCTURE AND ITS IMMEDIATE VICINITY AT THE END OF THE SHIFT OR MORE FREQUENTLY AS NECESSARY FOR SAFE OPERATIONS
- * EXIT AND ACCESS CORRIDORS ARE TO BE MAINTAINED AND REMAIN CLEAR AND UNOBSTRUCTED
- * THE MAIN BUILDINGS FIRE PROTECTION SYSTEMS SHALL BE MAINTAINED AND OPERATIONAL AT ALL TIMES

6 DEMO/PROPOSED NOTES

Bd

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AA26001615

ALLEN S BIRSE
AR94279

CORRIDOR IMPROVEMENT
1400 CENTRE PARK BLVD
3RD & 4TH FLOORS
WEST PALM BEACH, FL 33401
PROJECT NUMBER CP25

REVISIONS

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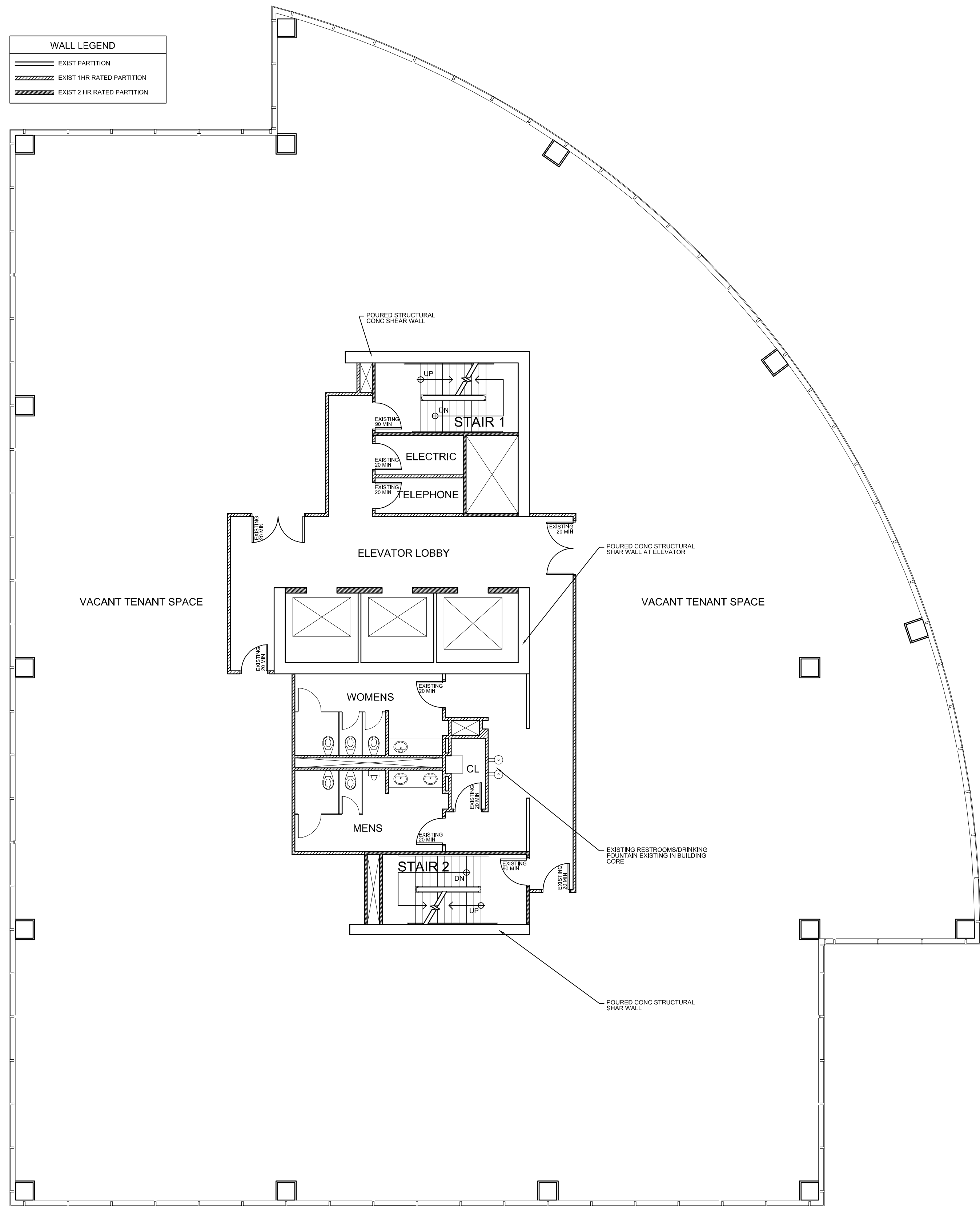
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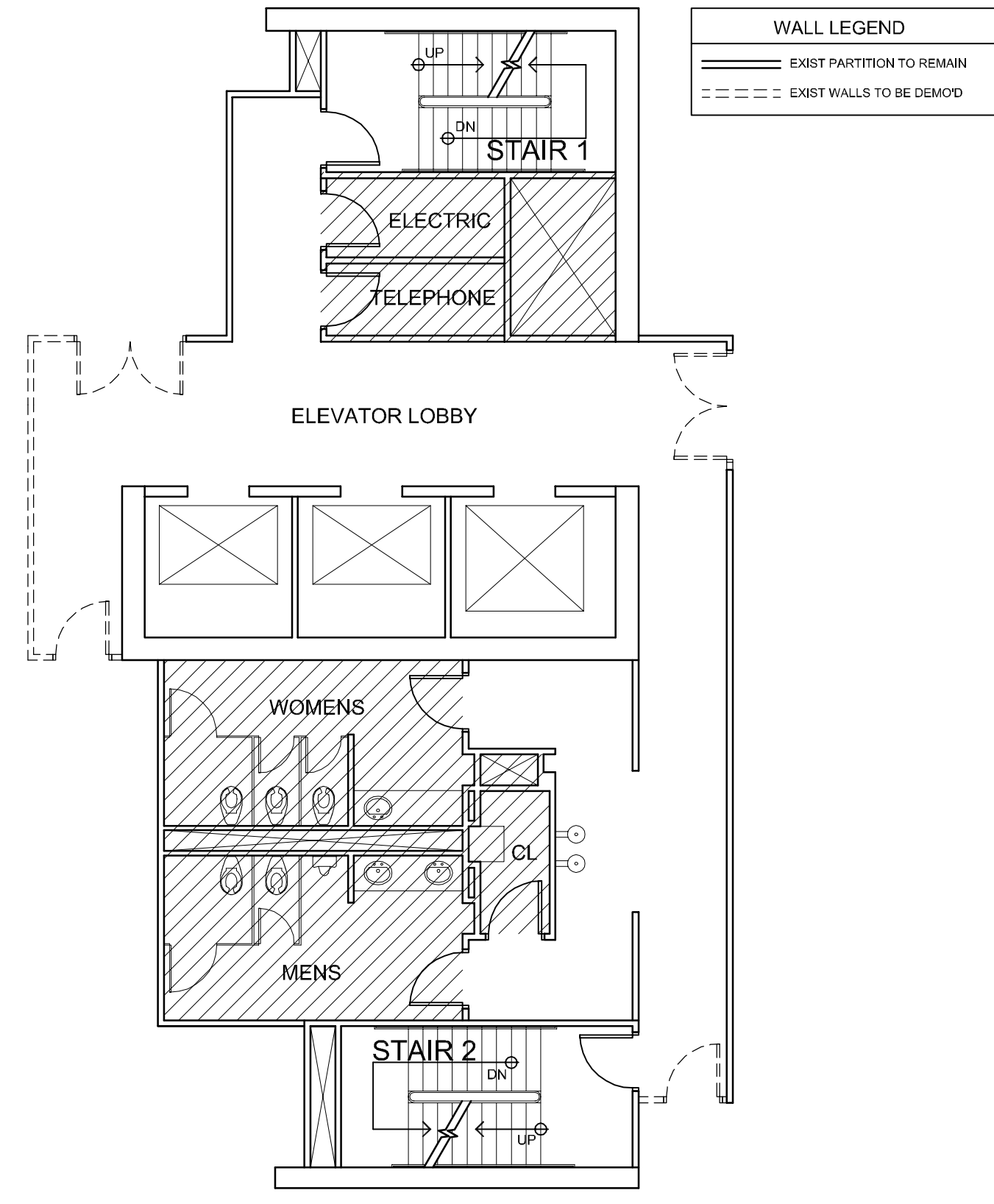
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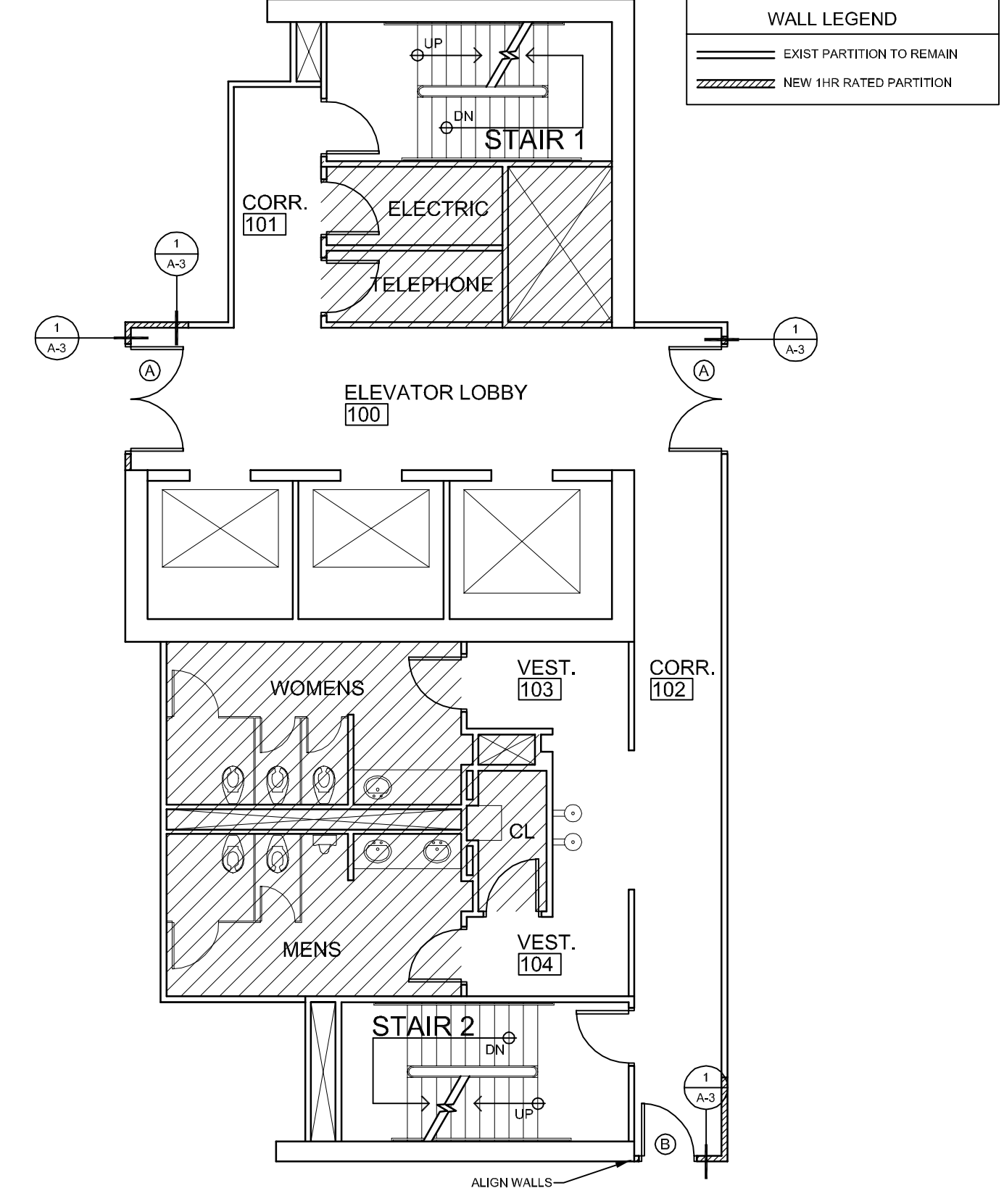
1 4TH (EXISTING) FLOOR PLAN
1/8" = 1'-0"

- ALL 4TH FLOOR WALLS/DOORS ARE EXISTING AS PER EXISTING FLOOR PLAN 1/A-1
- TOILET ROOMS ARE EXISTING IN COMMON AREA CORRIDOR AS PER FLOOR PLAN 1/A-1
- DRINKING FOUNTAIN IS EXISTING IN COMMON AREA CORRIDOR AS PER FLOOR PLAN 1/A-1

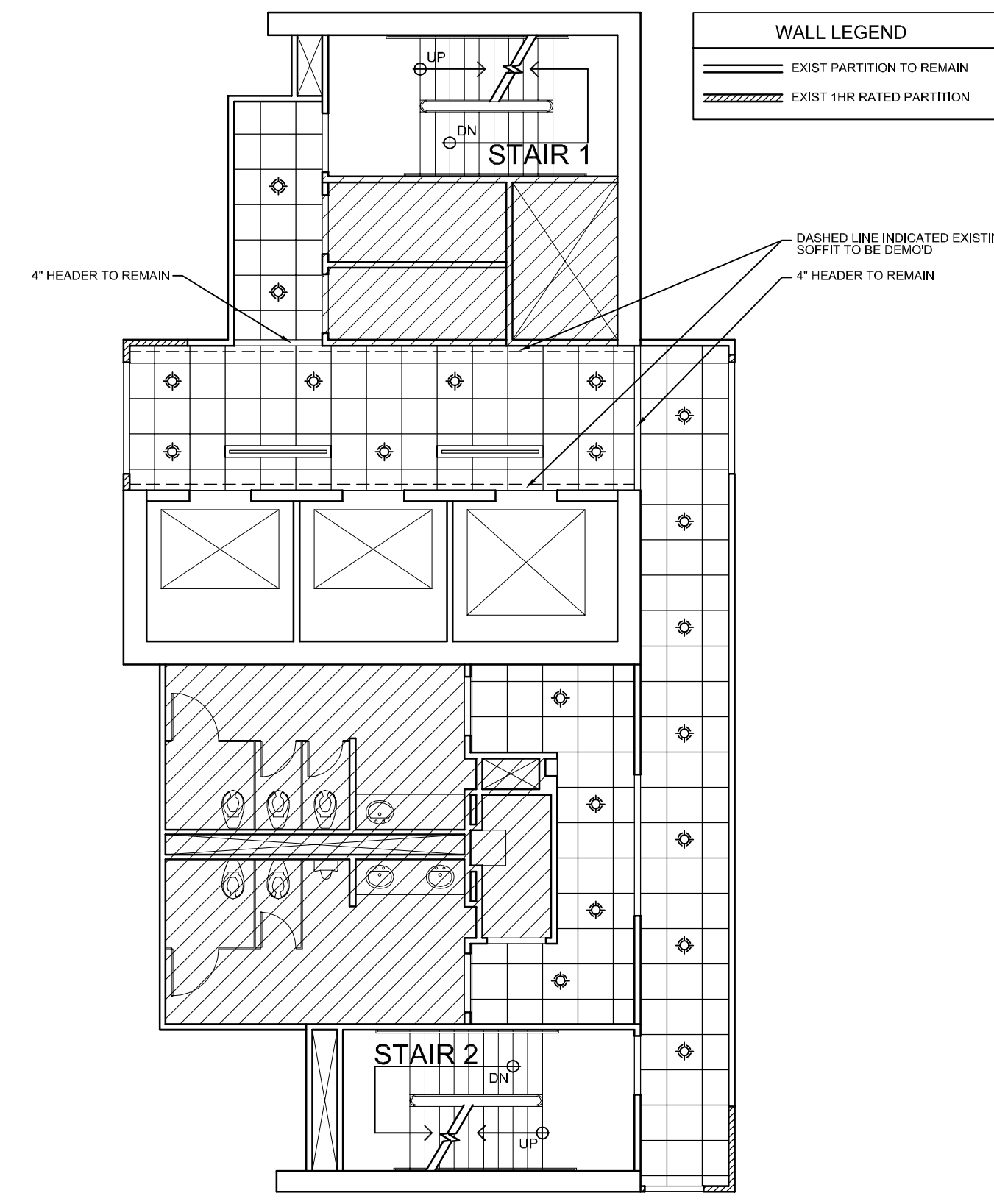
2 EXISTING NOTES



3 4TH (DEMO) FLOOR PLAN
1/8" = 1'-0"



4 4TH (PROPOSED) FLOOR PLAN
1/8" = 1'-0"



5 4TH (PROPOSED) CEILING PLAN
1/8" = 1'-0"

- DEMO EXISTING HARD/SUSPENDED CEILING SYSTEM/LIGHTS
 - REMOVE ALL EXISTING CARPET
 - REMOVE PLASTER/STONE/MIRROR/WALL COVERING/CROWN MOULDING FROM WALL
 - REMOVE ALL WALL SCONCES (REMOVE WIRING BACK TO PANEL/PATCH HOLES)
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- * THE MAIN BUILDINGS FIRE PROTECTION SYSTEMS SHALL BE MAINTAINED AND OPERATIONAL AT ALL TIMES

6 DEMO/PROPOSED NOTES

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AR94279

CORRIDOR IMPROVEMENT
1400 CENTREPARK BLVD
3RD & 4TH FLOORS
WEST PALM BEACH, FL 33401
PROJECT NUMBER CP25

REVISIONS

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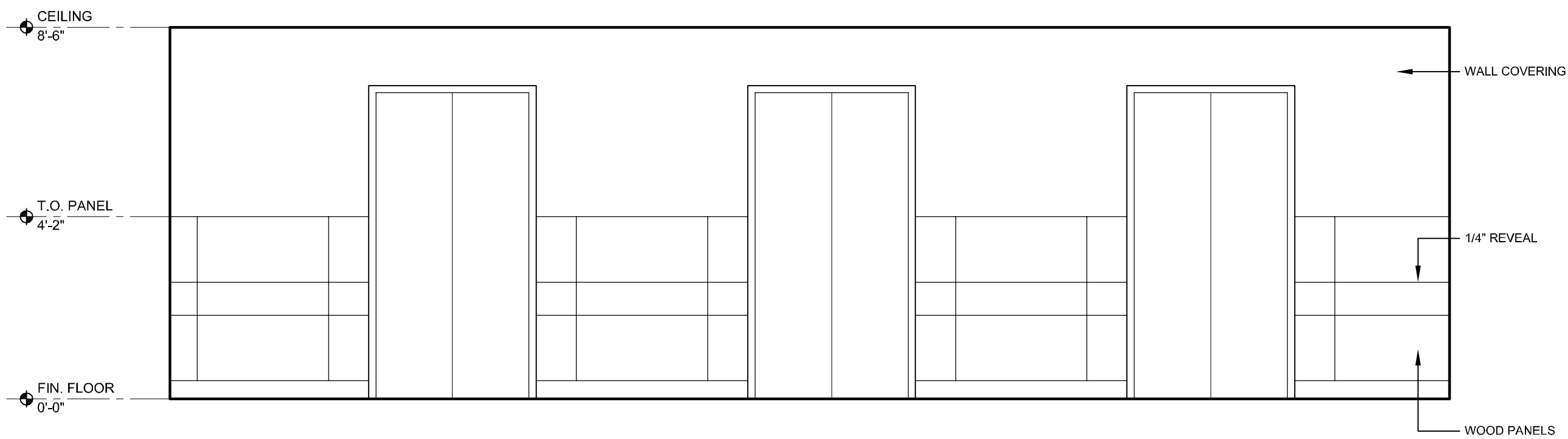
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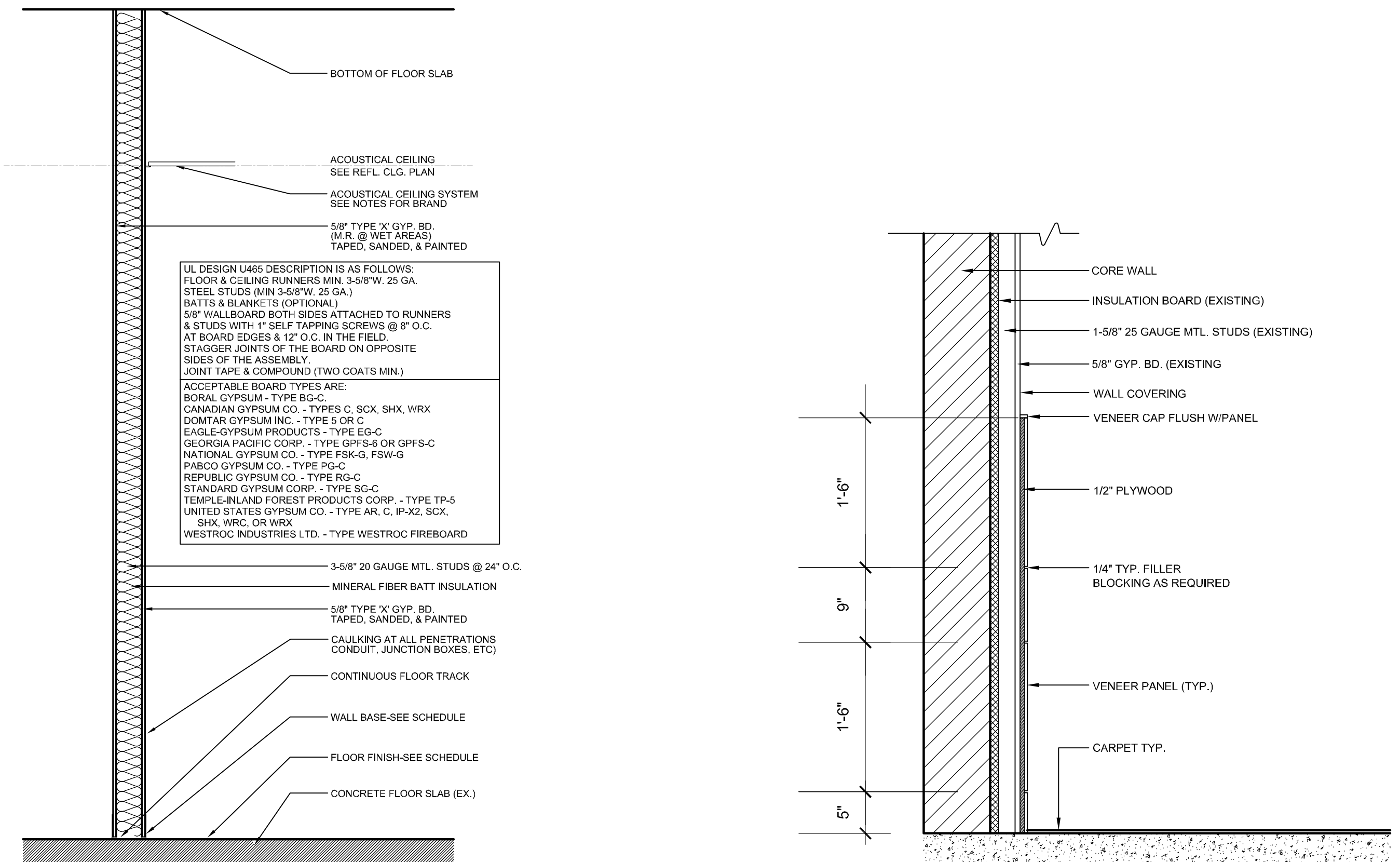
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A-2

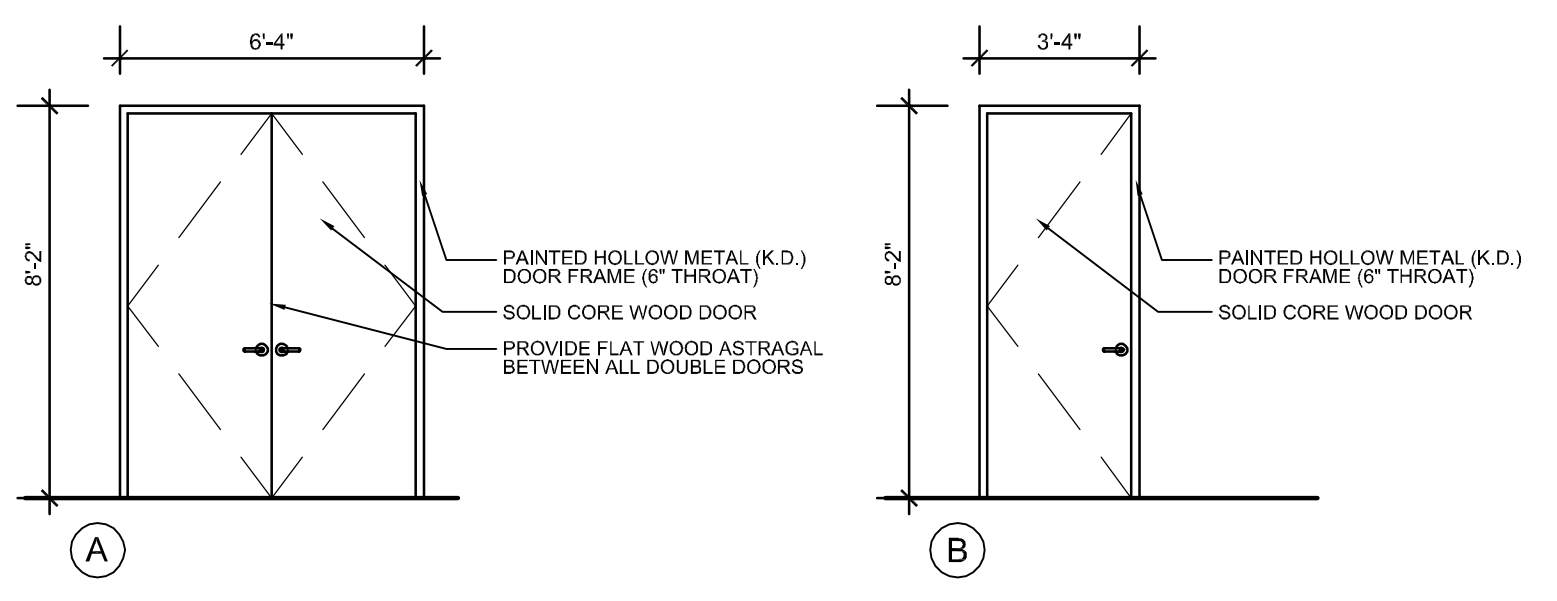


1 ELEVATION
3/8" = 1'-0"



2 WALL TYPE
3/4" = 1'-0"

3 WOOD PANEL DETAIL
1" = 1'-0"

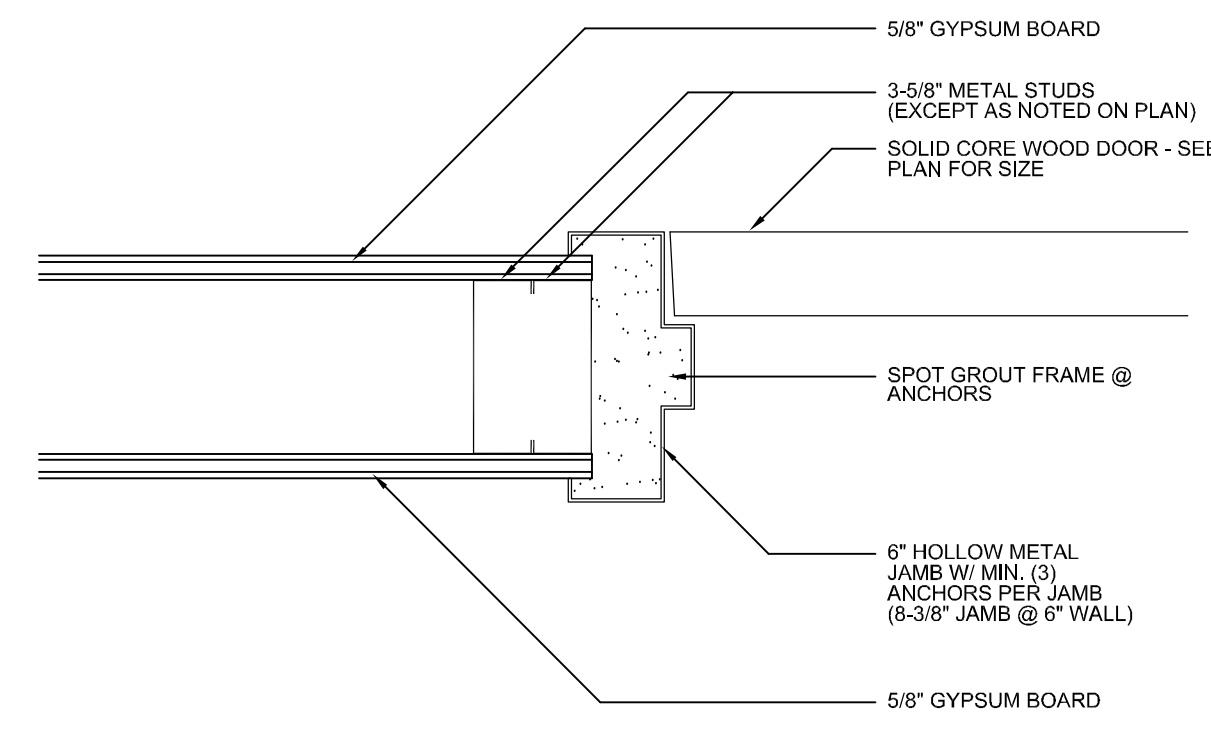


* ALL NEW EXTERIOR TENANT DOORS TO HAVE 6" SOLID TO RAIL (NO THROUGH BOLTING)

DOOR SCHEDULE

MARK	LABEL	DOOR					FRAME SIZE/MAT.	REMARKS
		MAT	TYPE	SIZE				
				W	H	T		
A	20 MINUTE RATED	WD	FLUSH	30"	80"	1-3/4"	2" HM	TENANT ENTRY DOOR
B	20 MINUTE RATED	WD	FLUSH	30"	80"	1-3/4"	2" HM	TENANT ENTRY DOOR

4 DOORS
1/4" = 1'-0"



5 JAMB DETAIL
3" = 1'-0"

- FINISH SELECTIONS**
- CARPET
MANUFACTURER: KRUAUS
STYLE: 1830 FRONTIER
COLOR: 94 CANYON GORGE
 - WALLCOVERING
MANUFACTURER: SEABROOK
STYLE: EPOCH SHIMMER
COLOR: PATINA #2SH11
 - WOOD VENEER
MANUFACTURER: EDGE-MATE
COLOR: RED OAK #458
(CELAR COAT SEALER, NO STAIN)
(GRAIN TO RUN VERTICALLY)
 - ACOUSTIC CEILING TILE
MANUFACTURER: ARMSTRONG
COLOR: DUNE #1852 (BEVELED REGULAR WHITE)
(9/16" EXPOSED TEE SYSTEM, WHITE)
 - PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR: SOFTER TAN #SW6141
- PROVIDE TRANSITION STRIPS AT DIFFERING FLOOR TYPES
 - ALL INTERIOR FINISHES TO HAVE A MIN CLASS "B" FLAME SPREAD CLASSIFICATION
 - WOOD VENEER PANELS TO HAVE CLASS "B" ; FLAME SPREAD INDEX 26-75 SMOKE DEVELOPED SPREAD INDEX 0-450
 - ALL INTERIOR FLOOR FINISH SHALL BE NOT LESS THAN CLASS I
 - SAMPLES ARE REQUIRED TO BE APPROVED PRIOR TO ORDERING/ OWNER TO APPROVE FINISH SCHEDULE PRIOR TO ORDERING

6 FINISHES

Bd

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REVISIONS

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A-3

HVAC PROJECT SPECIFIC NOTES:

CONTRACTOR IS TO INSPECT ALL EXISTING DUCTWORK SHOWN ON THESE PLANS AS REMAINING. REPAIR AS REQUIRED ANY DAMAGED DUCTWORK OR INSULATION. WHERE DUCTWORK IS SHOWN TO BE PARTIALLY REMOVED, CAP, SEAL, AND INSULATE TO MATCH EXISTING METHODS AND MATERIALS. EXISTING EQUIPMENT WHICH IS REMAINING IS TO BE INSPECTED, ADJUSTED AND REPAIRED WHERE NECESSARY.

ABBREVIATIONS

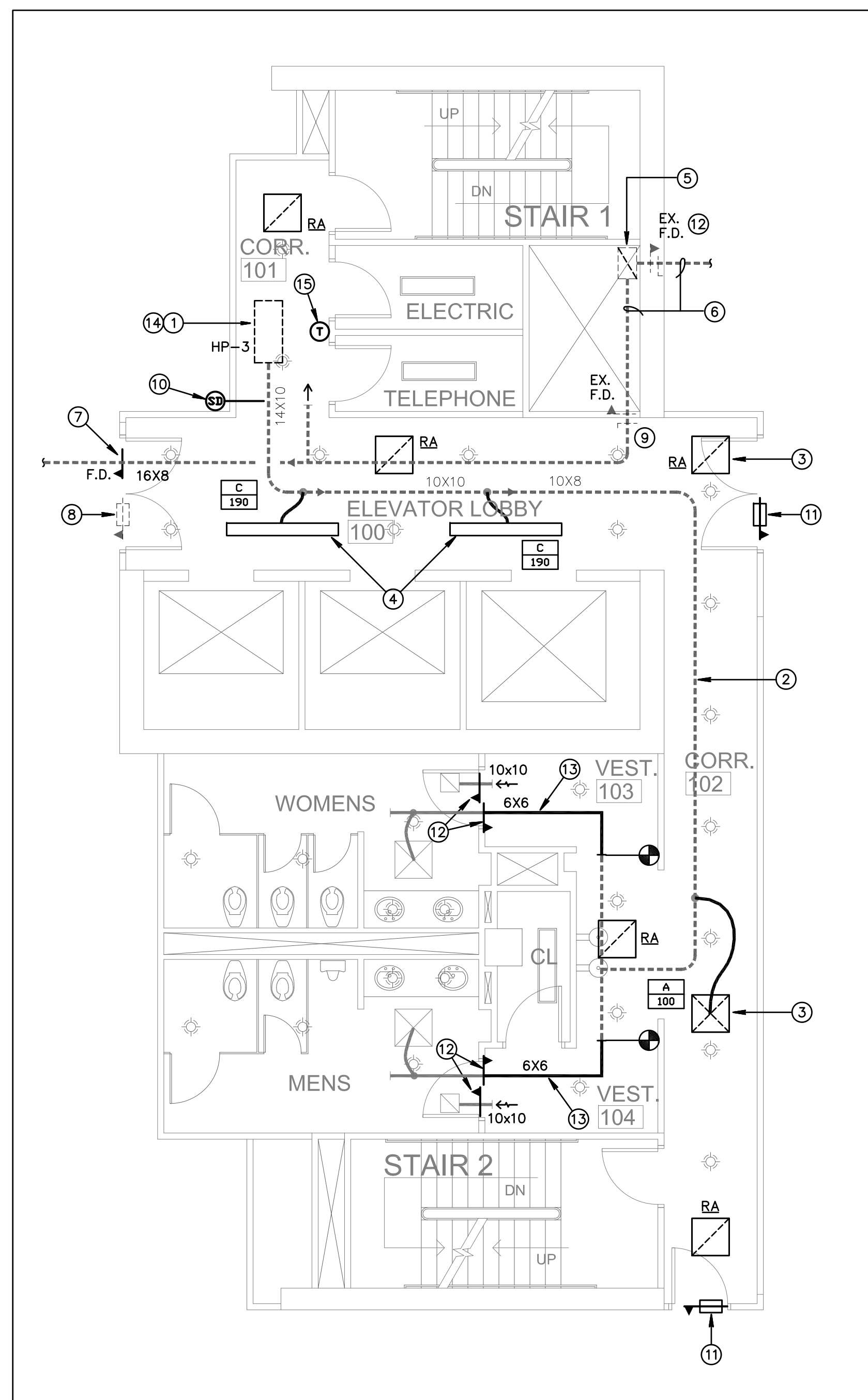
CFM - CUBIC FEET PER MINUTE.
 O/A - OUTSIDE AIR.
 S/A - SUPPLY AIR.
 R/A - RETURN AIR.
 MVD - MANUAL VOLUME DAMPER
 CWS - CONDENSER WATER SUPPLY
 CWR - CONDENSER WATER RETURN
 EX - EXISTING

LEGEND

- ☒ SUPPLY AIR DIFFUSER
- ☒ RETURN, EXHAUST OR TRANSFER AIR
- MANUAL VOLUME DAMPER
- ⊖ THERMOSTAT
- ⤵ FLEXIBLE DUCT, U.L. CLASS 1
- DUCTWORK NOT SHOWN TO SCALE
- EXISTING DUCT TO REMAIN
- ➔ DUCT TRANSITION
- ⤵ DUCT TAKE-OFF WITH VOLUME DAMPER
- 150 DIFFUSER OR REGISTER TYPE/CFM
- ▲ FIRE DAMPER, STYLE B
- SD DUCT SMOKE DETECTOR WITH AUDIBLE & VISUAL ALARMS
- ⊕ CONNECTION TO EXISTING

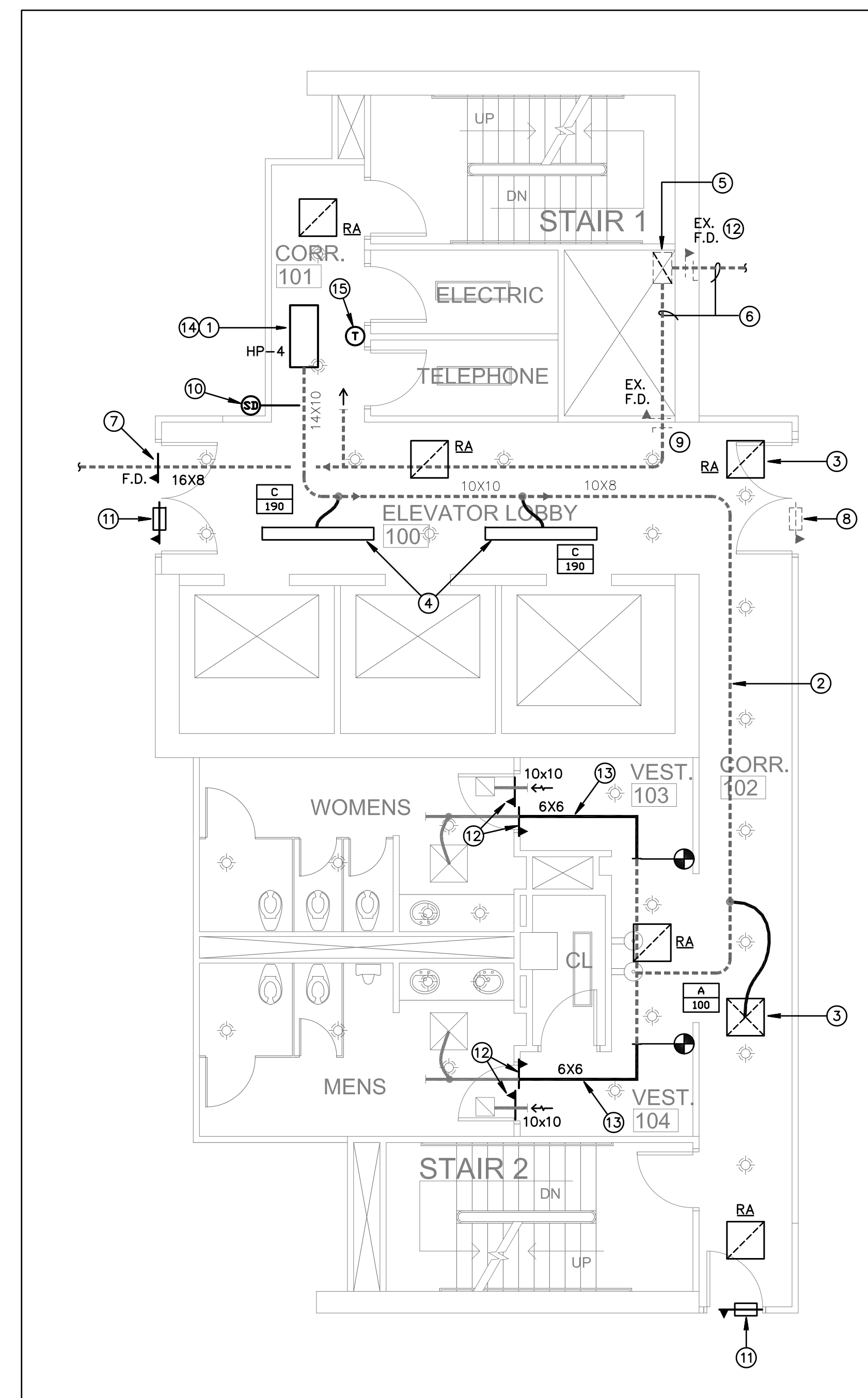
DRAWING KEYNOTES:

- 1 EXISTING HEAT PUMP A/C UNIT TO REMAIN. PROVIDE ANY REQUIRED MAINTENANCE, THOROUGHLY CLEAN THE UNIT INSIDE AND OUT, INCLUDING THE COILS AND ALL OTHER COMPONENTS, USING A VACUUM AND APPROPRIATE NON-CORROSIVE MATERIALS. STRAIGHTEN ANY BENT COIL FINS AND REPLACE ANY MISSING HARDWARE. PROVIDE NEW FILTER AND VERIFY PROPER OPERATION.
- 2 EXISTING SUPPLY AIR DUCT ABOVE CEILING TO REMAIN.
- 3 PROVIDE NEW GRILLES IN NEW CEILING AS SHOWN, CONNECT S/A GRILLES TO EXISTING S/A DUCT AND PROVIDE ANY DUCT MODIFICATIONS AS REQUIRED. (TYPICAL)
- 4 EXISTING LINEAR SLOT S/A DIFFUSERS TO BE REPLACED.
- 5 EXISTING PRE-CONDITIONED OUTSIDE AIR DUCT RISER FROM ROOFTOP A/C UNIT, TO REMAIN AS IS.
- 6 EXISTING OUTSIDE AIR DUCT ABOVE CEILING TO REMAIN.
- 7 PROVIDE FIRE DAMPER WHERE OUTSIDE AIR DUCT PENETRATES NEW CORRIDOR WALL.
- 8 EXISTING 14X8 TRANSFER AIR OPENING WITH FIRE DAMPER ABOVE CEILING TO REMAIN AS IS. PROVIDE PER UNIT ADD ALTERNATE PRICE TO REPLACE ANY DEFECTIVE DAMPERS.
- 9 EXISTING FIRE DAMPER AND MANUAL VOLUME DAMPER TO REMAIN AS IS. PROVIDE ADD ALTERNATE PER UNIT PRICE TO REPLACE ANY MISSING OR DEFECTIVE DAMPERS.
- 10 REMOVE EXISTING FIRESTAT AND PROVIDE NEW DUCT SMOKE DETECTOR AS SHOWN. FAN COIL UNIT IS TO BE SHUTDOWN UPON DETECTION OF SMOKE.
- 11 EXISTING 14X8 TRANSFER AIR OPENING WITH FIRE DAMPER ABOVE CEILING TO BE RE-LOCATED INTO NEW WALL AS SHOWN. PROVIDE ALTERNATE PRICE TO REPLACE.
- 12 PROVIDE FIRE DAMPER AS SHOWN. ALL WORK INSIDE BATHROOMS IS PROVIDED UNDER SEPARATE PERMIT.
- 13 EXTEND EXISTING S/A DUCT TO NEW FIRE DAMPER.
- 14 PROVIDE ADD ALTERNATE PRICE TO REPLACE HEAT PUMP A/C UNIT PER SCHEDULE. REPLACE ALL ASSOCIATED DEVICES INCLUDING VALVES, UNIONS, FLEXIBLE PIPING AND DRAIN PAN. SEE DETAIL.
- 15 REMOVE EXISTING THERMOSTAT IN THIS LOCATION AND PROVIDE NEW THERMOSTAT PER BUILDING STANDARDS. COORDINATE ALL DETAILS AND REPROGRAMMING OF BMS WITH THE BUILDING ENGINEER AS NEEDED.



PROPOSED HVAC 3RD FLOOR PLAN

SCALE: 3/16" = 1'-0"



PROPOSED HVAC 4TH FLOOR PLAN

SCALE: 3/16" = 1'-0"

PROJ.# 11-017
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CORRIDOR IMPROVEMENT

1400 CENTREPARK BLVD
 3RD & 4TH FLOORS
 WEST PALM BEACH, FL 33401
 PROJECT NUMBER CP25

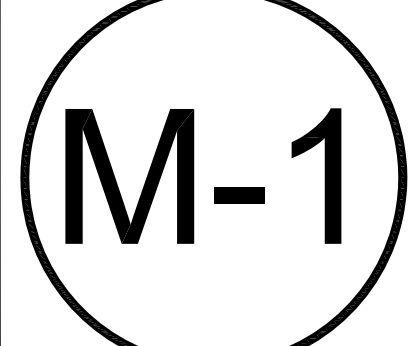
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 AA26001615

MECHANICAL GENERAL NOTES:

- THESE DRAWINGS ARE DIAGRAMMATIC. ALL OFFSETS, FITTINGS, TRANSITIONS AND ACCESSORIES ARE NOT SHOWN. THE CONTRACTOR SHALL INCLUDE IN HIS BID ALL ITEMS REQUIRED TO PROVIDE A COMPLETE AND OPERATIONAL SYSTEM. DO NOT SCALE DRAWINGS FOR INSTALLATION.
- ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER BY LICENSED CONTRACTORS.
- THE CONTRACTOR SHALL OBTAIN AT HIS EXPENSE ALL NECESSARY FEES PERMITS, AND TESTS.
- ALL WORK SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES. NO CONTRACTOR SHALL BID UNLESS FAMILIAR WITH THESE CODES.
- CORRECTION OF DEFECTS TO THIS WORK SHALL BE MADE PROMPTLY WITHOUT CHARGE TO THE OWNER. REPAIR AND REPLACEMENT FOR DAMAGE CAUSED BY THIS CONTRACTOR SHALL BE MADE PROMPTLY WITHOUT CHARGE TO THE OWNER.
- ALL WORK OF THIS TRADE SHALL BE COORDINATED WITH ALL OTHER TRADES TO AVOID ANY INTERFERENCES THAT MAY DELAY PROGRESS OF CONSTRUCTION.
- THE CONTRACTOR SHALL INCLUDE THE WORK OF ALL REQUIRED SUB-CONTRACTORS, SUCH AS ELECTRICAL, INSULATING, TEST & BALANCE, ETC., AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM.
- EQUIPMENT SHALL BEAR A U.L. OR OTHER RECOGNIZED LABEL, NAMEPLATES, WIRING DIAGRAMS, AND ENERGY RATINGS AS APPLICABLE.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND ACCESSORIES TO BE READILY ACCESSIBLE FOR SERVICING, TESTING, BALANCING, AND REPLACEMENT.
- THE CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE AGAINST DEFECTS IN ALL MATERIALS AND WORKMANSHIP FOR ONE YEAR FROM ACCEPTANCE, WITH FOUR ADDITIONAL YEARS OF WARRANTY ON COMPRESSORS.
- THE CONTRACTOR SHALL PROVIDE THREE COPIES OF SUBMITTAL DATA, SHOP DRAWINGS, AND AT COMPLETION OF THE PROJECT TWO SETS OF OPERATION AND MAINTENANCE MANUALS FOR ALL PROJECT ITEMS.
- PROVIDE ALL CONTROLS, STARTERS, CONTROL WIRING, DISCONNECTS, AND OTHER ELECTRICAL EQUIPMENT AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM.
- THE HVAC CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, ON SITE, A DETAILED AS-BUILT PLAN SHOWING ACTUAL INSTALLATIONS. THE CONTRACTOR IS TO PROVIDE A NEATLY DRAWN COMPREHENSIVE AS-BUILT SET OF PLANS UPON COMPLETION, WHICH ARE SUITABLE FOR SUBMISSION TO THE BUILDING DEPARTMENT AND TO THE OWNER.
- PRIOR TO ACCEPTANCE BY THE OWNER THE SYSTEMS SHALL BE TESTED AND BALANCED BY AN INDEPENDENT NEBB CERTIFIED T&B CONTRACTOR EXPERIENCED WITH THIS SYSTEM, AND CERTIFIED T&B REPORTS SUBMITTED.
- SUPPLY AND INSTALL DUCT MOUNTED SMOKE DETECTORS AS REQUIRED.
- COORDINATE LOCATION OF CEILING DIFFUSERS, GRILLES AND REGISTERS IN THE FIELD WITH LIGHTS AND ARCHITECTURAL ELEMENTS.
- ALL GRILLES TO BE TITUS OR METALLAIRE UNLESS OTHERWISE NOTED, SIZES AS SHOWN ON PLANS, ALUMINUM CONSTRUCTION.
- ALL DUCT WORK SHALL BE BUILT AND INSTALLED IN ACCORDANCE WITH SMACNA STANDARDS AND LOCAL BUILDING CODES.
- ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS.
- ALL OUTSIDE AIR DUCTWORK SHALL BE SHEETMETAL WITH EXTERIOR R-6 INSULATION. PROVIDE BLANKET TYPE INSULATION IN CONCEALED SPACES, AND BOARD TYPE IN EXPOSED AREAS.
- ALL EXHAUST AIR DUCT SHALL BE GALVANIZED SHEET METAL CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH ASHRAE AND SMACNA STANDARDS.
- FLEXIBLE DUCT, WHERE SHOWN, SHALL BE U.L. CLASS 1, R-6 INSULATION.
- LOW PRESSURE SUPPLY AND RETURN DUCTWORK IS RIGID DUCTBOARD WITH VAPOR BARRIER, 1 IN. THICK, R-4.2 INSULATION, EXCEPT AS NOTED.
- PROVIDE ELBOW TURNING VANES IN ALL RECTANGULAR DUCTS WHERE TURNS ARE GREATER THAN 45 DEGREES.
- PROVIDE BACKDRAFT DAMPERS FOR ALL EXHAUST FANS.
- VERIFY ALL THERMOSTAT LOCATIONS WITH THE ARCHITECT.
- CONDENSATE DRAIN PIPING IS COPPER WITH SOLDERED FITTINGS AND ARMAFLEX INSULATION.

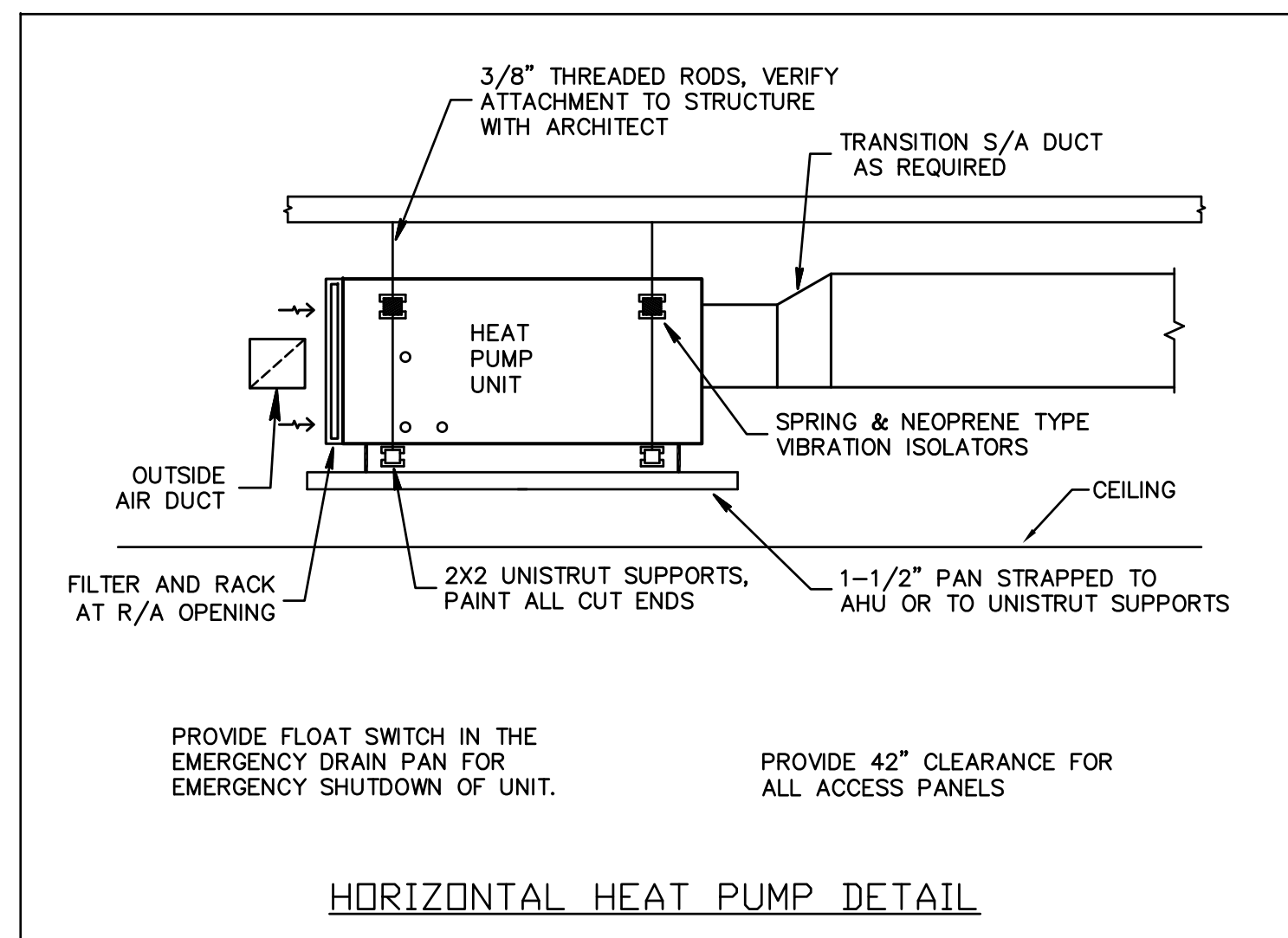
GENERAL DEMOLITION NOTES

- UNLESS OTHERWISE NOTED, ALL EQUIPMENT AND DUCTWORK IN THE PROJECT AREA WHICH IS NOT INDICATED TO REMAIN, IS TO BE REMOVED. THE CONTRACTOR SHALL INVESTIGATE THE PROJECT AREA PRIOR TO BID TO DETERMINE ALL REQUIRED DEMOLITION.
- EXISTING CONDITIONS SHOWN ON THIS DRAWING ARE TAKEN FROM ORIGINAL DRAWINGS AND FIELD INVESTIGATION. ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO BID. FIELD CONDITIONS SHALL GOVERN.
- DEMOLITION WORK IS NOT SPECIFICALLY IDENTIFIED ON THESE PLANS, AND MAY BE DESCRIBED ON THE ARCHITECTS PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED DEMOLITION WHETHER SHOWN ON THE PLANS OR NOT.
- ALL MECHANICAL SYSTEMS SERVING OTHER SPACES OR FLOORS, THAT RUN THROUGH THE PROJECT AREA SHALL REMAIN ACTIVE DURING CONSTRUCTION, SO AS NOT TO CAUSE ANY DISRUPTION TO THESE OTHER SPACES.
- ALL ITEMS REMOVED UNDER THIS PROJECT SHALL BE DISPOSED OF OR TURNED OVER TO THE OWNER AT THE OWNER'S DISCRETION.
- PROPERLY REMOVE AND DISPOSE OF ALL HVAC DUCTWORK AND AIR DISTRIBUTION DEVICES WHICH ARE TO BE REMOVED. CONSULT WITH OWNER AND OBTAIN THE OWNER'S APPROVAL PRIOR TO DISPOSAL OF REMOVED MATERIAL.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL PIPING AND DUCTS, NEW OR EXISTING, WITHIN THE PROJECT AREA, ARE PROPERLY SUPPORTED.
- ANY UN-USED DUCT OPENINGS ARE TO BE CLOSED, SEALED AND INSULATED WITH MATERIALS AND METHODS TO MATCH EXISTING INSTALLATIONS.

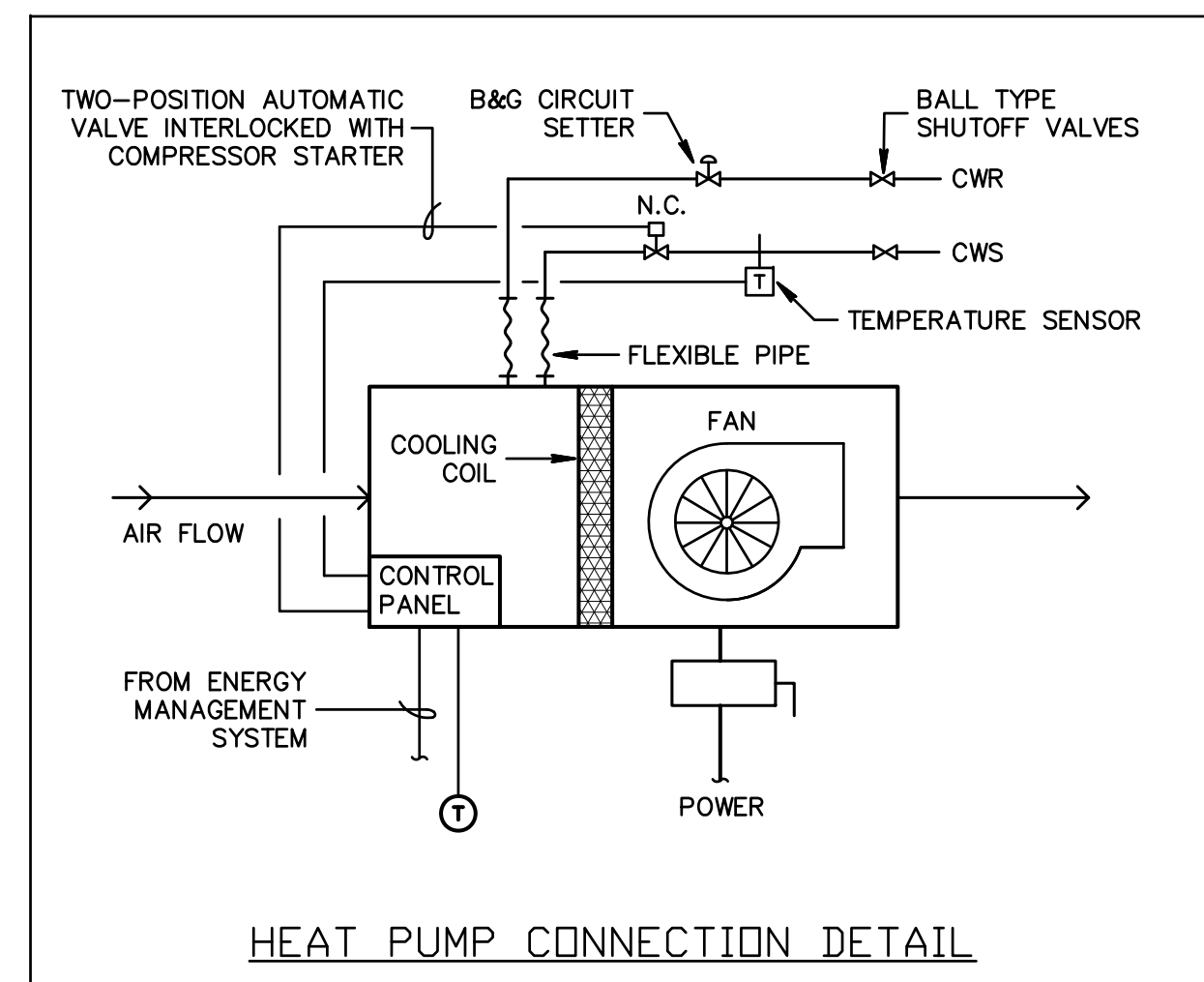
AIR DISTRIBUTION SCHEDULE

MARK	MAKE	MODEL	SIZE	NECK	MATERIAL	BORDER TYPE	MOUNTING TYPE	DAMPER	THROW	FINISH	REMARKS
A	TITUS	TDC-AA	9X9	6"ø	ALUMINUM	3	LAY-IN	AG-100	4 WAY	WHITE	SEE NOTES
B	TITUS	TDC-AA	12X12	8"ø	ALUMINUM	3	LAY-IN	AG-100	4 WAY	WHITE	SEE NOTES
C	TITUS	MLS-38	2 SLOT 3/4"	-	ALUMINUM	1	SURFACE	-	2 WAY	WHITE	SEE NOTES
RA	TITUS	50F	-	22X22	ALUMINUM	3	LAY-IN	AG-15	-	WHITE	SEE NOTES
RB	TITUS	50F	-	14X14	ALUMINUM	1	SURFACE	AG-15	-	WHITE	SEE NOTES
RC	TITUS	50F	-	10X10	ALUMINUM	1	SURFACE	AG-15	-	WHITE	SEE NOTES

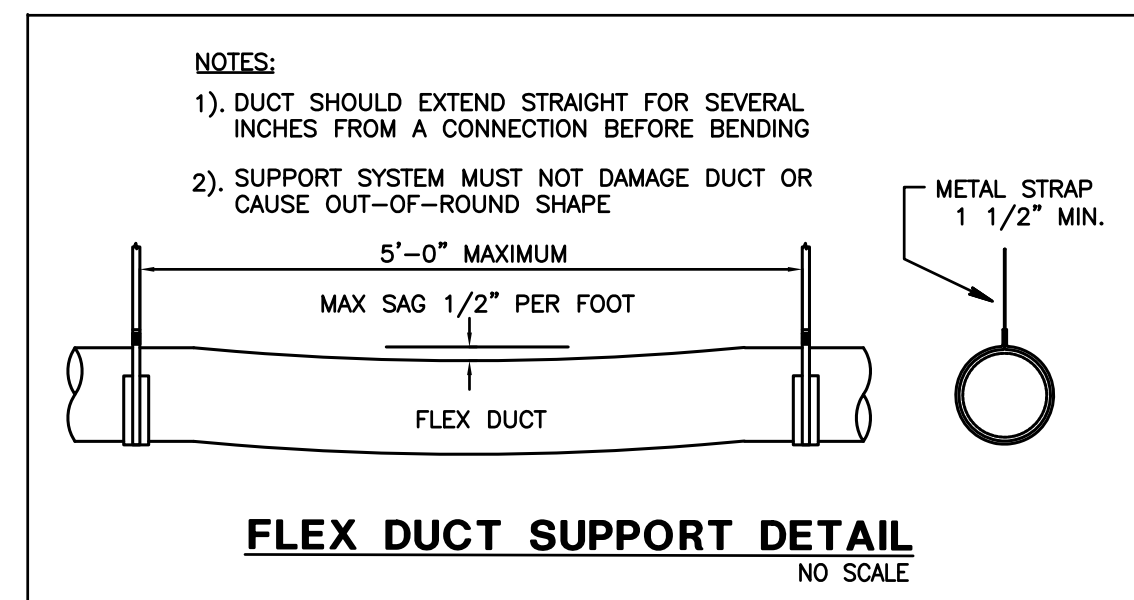
PROVIDE INTEGRAL VOLUME DAMPERS WHERE SHOWN ON PLAN OR WHERE DAMPER IN DUCTWORK IS NOT ACCESSIBLE ABOVE CEILING. PROVIDE SQUARE TO ROUND ADAPTERS WHERE REQUIRED FOR ROUND DUCT CONNECTION. PROVIDE SAMPLE WITH OFF-WHITE FINISH TO ARCHITECT FOR APPROVAL. PROVIDE FLEXIBLE DUCT SIZED TO MATCH S/A DIFFUSER NECK UNLESS NOTED OTHERWISE. FIELD VERIFY EXACT SIZE OF EXISTING SLOT DIFFUSERS PRIOR TO ORDERING NEW.



HORIZONTAL HEAT PUMP DETAIL



HEAT PUMP CONNECTION DETAIL



FLEX DUCT SUPPORT DETAIL

HVAC DETAILS
NO SCALE

HEAT PUMP SCHEDULE

A/C UNIT TAG NO.	HP #3 AND #4
MANUFACTURER	FL HEAT PUMP
MODEL NO.	ES-010 (HORIZ)
TOTAL SENSIBLE MBH	143
TOTAL COOLING MBH	10.8
HEATING CAPACITY	24.0
ENT AIR TEMP. DB/AB- °F	80/61
SUPPLY AIR CFM @ EXT. SP.	680/104
OUTSIDE AIR CFM	260
GPM	4.1
EER	15.2
UNIT SIZE (WxLxH)	26x43x22
OPERATING WEIGHT LBS.	184
COMPRESSORS	1
NO. OF COMPRESSORS	1
NO. OF STEPS	1
NOMINAL TONS	1.5
RLA EACH	5.8
INDOOR FANS	1
NO. OF FAN(S)	1
FAN MOTOR HP EACH	1/3
FAN MOTOR FLA EACH	2.6
ELECTRICAL INFORMATION	MCA
MAX FUSE SIZE	15
POWER VOLT-FH-HZ	277-1-60
ACCESSORIES AND NOTES:	

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CORRIDOR IMPROVEMENT

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PROJECT NUMBER CP25

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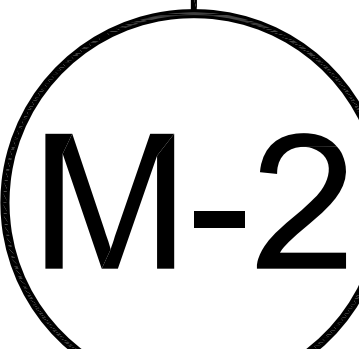
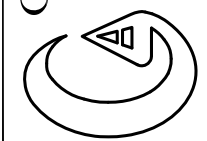
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ELECTRICAL NOTES

- DO NOT SCALE THE ELECTRICAL DRAWINGS. REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT. CONFIRM WITH OWNERS REPRESENTATIVE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE NFPA-70 (2005), THE LIFE SAFETY CODE NFPA-101 (2003), THE NATIONAL FIRE ALARM CODE NFPA-72 (2002), AND THE FLORIDA BUILDING CODE (FBC 2004, WITH 2007 SUPPLEMENTS).
- MINIMUM WIRE SIZE SHALL BE #12 A.W.G., EXCLUDING CONTROL WIRING. UNLESS OTHERWISE NOTED ALL CONDUCTORS SHALL BE COPPER WITH THWN INSULATION.
- OUTLET BOXES SHALL BE SHEET STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET OR DAMP LOCATIONS AND SPECIAL ENCLOSURES AS REQUIRED FOR OTHER CLASSIFIED AREAS.
- DISCONNECT SWITCHES SHALL BE H.P. RATED, HEAVY DUTY, QUICK-MAKE, QUICK-BREAK ENCLOSURES AS REQUIRED BY EXPOSURE.
- MOTOR STARTERS SHALL BE MANUAL OR MAGNETIC, WITH OVERLOAD RELAYS IN EACH HOT LEG.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
- ELECTRICAL SYSTEM SHALL BE COMPLETE AND EFFECTIVELY GROUNDED AS REQUIRED BY THE LATEST EDITION OF THE N.E.C.
- ALL MATERIALS SHALL BE NEW AND BEAR UNDERWRITERS' LABELS WHERE APPLICABLE.
- ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE, AND ACCEPTED BY ENGINEER/ARCHITECT.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE.
- CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
- CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS, AND TESTING.
- THE ELECTRICAL INSTALLATION SHALL MEET ALL STANDARD REQUIREMENTS OF POWER AND TELEPHONE COMPANIES.
- FURNISH AND INSTALL DISCONNECT SWITCHES AND WIRING FOR AIR CONDITIONING SYSTEM AS PER MANUFACTURERS RECOMMENDATIONS. CONTROLS ARE TO BE SUPPLIED BY AIR CONDITIONING CONTRACTOR AND CONNECTED BY ELECTRICAL CONTRACTOR.
- ALL RACEWAYS UNDERGROUND SHALL BE A MINIMUM OF 3/4" CONDUIT.
- ALL CIRCUIT BREAKERS, TWO AND THREE POLE, TO BE COMMON TRIP. NO TIE HANDLES, OR TANDEMS WILL BE ACCEPTED.
- ALL FUSES, UNLESS NOTED ON DRAWING, SHALL BE CURRENT LIMITING (C.L.) RATED FOR 200,000 A.I.C.
- ALL ELECTRICAL EQUIPMENT, DEVICES, WIRE, ETC., SHALL BE LISTED, FOR THE INTENDED USE, WITH UNDERWRITERS LABORATORIES, INC. (UL), WHERE STANDARDS HAVE BEEN ESTABLISHED BY UL.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN, ON SITE, A DETAILED AS-BUILT PLAN SHOWING ACTUAL INSTALLATIONS. THE CONTRACTOR IS TO PROVIDE A NEATLY DRAWN COMPREHENSIVE AS-BUILT SET OF PLANS UPON COMPLETION, WHICH ARE SUITABLE FOR SUBMISSION TO THE BUILDING DEPARTMENT AND THE OWNER.

LIGHTING FIXTURE SCHEDULE

SYMBOL	TYPE	MOUNT	LAMP	VOLT	MANUFACTURER	CATALOG	REMARKS
⬡	FLUORESCENT DOWNLIGHT	RECESSED	(1)26WTT 35K	277	PRESCOLITE	CTF632HEB-STF602H	②
⊕	EXIT LIGHT	SURFACE	BY MFR.	277	DUAL LITE	LXURW	①

- PROVIDE SINGLE OR DUAL FACE, WALL OR CEILING MOUNT, AS SHOWN ON PLANS. CONNECT FIXTURES TO UNSWITCHED HOT LEG OF CIRCUIT.
- PROVIDE MANUFACTURERS LABEL FOR MAXIMUM OF 26 WATT LAMP. TOTAL FIXTURE INPUT POWER TO BE 28 WATTS MAXIMUM.

LIGHTING POWER COMPLIANCE
(PER TABLE 13-415.2.B, FBC CHAPTER 13)

SPACE TYPE	TOTAL AREA (SQ.FT.)	ALLOWANCE PER SQ.FT.	SUB-TOTAL ALLOWANCE	DESIGN
ELEVATOR LOBBYS	500	1.3	650	392
CORRIDORS	952	0.5	476	728
TOTALS			1,126	1,120

KEYNOTES

- CONNECT DESIGNATED EMERGENCY LIGHTING FIXTURES TO EXISTING EMERGENCY POWER LIGHTING CIRCUIT SERVING THIS AREA. EXISTING EMERGENCY POWER PANEL "ELP1" IS LOCATED ON THE 1ST FLOOR AND PANEL "ELP5" IS ON THE 4TH FLOOR.
- CONNECT NORMAL POWER LIGHTING FIXTURES TO EXISTING NORMAL POWER LIGHTING CIRCUIT SERVING THIS AREA, FROM PANEL ON THE SAME FLOOR.
- PROVIDE SEPARATE LIGHTING CONTACTORS FOR THE EMERGENCY AND NORMAL POWER CORRIDOR LIGHTING CIRCUITS. CONTACTORS ARE TO BE CONTROLLED BY THE EXISTING BUILDING MANAGEMENT SYSTEM (BMS). PROVIDE ALL EQUIPMENT AND SOFTWARE PROGRAMMING AS REQUIRED FOR CONTROL BY THE BMS. COORDINATED ALL WORK WITH THE BUILDING'S BMS PROVIDER.
- RE-LOCATE EXISTING SPEAKERS IN NEW CEILING SYSTEM (TYPICAL)
- EXISTING FIRE ALARM STROBE @ 72" A.F.F. TO BE REMOVED AND REPLACED WITH NEW 75 CANDELA DEVICES MOUNTED @ 80" A.F.F. FIELD VERIFY THE EXACT QUANTITY OF DEVICES REQUIRED. (THERE ARE SOME COMPLIANT DEVICES EXISTING, MATCH THESE DEVICES). TYPICAL FOR ALL STROBES SHOWN.
- REPLACE EXISTING DEVICES IN THE AREA OF WORK WITH NEW DEVICES AND FACEPLATES. VERIFY COLOR WITH ARCHITECT.
- RELOCATE EXISTING FIRE ALARM SPEAKERS AND SMOKE DETECTORS IN NEW CEILING SYSTEM AS REQUIRED. (TYPICAL)

ELECTRICAL LEGEND

- ⬡ LIGHTING FIXTURE IDENTIFICATION
- ▭ RECTANGULAR LIGHTING FIXTURE - AS NOTED
- ▭ (DASHED) RECTANGULAR LIGHTING FIXTURE - EXISTING AS NOTED
- ROUND LIGHTING FIXTURE
- ⊕ WALL MOUNTED LIGHTING FIXTURE
- ⊕ (CIRCLE WITH STAR) EXIT LIGHT ON EMERGENCY POWER CIRCUIT
- ▭ (HATCHED) RECTANGULAR LIGHTING FIXTURE ON EMERGENCY POWER CIRCUIT.
- ⊕ (CIRCLE WITH STAR) ROUND LIGHTING FIXTURE ON EMERGENCY POWER CIRCUIT
- ⊕ (CIRCLE WITH STAR) DUPLEX RECEPT - 20 AMP (18" A.F.F.)
- ⊕ (CIRCLE WITH STAR) DUPLEX RECEPT MOUNTED ABOVE COUNTER - 20 AMP (42" A.F.F.)
- ⊕ (CIRCLE WITH STAR) SINGLE POLE TOGGLE SWITCH, 48" AFF
- ⊕ (CIRCLE WITH STAR) JUNCTION BOXES
- ▭ ELECTRICAL PANELBOARD
- ⤵ CIRCUIT HOME RUN TO PANELBOARD OR OTHER DEVICE AS INDICATED
- ⤵ (DASHED) CONDUIT CONCEALED
- ⊕ (CIRCLE WITH STAR) EXISTING DUPLEX RECEPTACLE TO REMAIN.
- ▼ TELEPHONE/DATA OUTLET - EXISTING TO REMAIN
- E EXISTING DEVICE TO REMAIN AS IS
- R EXISTING DEVICE TO BE RELOCATED AS SHOWN.
- N NEW DEVICE IN EXISTING OUTLET BOX (REPLACE EXISTING DEVICE)
- ⊕ (CIRCLE WITH STAR) EXISTING SINGLE POLE TOGGLE SWITCH TO REMAIN.
- ⤵ (DASHED) CONCEALED CIRCUIT AS NOTED
- ⊕ (CIRCLE WITH STAR) OCCUPANCY SENSOR, CEILING MOUNT, HUBBELL OMNI DT-2000
- ⊕ (CIRCLE WITH STAR) LIGHTING CONTACTOR
- AFF ABOVE FINISHED FLOOR

FIRE ALARM LEGEND

- ⊕ (CIRCLE WITH STAR) MANUAL PULL STATION
- ⊕ (CIRCLE WITH STAR) WALL MOUNT SPEAKER/STROBE
- ⊕ (CIRCLE WITH STAR) PHOTOELECTRIC SMOKE DETECTOR
- ⊕ (CIRCLE WITH STAR) ADA COMPLIANT STROBE LIGHT
- ⊕ (CIRCLE WITH STAR) MONITOR MODULE
- ⊕ (CIRCLE WITH STAR) DUCT SMOKE DETECTOR W/O RELAY
- ⊕ (CIRCLE WITH STAR) CONTROL MODULE OUTPUT RELAY
- ⊕ (CIRCLE WITH STAR) HEAT DETECTOR
- ⊕ (CIRCLE WITH STAR) CEILING SPEAKER
- ⊕ (CIRCLE WITH STAR) FIREMAN'S TELEPHONE OUTLET

GENERAL DEMOLITION NOTES

- UNLESS OTHERWISE NOTED, ALL EQUIPMENT, WIRING DEVICES, LIGHT FIXTURES, CONDUIT AND WIRE IN THE PROJECT AREA WHICH IS NOT INDICATED TO REMAIN, IS TO BE REMOVED. THE CONTRACTOR SHALL INVESTIGATE THE PROJECT AREA PRIOR TO BID TO DETERMINE ALL REQUIRED DEMOLITION.
- EXISTING CONDITIONS SHOWN ON THIS DRAWING ARE TAKEN FROM ORIGINAL DRAWINGS AND FIELD INVESTIGATION. ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO BID. FIELD CONDITIONS SHALL GOVERN.
- DEMOLITION WORK IS NOT SPECIFICALLY IDENTIFIED ON THESE PLANS, AND MAY BE DESCRIBED ON THE ARCHITECTS PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED DEMOLITION WHETHER SHOWN ON THE PLANS OR NOT.
- ALL CONDUITS SERVING OTHER SPACES OR FLOORS, THAT RUN THROUGH THE PROJECT AREA SHALL REMAIN ACTIVE DURING CONSTRUCTION, SO AS NOT TO CAUSE ANY DISRUPTION TO THESE OTHER SPACES.
- ALL ITEMS REMOVED UNDER THIS PROJECT SHALL BE DISPOSED OF OR TURNED OVER TO THE OWNER AT THE OWNER'S DISCRETION.
- PROPERLY REMOVE AND DISPOSE OF ALL ELECTRICAL EQUIPMENT, CONDUIT AND WIRING WHICH IS TO BE REMOVED. CONSULT WITH OWNER AND OBTAIN THE OWNERS APPROVAL PRIOR TO DISPOSAL OF REMOVED MATERIAL.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL CONDUITS, NEW OR EXISTING, WITHIN THE PROJECT AREA, ARE PROPERLY SUPPORTED AND PROVIDED WITH BONDING BUSHINGS IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE.

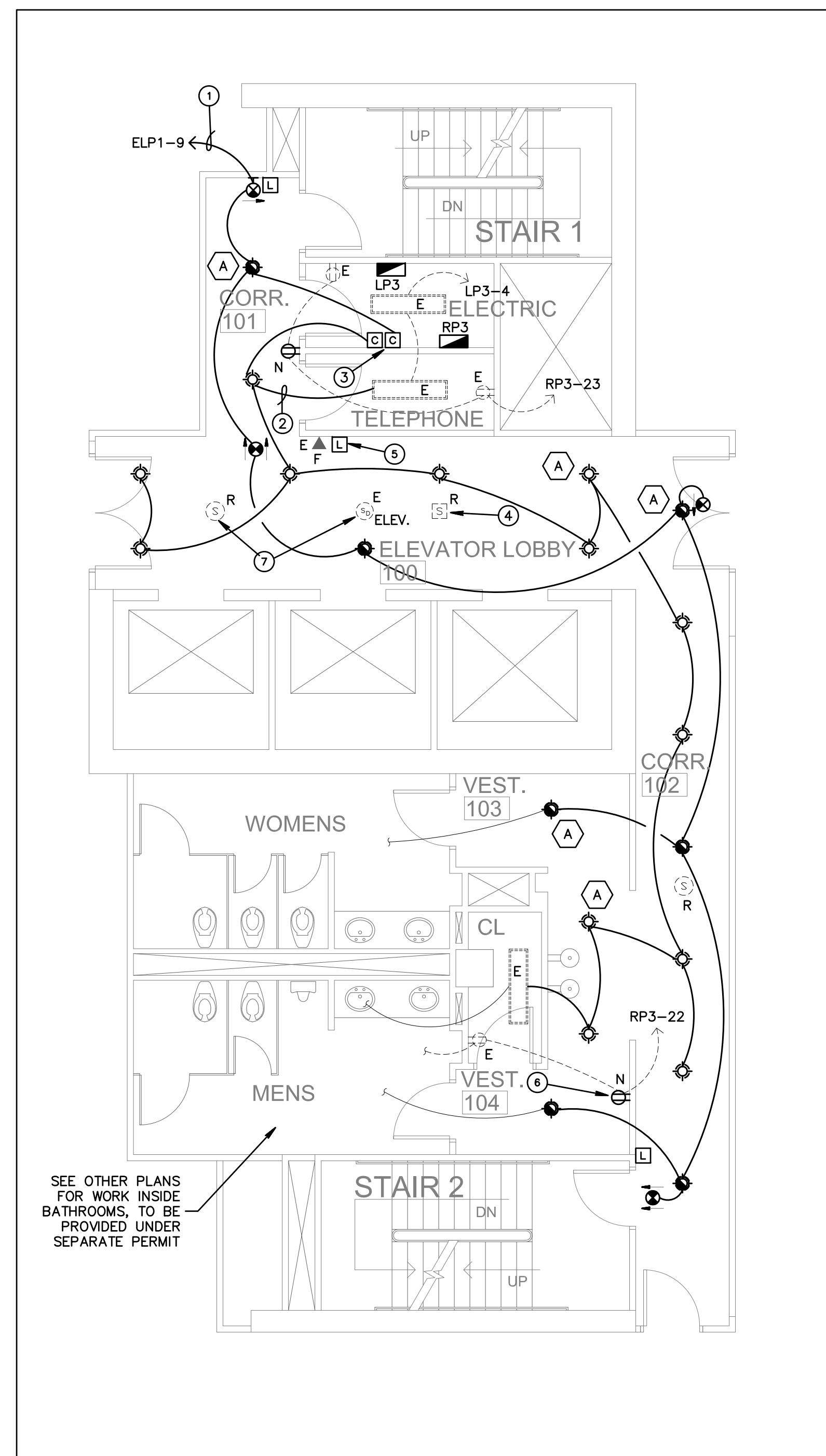
AUDIBLE ALARMS SHALL HAVE A MINIMUM LEVEL OF 15 DBA IN EXCESS OF THE AMBIENT SOUND LEVEL OF THE ROOM, AND SHALL OTHERWISE BE IN ACCORDANCE WITH FBC 11-4.28.2.

VISUAL ALARMS SHALL HAVE A MINIMUM LEVEL OF 75 CANDELA AND SHALL OTHERWISE BE IN ACCORDANCE WITH FBC 11-4.28.3.

PROVIDE A RE-CERTIFICATION OF THE FIRE ALARM SYSTEM UPON COMPLETION OF WORK.

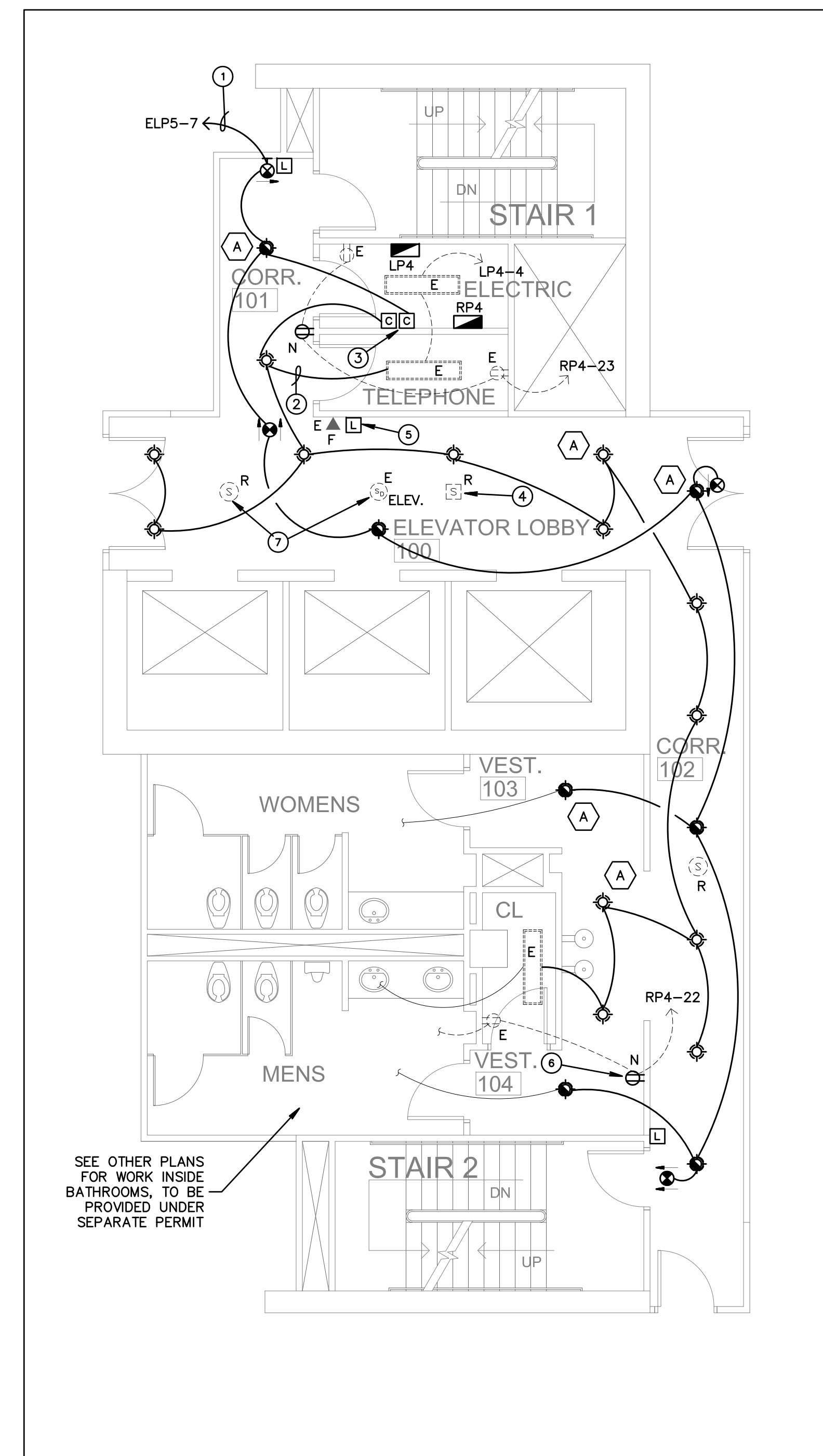
NEW FIRE ALARM DEVICES ARE TO BE COMPATIBLE WITH EXISTING SYSTEM. PROVIDE ADDITIONAL POWER SUPPLIES AS REQUIRED. PROVIDE ADDITIONAL HORNS AND STROBES AS REQUIRED TO MEET AUDIBLE AND VISIBLE REQUIREMENTS OF NFPA 72, ADA, AND NFPA 101. VERIFY EXISTING POINT OF CONNECTION TO EXISTING SYSTEM. EXISTING DEVICES MAY BE RE-USED AT THE DISCRETION OF THE LANDLORD, VERIFY ALL SUCH EQUIPMENT PRIOR TO BID.

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NEW AND EXISTING ELECTRICAL SYSTEMS, FIXTURES, DEVICES, AND OTHER EQUIPMENT RELATED TO THE AREA OF WORK ARE IN GOOD WORKING ORDER. REPAIR AS NEEDED.



PARTIAL 3RD FLOOR ELECTRICAL PLAN

SCALE: 3/16" = 1'-0"



PARTIAL 4TH FLOOR ELECTRICAL PLAN

SCALE: 3/16" = 1'-0"

Bd

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CORRIDOR IMPROVEMENT

1400 CENTREPARK BLVD
3RD & 4TH FLOORS
WEST PALM BEACH, FL 33401

PROJECT NUMBER CP25

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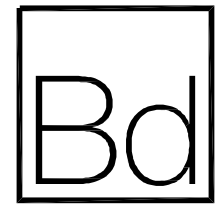
PROJ.# 11-017
Gilman & Associates, Inc.
MECHANICAL & ELECTRICAL ENGINEERS
129 N. FEDERAL HIGHWAY SUITE 202
Lake Worth, FL 33460 CA.#009078
(561) 352-0210 Fax: (561) 352-8512
RONALD D. GILMAN P.E. #75385

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06/22/11

E-1

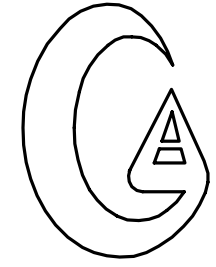


birse design inc + architecture + interior design + planning

5300 woodland lakes drive
palm beach gardens, fl 33418

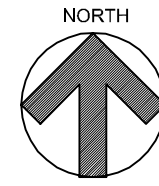
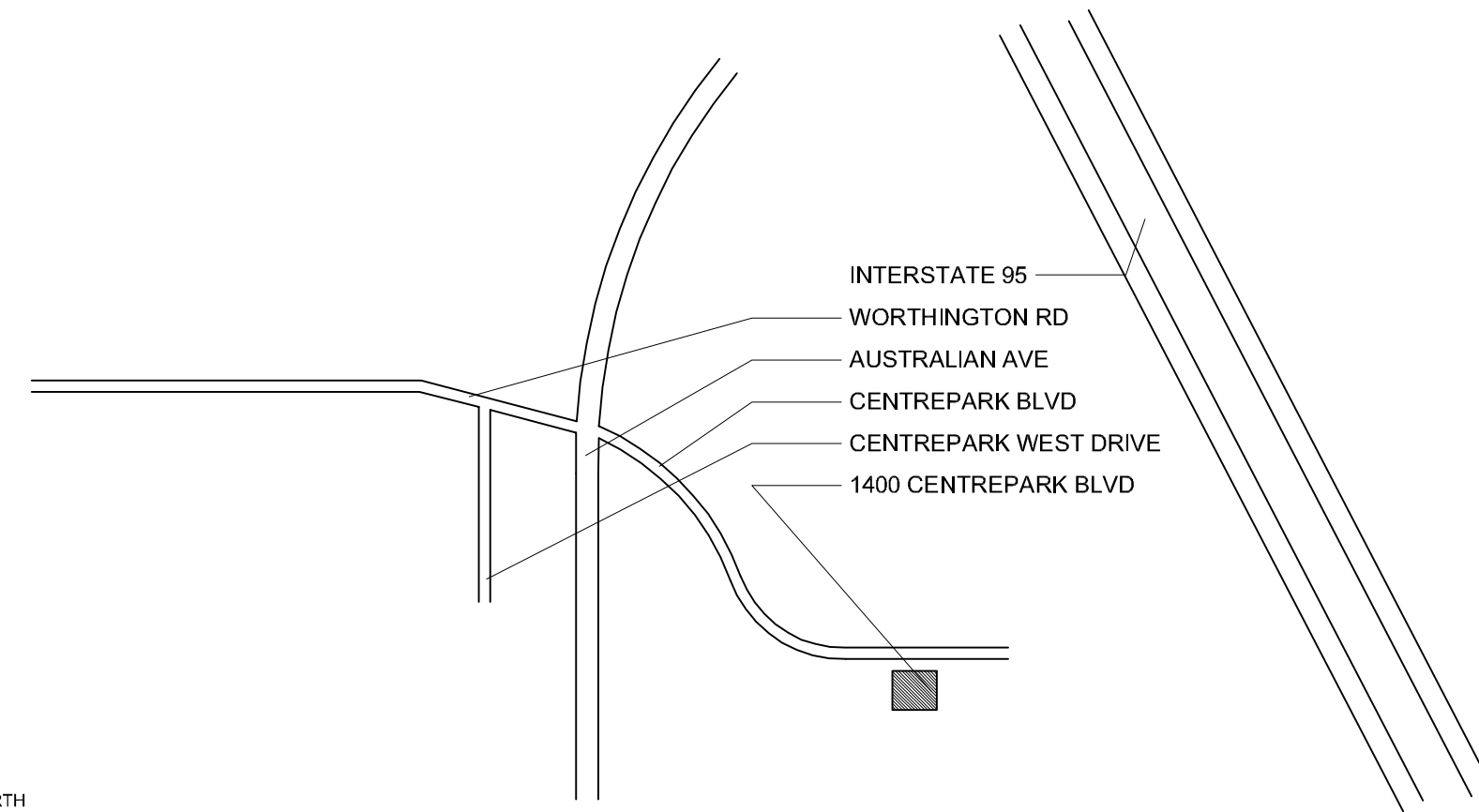
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MECHANICAL ENGINEER / ELECTRICAL / PLUMBING



Gilman & Associates
MECHANICAL & ELECTRICAL ENGINEERS

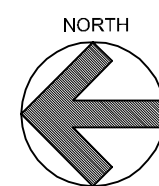
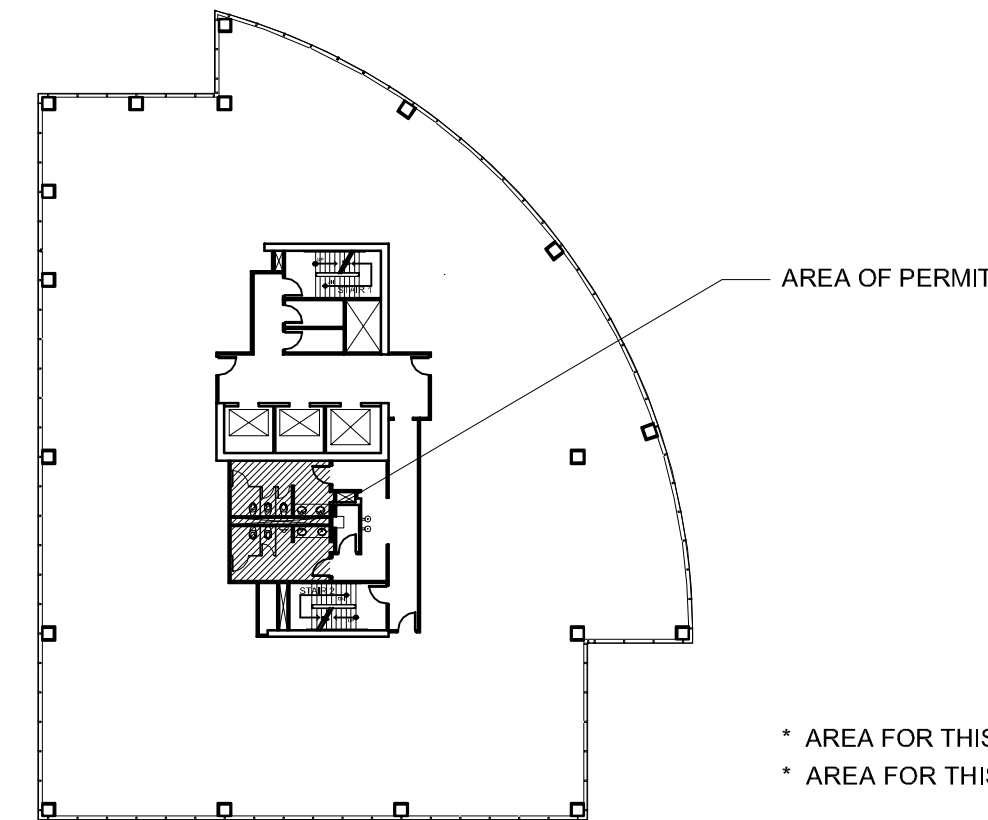
129 N. FEDERAL HWY.
SUITE 211
LAKE WORTH, FL 33460
(561) 582-0210
P.E. 37933



1 LOCATION MAP
NOT TO SCALE

INDEX OF SHEETS:

- T TITLE SHEET
- ARCHITECTURAL SHEETS
- A-1 FLOOR PLAN/NOTES
- A-2 ELEVATIONS
- MECHANICAL/ELECTRICAL/PLUMBING SHEETS
- M-1 MECHANICAL
- E-1 ELECTRICAL



2 KEY MAP (3RD)
NOT TO SCALE

AREA OF PERMIT

* AREA FOR THIS PERMIT IS HATCHED
* AREA FOR THIS PERMIT = 347 SF

REFERENCE STANDARDS:

THIS PROJECT IS DESIGNED IN ACCORDANCE WITH THE FOLLOWING CODES:

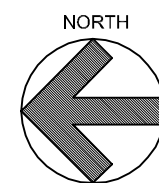
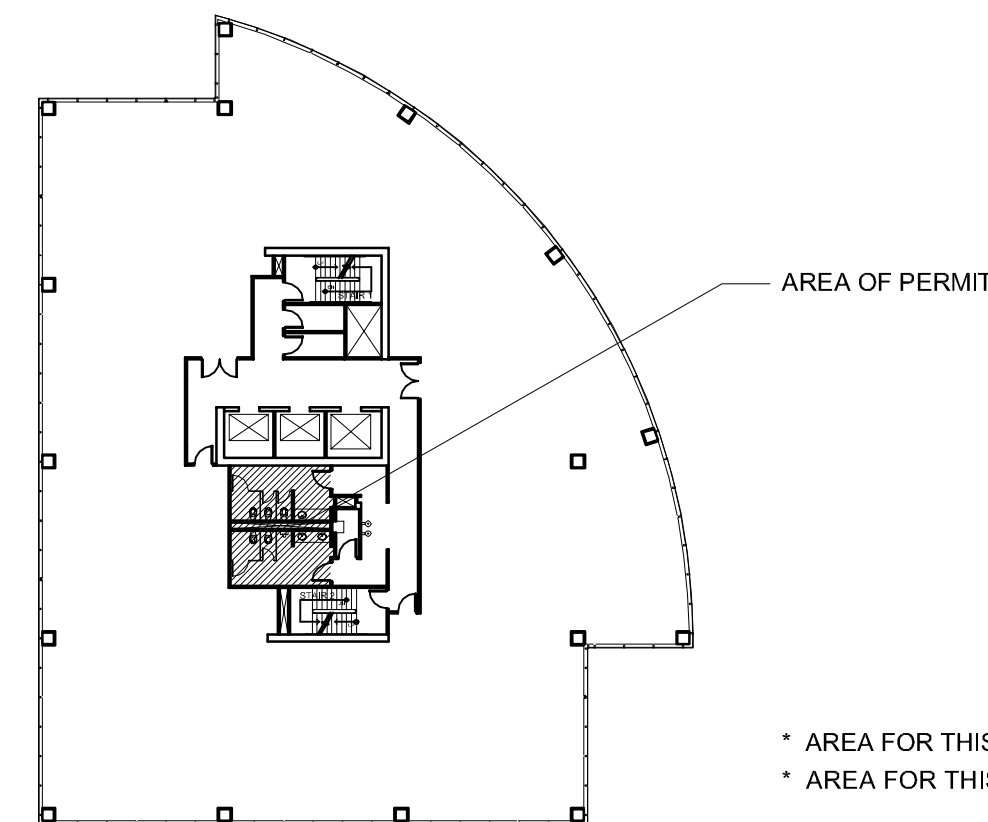
1. THE FLORIDA BUILDING CODE (FBC), 2007 EDITION WITH 2009 SUPPLEMENTS (BUILDING, MECHANICAL, PLUMBING, FUEL GAS, EXISTING BUILDING).
2. NATIONAL ELECTRIC CODE (NEC), 2008 EDITION.
3. FLORIDA FIRE PREVENTION CODE, 2007 EDITION.
4. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 101, LIFE SAFETY CODE, 2006 EDITION.
5. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 1, UNIFORM FIRE CODE, 2006 EDITION.

GENERAL NOTES:

1. THE CONTRACTOR SHALL AS A PART OF THIS CONTRACT FURNISH ALL MATERIALS, LABOR, TOOLS, EQUIPMENT, TRANSPORTATION, AND INSURANCE NECESSARY TO PROPERLY EXECUTE AND COMPLETE THE WORK ACCORDING TO THE PLANS AND SPECIFICATIONS.
2. THE CONTRACTOR IN THE WORK OF ALL TRADES SHALL PROTECT ALL EXISTING BUILDING AND PROPERTY FROM DAMAGE CAUSED BY THE ACTIVITIES OF THE CONTRACTOR AND SUBCONTRACTORS. THE CONTRACTOR SHALL REPAIR AND RESTORE THE JOB SITE AND SURROUNDING AREAS TO ITS ORIGINAL CONDITION. OWNER TO VERIFY SATISFACTION.
3. THE CONTRACTOR SHALL VISIT THE JOB SITE TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BID. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS BEFORE PROCEEDING WITH ANY WORK.
4. THE CONTRACTOR SHALL MAKE NO CHANGES TO THE CONSTRUCTION DRAWINGS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.
5. ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST CODES AND ORDINANCES.
6. THESE CONSTRUCTION DOCUMENTS ARE DIAGRAMATIC AND ARE TO CONVEY DESIGN INTENT. IT IS NOT THE INTENT OF THESE CONSTRUCTION DRAWINGS TO SHOW ALL DETAILS OF THE EXISTING CONDITIONS. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
7. EACH CONTRACTOR SHALL ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR MECHANICAL, ELECTRICAL, AND PLUMBING WITH THE APPROPRIATE TRADES.
8. ALL INDICATED UTILITY AND STUB-IN LOCATIONS ARE FOR REFERENCE ONLY. THE EXACT LOCATIONS SHALL BE VERIFIED ON THE JOB SITE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ENGINEERING AND THE ARCHITECTURAL DRAWINGS FOR THE ACTUAL PLACEMENT OF THE WORK RELATIVE TO FIELD CONDITIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OBTAINING INSTALLATION REQUIREMENTS FOR ALL BUILT-IN APPLIANCES, FIXTURES, AND EQUIPMENT. VERIFY EXACT ROUGH-IN DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO ROUGH-IN FRAME.
11. THE COST OF ADDITIONAL DESIGN WORK DUE TO ERRORS OR OMISSIONS IN CONSTRUCTION SHALL BE BORNE BY THE RESPECTIVE CONTRACTOR.
12. CONTRACTOR TO BE RESPONSIBLE FOR CHECKING STRUCTURAL CALCULATIONS FOR SPECIFIC REQUIREMENTS OF STRUCTURAL CONNECTIONS, SUBMIT STEEL TRUSS CALCULATIONS AND SHOP DRAWINGS OF ALL STRUCTURAL STEEL AND MISCELLANEOUS METAL FABRICATION BEFORE COMMENCING FABRICATION.
13. BIRSE DESIGN, INC. SHALL IN NO WAY BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNOLOGIES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. (THESE ARE SOLELY THE CONTRACTORS RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION).
14. EACH CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BRACING, SHORING, GUYING, OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS ASSOCIATED WITH WORK IN PLACE DURING CONSTRUCTION.
15. PROVIDE PORTABLE FIRE EXTINGUISHERS DURING CONSTRUCTION AS REQUIRED BY LOCAL CODES.
16. SPRINKLER SYSTEM: INSTALL FULL BUILDING SPRINKLER SYSTEM IN COMPLIANCE WITH THE REQUIREMENTS OF NFPA 13. SHOP DRAWINGS MUST BE APPROVED BEFORE INSTALLATIONS. PROVIDE OWNER WITH 2 COPIES OF PERMIT SETS.
17. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR MEETING THE REQUIREMENTS OF ALL CURRENT APPLICABLE BUILDING CODES AND ENFORCEMENT AGENCIES, FIRE MARSHALL, OR ANY OTHER BUILDING CODE ENFORCEMENT OFFICER AT NO EXTRA COST TO THE OWNER. NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO SUBMITTING A BID FOR THE PROJECT.
18. BASE BID SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

SYMBOL INDEX:

- ADMIN. ROOM NAME
- 108 ROOM NUMBER
- (A) DOOR MARK/NUMBER
- (1) WINDOW MARK/NUMBER
- 1/1A2 WALL SECTION/SHEET NUMBER
- 1/1A3 BUILDING SECTION/SHEET NUMBER
- 2/1A3 ELEVATION TARGET/SHEET NUMBER
- 1/1A2 DETAIL NUMBER/SHEET NUMBER
- 8'-6" CEILING HEIGHT
- [F.E.] FIRE EXTINGUISHER
- [Envelope] 2x4' FLUORESCENT LIGHT FIXTURE
- [Square with circle] WALL MOUNTED LIGHT FIXTURE
- [Circle with square] RECESSED LIGHT DOWN FIXTURE



3 KEY MAP (4TH)
NOT TO SCALE

AREA OF PERMIT

* AREA FOR THIS PERMIT IS HATCHED
* AREA FOR THIS PERMIT = 347 SF

PROJECT DATA:

- * PROJECT ADDRESS: 1400 CENTREPARK BLVD
3RD & 4TH FLOORS
WEST PALM BEACH, FL 33410
- * EXISTING BUILDING IS TYPE I "A"
- * EXISTING BUILDING IS A 10 STORY BUILDING
- * EXISTING BUILDING CLASSIFICATION IS GROUP "B"
- * LEVEL 2 ALTERATION PER EXISTING BUILDING CODE 2007

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ALLEN S BIRSE
AR94279

RESTROOM UPGRADE

1400 CENTREPARK BLVD
3RD & 4TH FLOORS
WEST PALM BEACH, FL 33401
PROJECT NUMBER CP24

REVISIONS

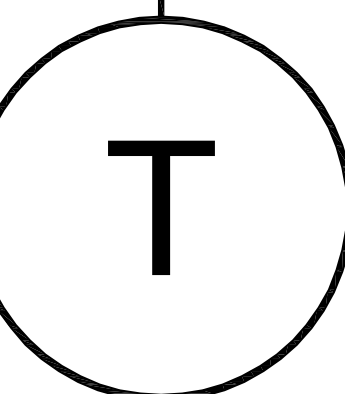
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- 2 _____
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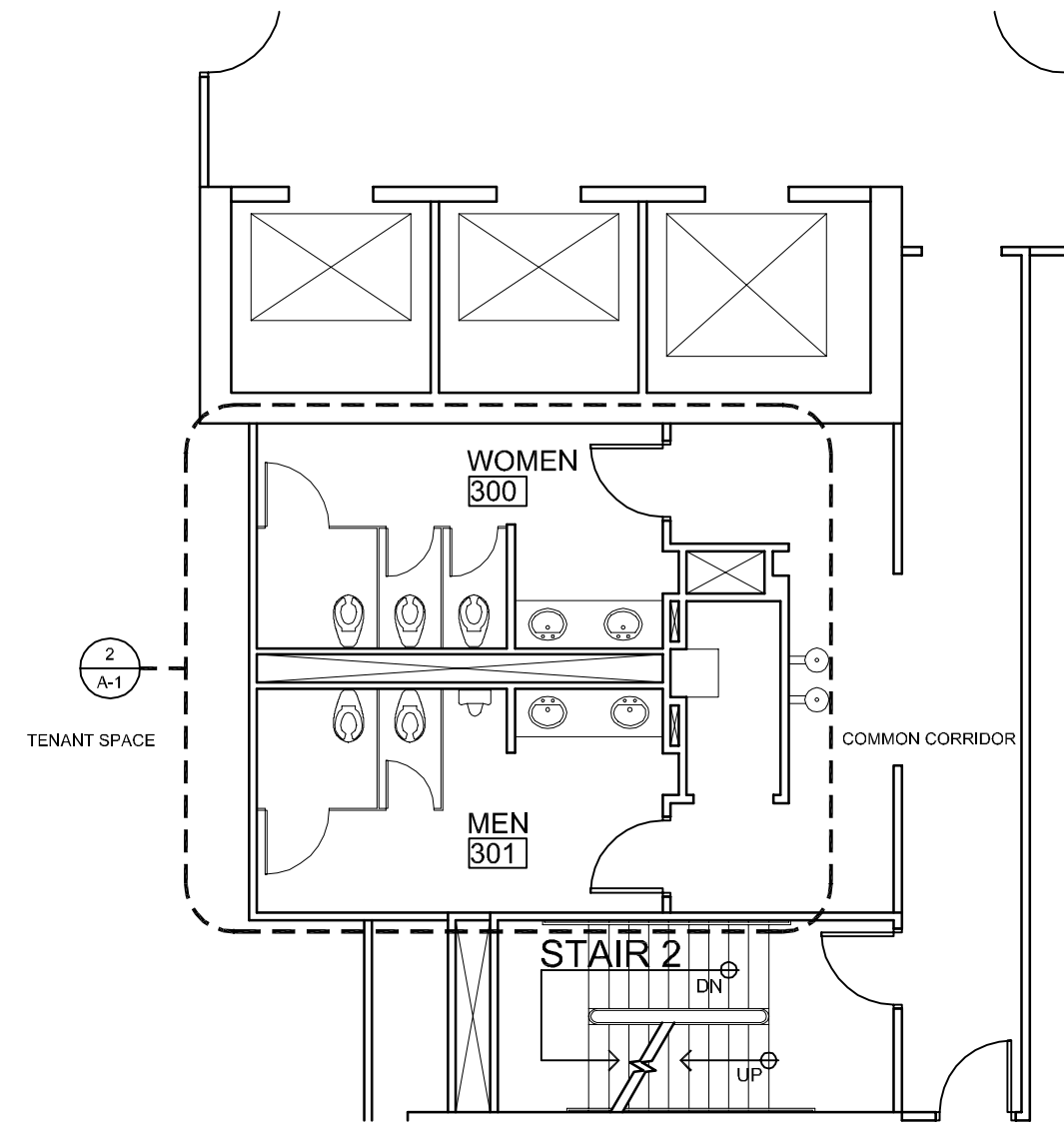
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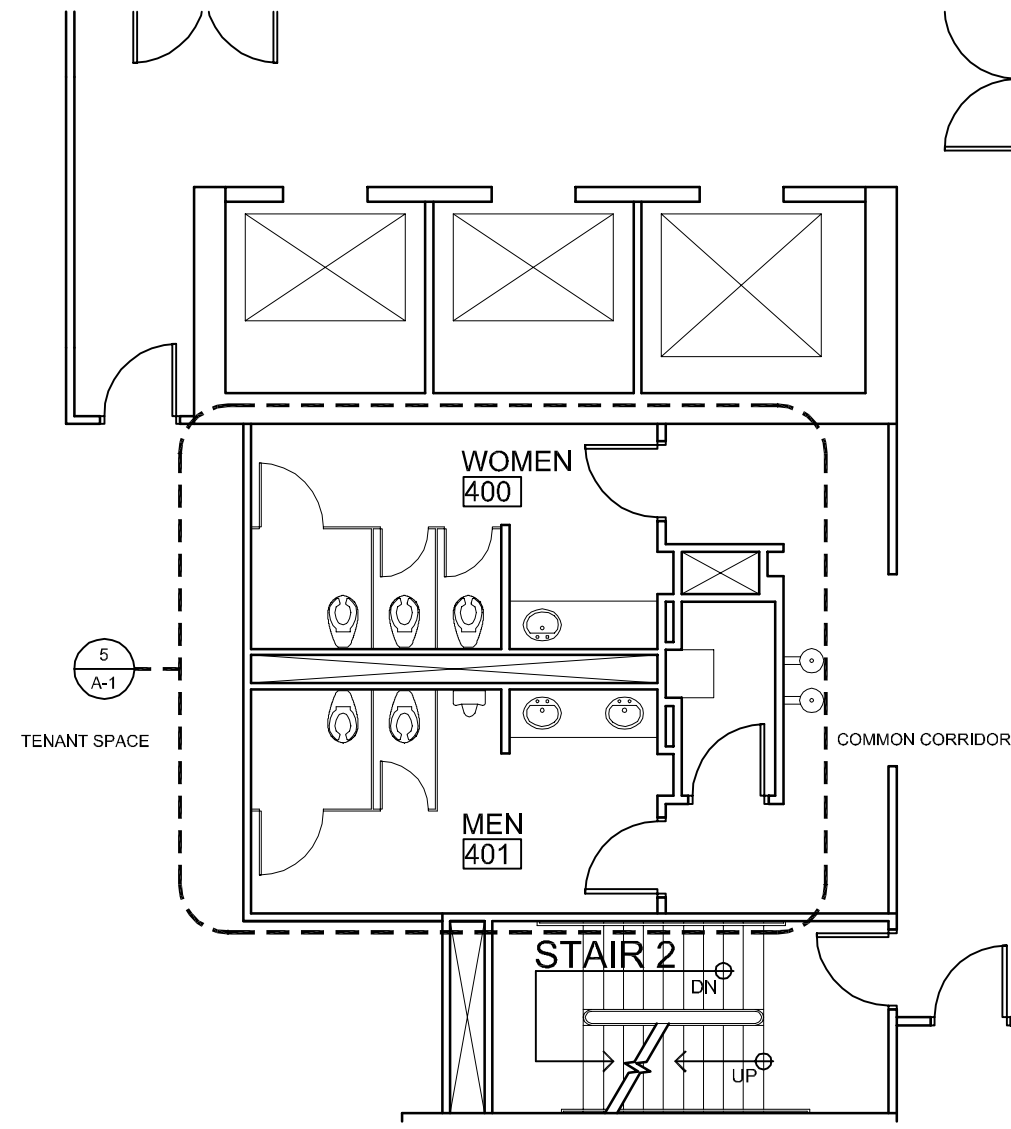
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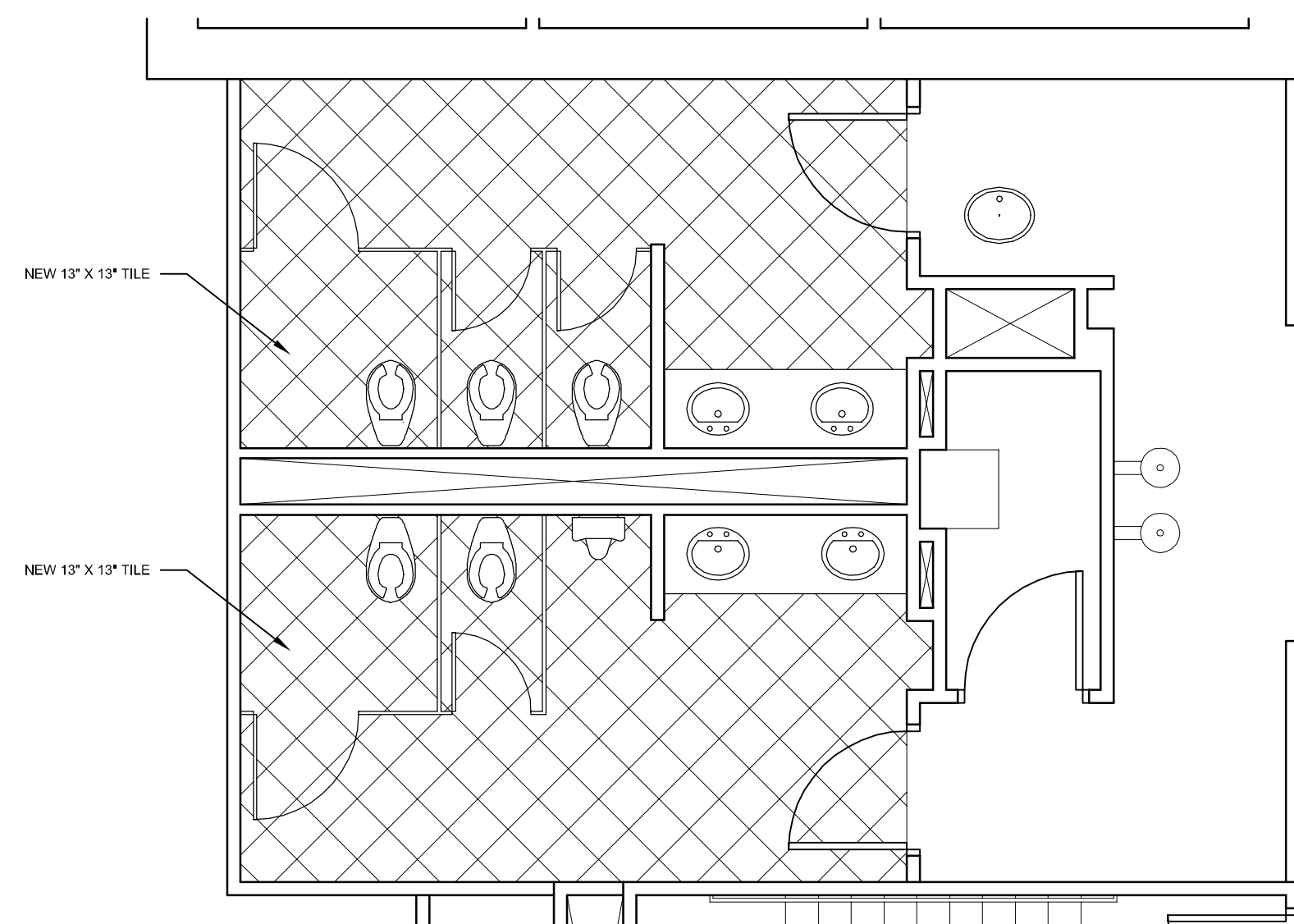
1 FLOOR PLAN (3RD FLOOR)
1/8" = 1'-0"



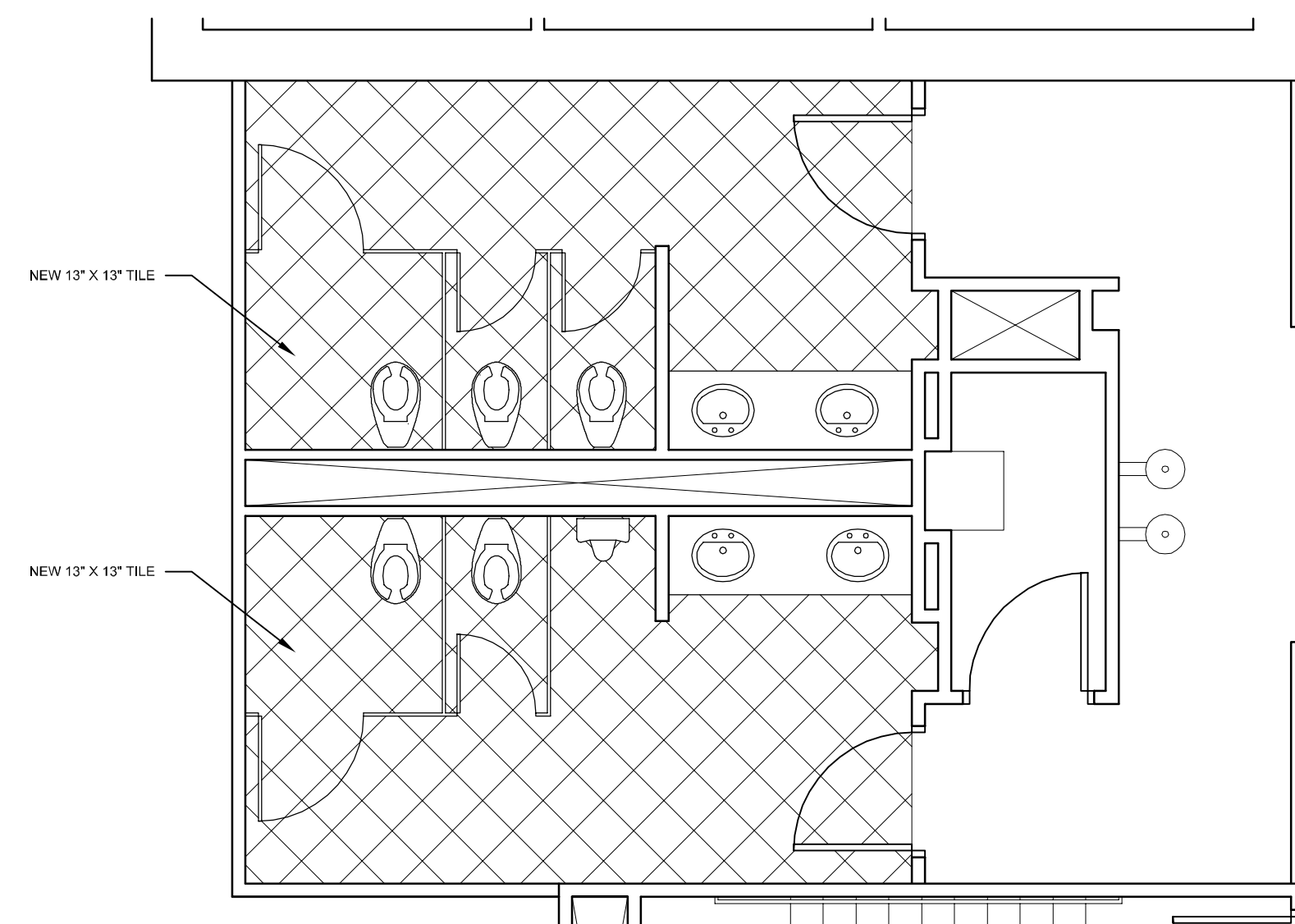
4 FLOOR PLAN (4TH FLOOR)
1/8" = 1'-0"

- * REMOVE ALL EXISTING WALL COVERING/TILE
 - * REMOVE ALL EXISTING FLOOR TILE/BASE
 - * REMOVE ALL EXISTING HARD CEILING/LIGHTS/DIFFUSERS
 - * REMOVE EXISTING COUNTERS/SINKS/FIXTURES/MIRRORS
 - * REMOVE EXISTING TOILET STALL PARTITIONS
 - * ALL TOILETS AND URINALS TO REMAIN AS EXISTING
 - * ACCESSIBLE SINK TO REMAIN AS EXISTING
 - * WALL MOUNT TOWEL DISPENSER/GARBAGE TO REMAIN AS EXISTING
 - * SANITARY NAPKINS MACHINE TO BE REMOVED
- * STRUCTURES UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL COMPLY WITH NFPA 241
- * ACCUMULATIONS OF COMBUSTABLE WASTE AND DUST DEBRIS SHALL BE REMOVED FROM THE STRUCTURE AND ITS IMMEDIATE VICINITY AT THE END OF THE SHIFT OR MORE FREQUENTLY AS NECESSARY FOR SAFE OPERATIONS
- * EXIT AND ACCESS CORRIDORS ARE TO BE MAINTAINED AND REMAIN CLEAR AND UNOBSTRUCTED
- * THE MAIN BUILDINGS FIRE PROTECTION SYSTEMS SHALL BE MAINTAINED AND OPERATIONAL AT ALL TIMES

7 DEMO NOTES



2 ENLARGED FLOOR PLAN (3RD FLOOR)
1/4" = 1'-0"

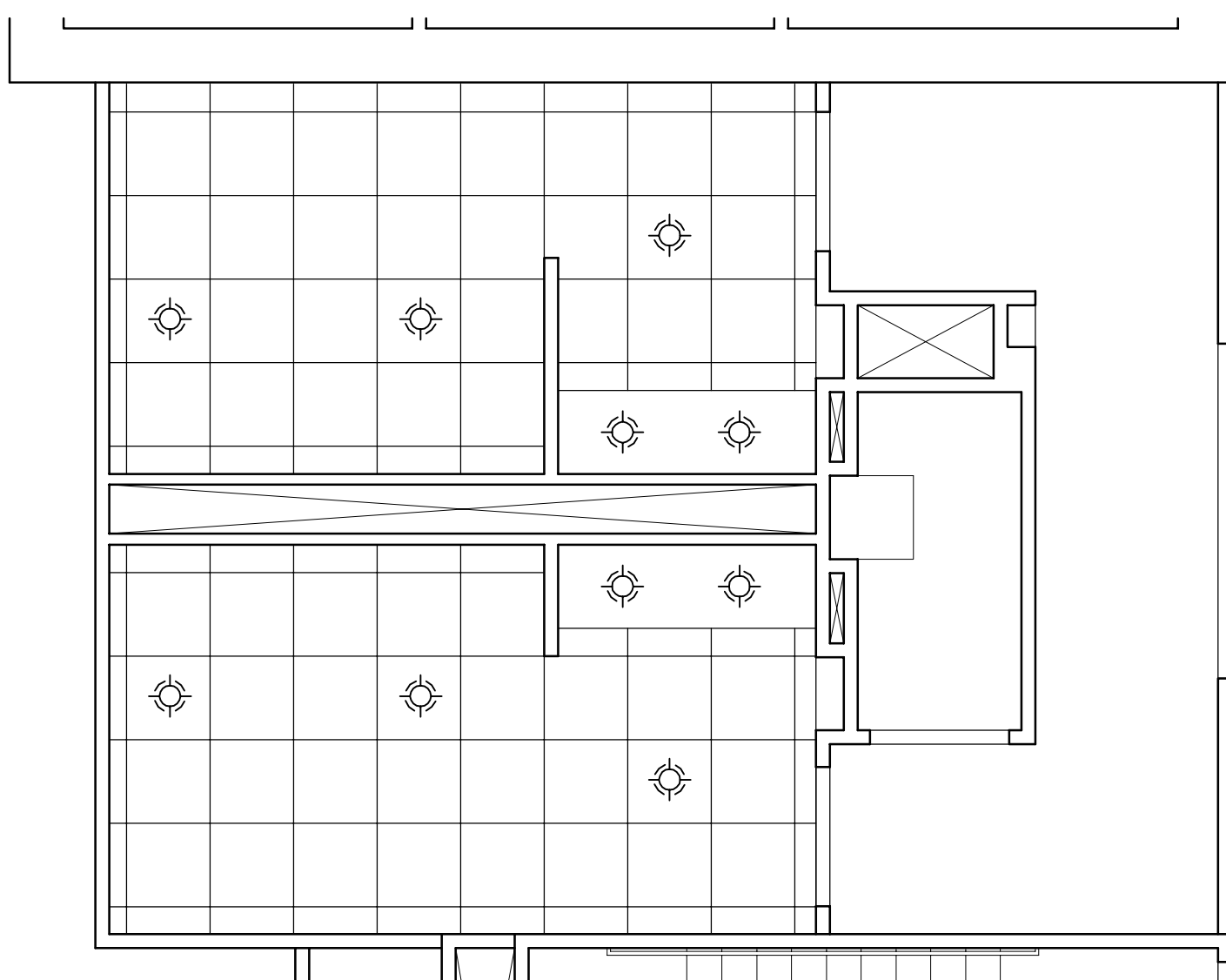


5 ENLARGED FLOOR PLAN (4TH FLOOR)
1/4" = 1'-0"

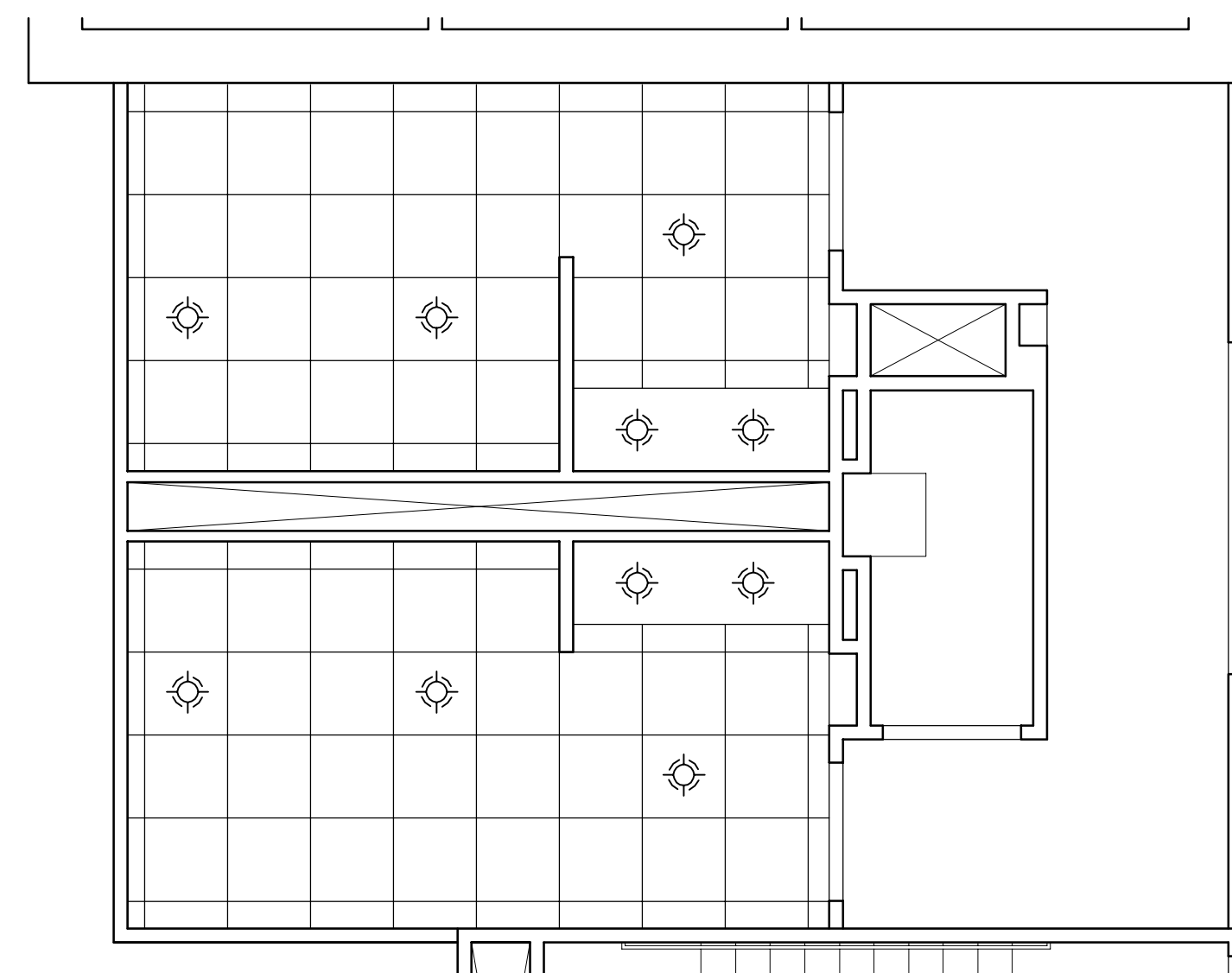
MK	ROOM NAME	FLOOR	BASE	WALLS	CEILING
		MAT	MAT HT	MAT FIN	MAT FIN HT
300400	WOMENS RESTROOM	CT1	TILE	6" GWB WC1	GWB 8'-6"
301401	MENS RESTROOM	CT1	TILE	6" GWB WC1	GWB 8'-6"

- * WALL COVERING (WC1) T.B.D.
- * FLOOR TILE (CT1) TO BE DALTILE 12"x12" PORTENZA "AVORIO ANTICO" P202
- * WALL TILE TO BE 12"x12" DAL TILE RIDGEVIEW RD05
- * ACCENT BAND TO BE DALTILE MARACAS GLASS BLENDS "RAIN FOREST BLEND" P666
- * GROUT TO MATCH EXISTING FINISHED RESTROOMS
- * PAINT (HARD CEILINGS) TO BE CEILING WHITE "PROVIDE SAMPLES"
- * GRANITE COUNTERTOP TO BE DALTILE G293 GOLDEN LEAF HONED & POLISHED SLAB
- * PARTITION LAMINATE TO BE PRONITE AV100 "GATEWAY TO THE FUTURE"
- * SINK TO BE KOHLER "CAXTON" UNDERCOUNTER LAVATORY K-2211 (19"x15") WHITE FINISH
- * FAUCET TO BE MOEN 8305 CHROME ELECTRIC LAV (BATTERY POWERED)
- * PARTITIONS TO HAVE "BRADLY" COMBINATION UNIT (DUAL ROLL TISSUE DISPENSER/NAPKIN DISPOSAL) MODEL 594 UNIT IS PARTITION MOUNTED AND SERVES TWO STALLS (UNIT TO BE OWNER APPROVED)
- * CEILING TILE: ARMSTRONG DUNE #1852 24"x24"x5/8" BEVELED REGULAR WHITE
- * CEILING GRID TO BE ARMSTRONG 918 EXPOSED TEE SYSTEM (WHITE FACTORY FINISH)
- * CONTRACTOR TO PROVIDE SAMPLES OF ALL MATERIALS FOR DESIGNER/OWNER APPROVAL

8 FINISHES



3 CEILING PLAN (3RD FLOOR)
1/4" = 1'-0"



6 CEILING PLAN (4TH FLOOR)
1/4" = 1'-0"

- * REPLACE ALL EXIT SIGNS TO BE NEW LCD "CEILING HUNG"
- * REPLACE ALL LIFE SAFETY DEVICES WITH NEW BUILDING STANDARD DEVICES
- * ALL SPRINKLER HEADS TO BE BUILDING STANDARD WHITE WITH CONCEALED HEADS
- * REMOVE/REPLACE EXISTING DOOR HARDWARE TO MATCH BUILDING STANDARD
- * ALL DOOR FRAMES TO BE PAINTED (BUILDING STANDARD)
- * PROVIDE NEW TOILET SEATS AND TOILET TISSUE DISPENSERS
- * REMOVE/REPLACE TOWEL DISPENSER/GARBAGE TO MATCH BUILDING STANDARD
- * REPLACE ALL EXISTING GRAB BARS IN ACCESSIBLE STALLS
- * REPLACE ALL MIRRORS
- * ALL INTERIOR FINISHES TO HAVE A MIN CLASS "B" FLAME SPREAD CLASSIFICATION
- * SAMPLES REQUIRED FOR OWNER APPROVAL PRIOR TO ORDERING

9 NOTES

Bd

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ALLEN S BIRSE
AR94279

RESTROOM UPGRADE

1400 CENTREPARK BLVD
3RD & 4TH FLOORS
WEST PALM BEACH, FL 33401

PROJECT NUMBER CP24

REVISIONS

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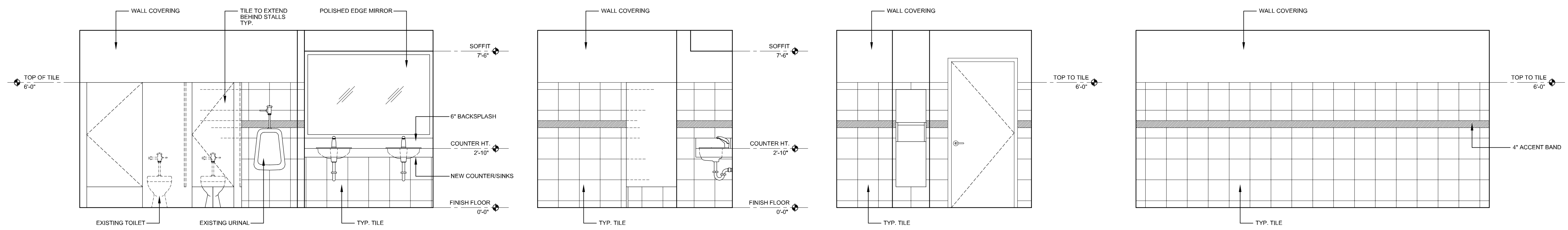
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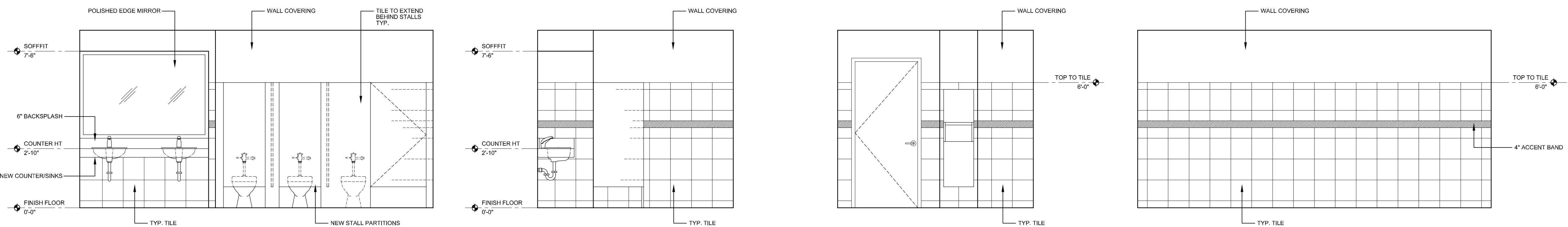
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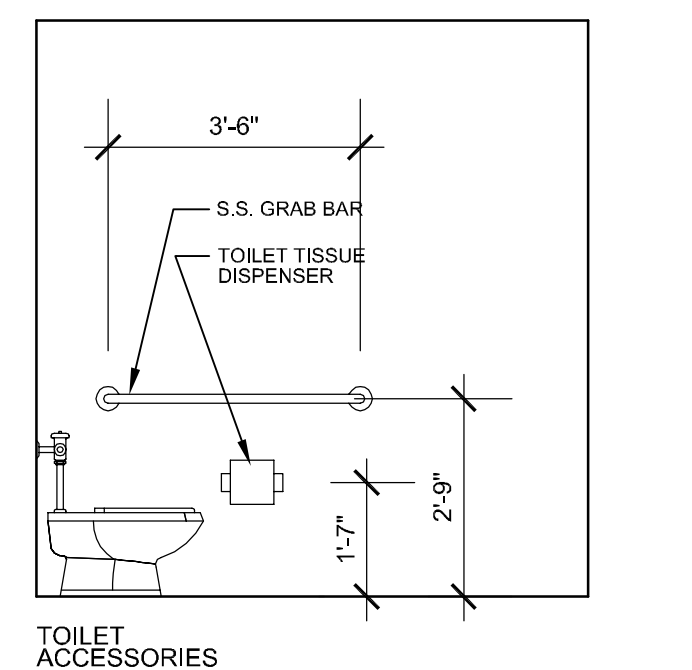
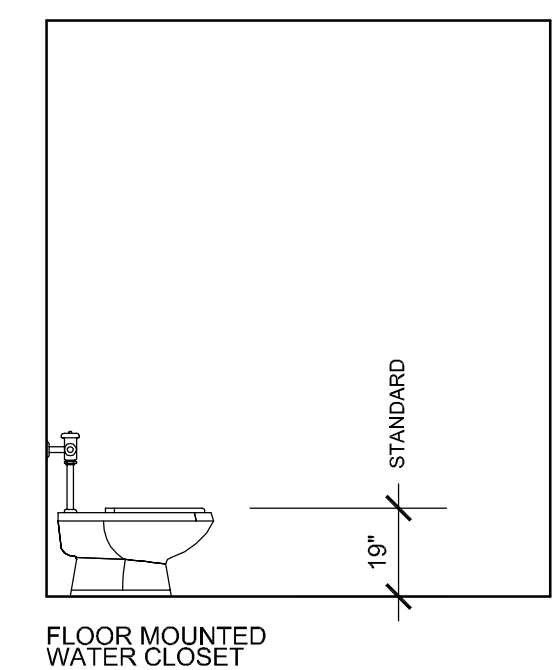
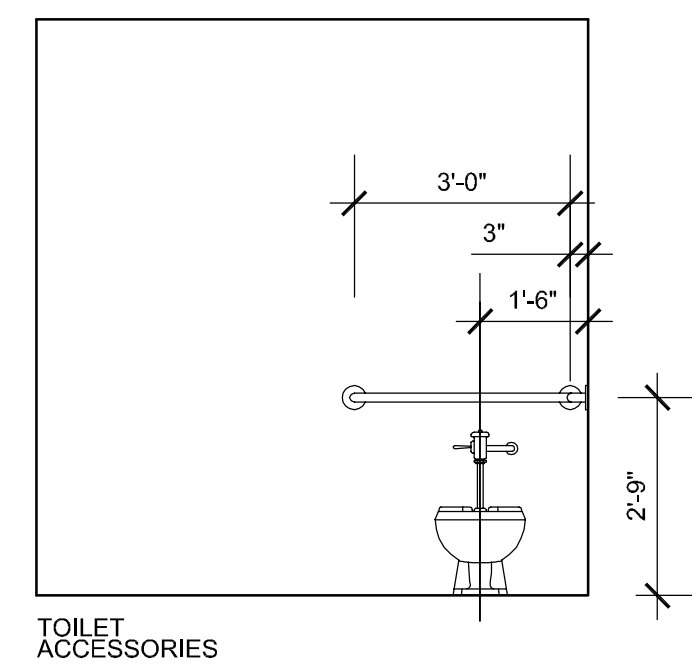
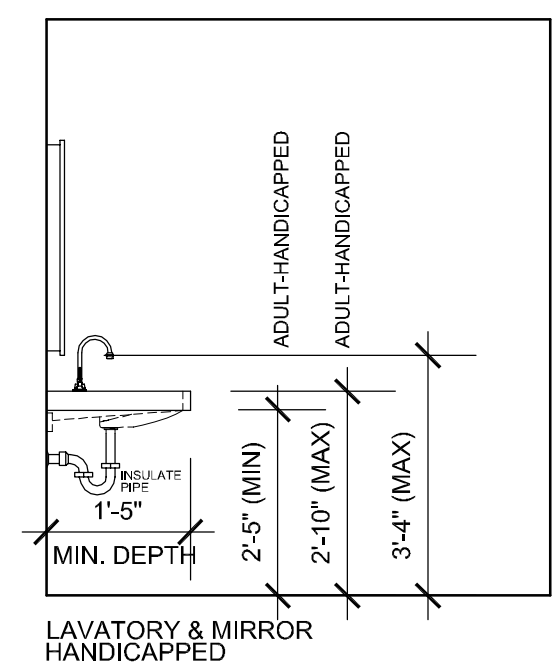
A-1



1 MENS ELEVATIONS
3/8" = 1'-0"



2 WOMENS ELEVATIONS
3/8" = 1'-0"



- ACCESSIBLE IMPROVEMENTS**
1. THE EXISTING DRINKING FOUNTAINS SHALL BE IN COMPLIANCE WITH FBC 11-4.15. SPOUTS SHALL BE NO HIGHER THAN 36" FROM THE GROUND SURFACE TO THE SPOUT OUTLET. THE WALL MOUNTED CANTILEVERED UNIT SHALL HAVE KNEE SPACE BETWEEN THE BOTTOM OF THE APRON AND THE GROUND OR FLOOR OF AT LEAST 27" HIGH AND 30" WIDE AND 17" TO 19" DEEP.
 2. THE ACCESSIBLE WATER CLOSET SHALL BE IN COMPLIANCE WITH FBC 11-4.16. THE HEIGHT OF THE WATER CLOSET SHALL BE 17" TO 18" MEASURED TO THE TOP OF THE TOILET SEAT. SEATS SHALL NOT BE SPRUNG TO RETURN TO A LIFTED POSITION. FLUSH CONTROLS SHALL BE HAND OPERATED AND SHALL COMPLY WITH SECTION 11-4.27.4. THE HC STALL SHALL BE 36" WIDE AND THE DOOR IS TO BE 32" WIDE.
 3. LAVATORIES SHALL BE MOUNTED WITH THE RIM OR COUNTER SURFACE NO HIGHER THAN 34" ABOVE THE FINISH FLOOR. PROVIDE A CLEARANCE OF 29 INCHES ABOVE THE FINISH FLOOR TO THE BOTTOM OF THE APRON. A CLEAR FLOOR SPACE OF 30" X 48" SHALL BE PROVIDED IN FRONT OF THE LAVATORY TO ALLOW FORWARD APPROACH.
 4. MIRRORS SHALL BE MOUNTED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE NO HIGHER THAN 40" ABOVE THE FINISH FLOOR.
 5. HC ACCESSORY MOUNTING HEIGHTS BELOW:

3 ACCESSIBILITY
3/8" = 1'-0"

Bd

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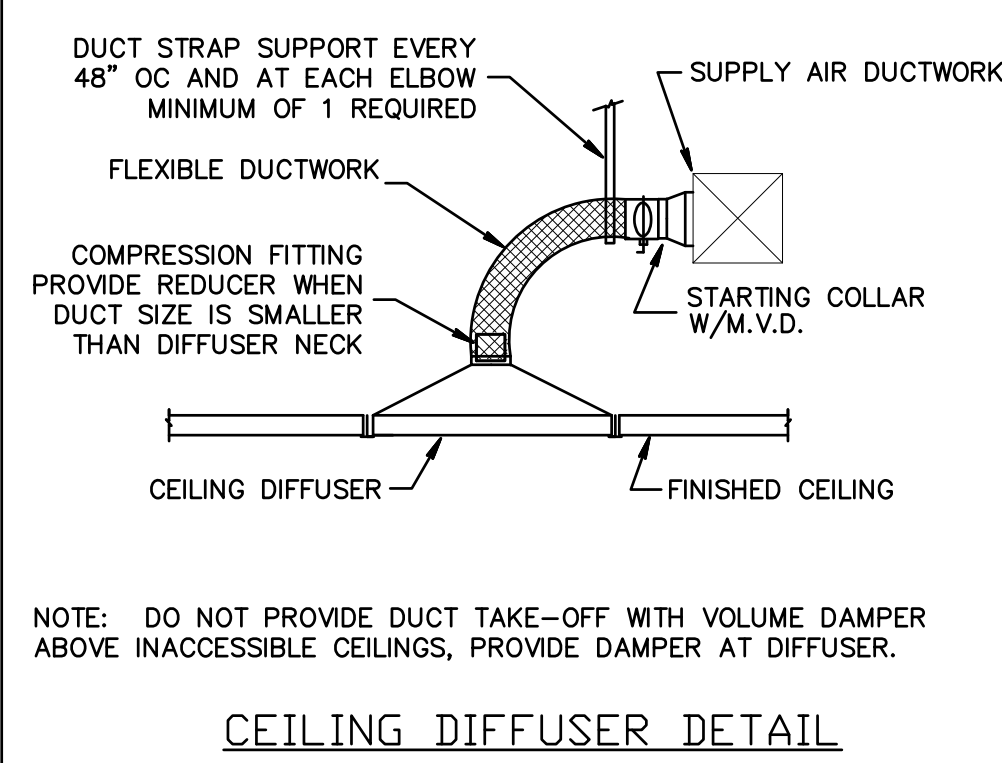
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A-2

GENERAL DEMOLITION NOTES

- UNLESS OTHERWISE NOTED, ALL EQUIPMENT AND DUCTWORK IN THE PROJECT AREA WHICH IS NOT INDICATED TO REMAIN, IS TO BE REMOVED. THE CONTRACTOR SHALL INVESTIGATE THE PROJECT AREA PRIOR TO BID TO DETERMINE ALL REQUIRED DEMOLITION.
- EXISTING CONDITIONS SHOWN ON THIS DRAWING ARE TAKEN FROM ORIGINAL DRAWINGS AND FIELD INVESTIGATION. ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO BID. FIELD CONDITIONS SHALL GOVERN.
- DEMOLITION WORK IS NOT SPECIFICALLY IDENTIFIED ON THESE PLANS, AND MAY BE DESCRIBED ON THE ARCHITECTS PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED DEMOLITION WHETHER SHOWN ON THE PLANS OR NOT.
- ALL MECHANICAL SYSTEMS SERVING OTHER SPACES OR FLOORS, THAT RUN THROUGH THE PROJECT AREA SHALL REMAIN ACTIVE DURING CONSTRUCTION, SO AS NOT TO CAUSE ANY DISRUPTION TO THESE OTHER SPACES.
- ALL ITEMS REMOVED UNDER THIS PROJECT SHALL BE DISPOSED OF OR TURNED OVER TO THE OWNER AT THE OWNER'S DISCRETION.
- PROPERLY REMOVE AND DISPOSE OF ALL HVAC DUCTWORK AND AIR DISTRIBUTION DEVICES WHICH ARE TO BE REMOVED. CONSULT WITH OWNER AND OBTAIN THE OWNER'S APPROVAL PRIOR TO DISPOSAL OF REMOVED MATERIAL.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL PIPING AND DUCTS, NEW OR EXISTING, WITHIN THE PROJECT AREA, ARE PROPERLY SUPPORTED.
- ANY UN-USED DUCT OPENINGS ARE TO BE CLOSED, SEALED AND INSULATED WITH MATERIALS AND METHODS TO MATCH EXISTING INSTALLATIONS.



NOTE: DO NOT PROVIDE DUCT TAKE-OFF WITH VOLUME DAMPER ABOVE INACCESSIBLE CEILINGS, PROVIDE DAMPER AT DIFFUSER.

CEILING DIFFUSER DETAIL

ABBREVIATIONS

- CFM - CUBIC FEET PER MINUTE.
- O/A - OUTSIDE AIR.
- S/A - SUPPLY AIR.
- R/A - RETURN AIR.
- MVD - MANUAL VOLUME DAMPER
- CWS - CONDENSER WATER SUPPLY
- CWR - CONDENSER WATER RETURN
- EX - EXISTING

LEGEND

- [Symbol] SUPPLY AIR DIFFUSER
- [Symbol] RETURN, EXHAUST OR TRANSFER AIR
- [Symbol] MANUAL VOLUME DAMPER
- [Symbol] THERMOSTAT
- [Symbol] FLEXIBLE DUCT, U.L. CLASS 1
- [Symbol] DUCTWORK NOT SHOWN TO SCALE
- [Symbol] EXISTING DUCT TO REMAIN
- [Symbol] DUCT TRANSITION
- [Symbol] DUCT TAKE-OFF WITH VOLUME DAMPER
- [Symbol] DIFFUSER OR REGISTER TYPE/CFM
- [Symbol] FIRE DAMPER, STYLE B
- [Symbol] DUCT SMOKE DETECTOR WITH AUDIBLE & VISUAL ALARMS
- [Symbol] CONNECTION TO EXISTING

AIR DISTRIBUTION SCHEDULE

MARK	MAKE	MODEL	SIZE	NECK	MATERIAL	BORDER TYPE	MOUNTING TYPE	DAMPER	THROW	FINISH
A	TITUS	TDC-AA	9X9	6"φ	ALUMINUM	3	LAY-IN	AG-100	4 WAY	WHITE
RC	TITUS	50F	-	10X10	ALUMINUM	1	SURFACE	AG-15	-	WHITE

PROVIDE INTEGRAL VOLUME DAMPERS WHERE SHOWN ON PLAN OR WHERE DAMPER IN DUCTWORK IS NOT ACCESSIBLE ABOVE CEILING. PROVIDE SQUARE TO ROUND ADAPTERS WHERE REQUIRED FOR ROUND DUCT CONNECTION. PROVIDE SQUARE TO ROUND ADAPTERS WHERE REQUIRED FOR ROUND DUCT CONNECTION. PROVIDE SQUARE TO ROUND ADAPTERS WHERE REQUIRED FOR ROUND DUCT CONNECTION. PROVIDE FLEXIBLE DUCT SIZED TO MATCH S/A DIFFUSER NECK UNLESS NOTED OTHERWISE. FIELD VERIFY EXACT SIZE OF EXISTING SLOT DIFFUSERS PRIOR TO ORDERING NEW.

DRAWING KEYNOTES:

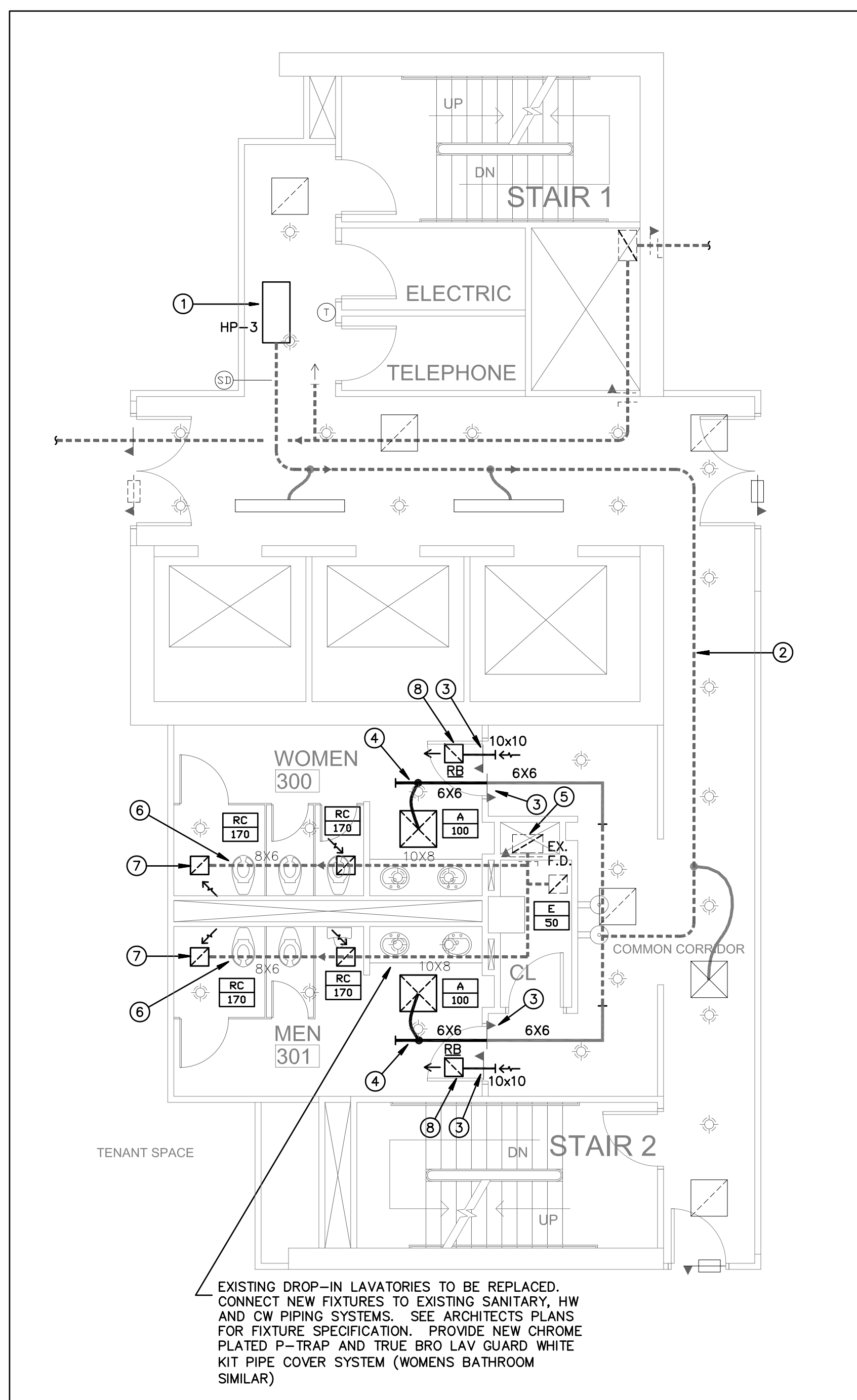
- EXISTING WATER SOURCE HEAT PUMP. SEE CORRIDOR IMPROVEMENT PLANS FOR ALL RELATED WORK OUTSIDE OF THE BATHROOMS, PROVIDED UNDER SEPARATE PERMIT.
- EXISTING SUPPLY AIR DUCT ABOVE CEILING TO REMAIN.
- FIRE DAMPER PROVIDED UNDER SEPARATE PERMIT FOR CORRIDOR IMPROVEMENTS.
- EXTEND S/A DUCT INSIDE BATHROOM AS SHOWN.
- EXISTING EXHAUST AIR DUCT RISER UP TO EXHAUST FAN ON THE ROOF, TO REMAIN AS IS.
- EXISTING EXHAUST AIR DUCT ABOVE CEILING TO REMAIN.
- REPLACE EXISTING EXHAUST GRILLES AS SHOWN, PROVIDE DUCT TRANSITIONS AS REQUIRED TO CONNECT TO EXISTING DUCTWORK ABOVE CEILING.
- PROVIDE NEW TRANSFER AIR DUCT SYSTEM FOR TOILET MAKE-UP AIR AS SHOWN.

HVAC PROJECT SPECIFIC NOTES

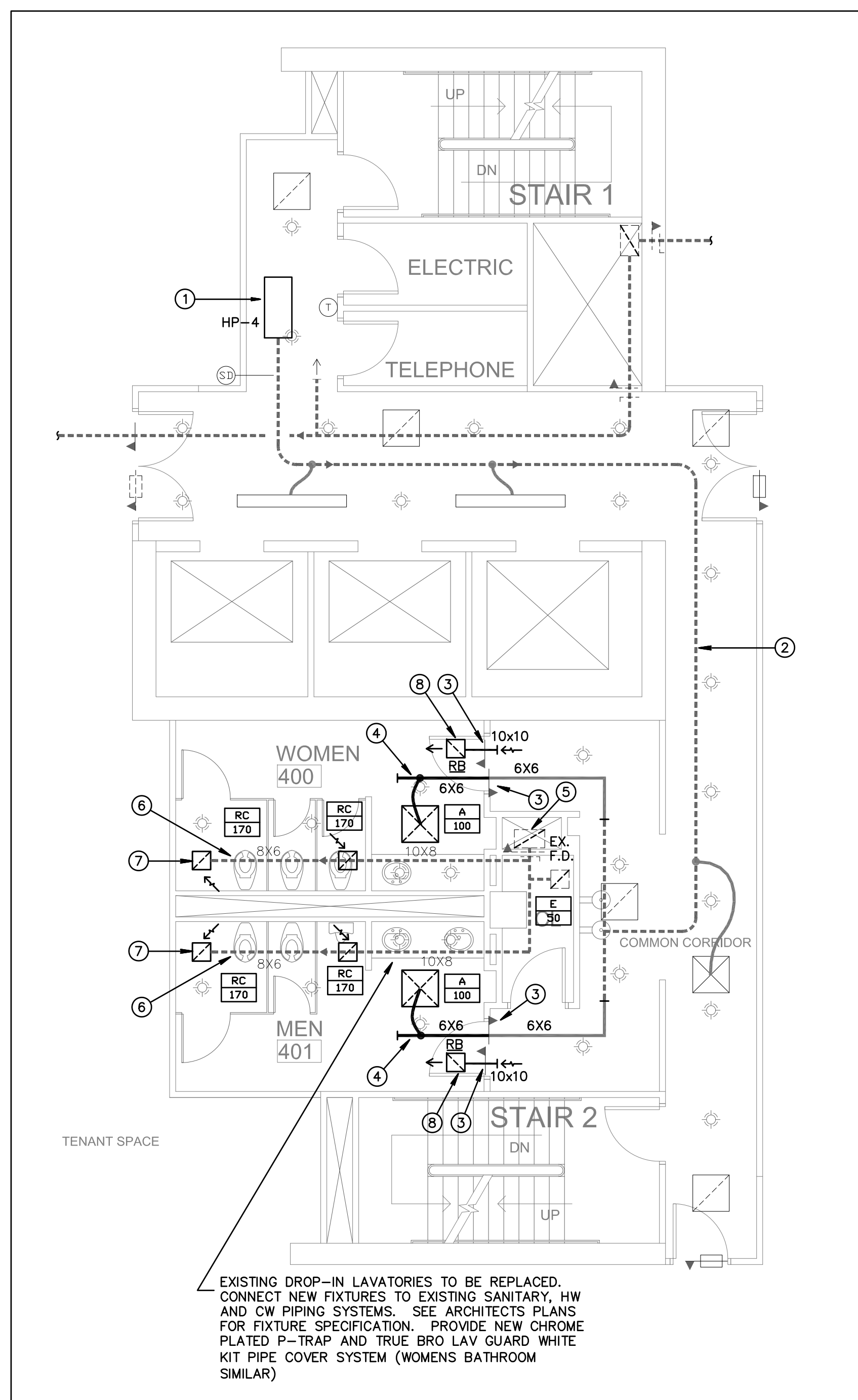
CONTRACTOR IS TO INSPECT ALL EXISTING DUCTWORK SHOWN ON THESE PLANS AS REMAINING. REPAIR AS REQUIRED ANY DAMAGED DUCTWORK OR INSULATION. WHERE DUCTWORK IS SHOWN TO BE PARTIALLY REMOVED, CAP, SEAL, AND INSULATE TO MATCH EXISTING METHODS AND MATERIALS. EXISTING EQUIPMENT WHICH IS REMAINING IS TO BE INSPECTED, ADJUSTED AND REPAIRED WHERE NECESSARY.

MECHANICAL GENERAL NOTES:

- THESE DRAWINGS ARE DIAGRAMMATIC. ALL OFFSETS, FITTINGS, TRANSITIONS AND ACCESSORIES ARE NOT SHOWN. THE CONTRACTOR SHALL INCLUDE IN HIS BID ALL ITEMS REQUIRED TO PROVIDE A COMPLETE AND OPERATIONAL SYSTEM. DO NOT SCALE DRAWINGS FOR INSTALLATION.
- ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER BY LICENSED CONTRACTORS.
- THE CONTRACTOR SHALL OBTAIN AT HIS EXPENSE ALL NECESSARY FEES PERMITS, AND TESTS.
- ALL WORK SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES. NO CONTRACTOR SHALL BID UNLESS FAMILIAR WITH THESE CODES.
- CORRECTION OF DEFECTS TO THIS WORK SHALL BE MADE PROMPTLY WITHOUT CHARGE TO THE OWNER. REPAIR AND REPLACEMENT FOR DAMAGE CAUSED BY THIS CONTRACTOR SHALL BE MADE PROMPTLY WITHOUT CHARGE TO THE OWNER.
- ALL WORK OF THIS TRADE SHALL BE COORDINATED WITH ALL OTHER TRADES TO AVOID ANY INTERFERENCES THAT MAY DELAY PROGRESS OF CONSTRUCTION.
- THE CONTRACTOR SHALL INCLUDE THE WORK OF ALL REQUIRED SUB-CONTRACTORS, SUCH AS ELECTRICAL, INSULATING, TEST & BALANCE, ETC., AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM.
- EQUIPMENT SHALL BEAR A U.L. OR OTHER RECOGNIZED LABEL, NAMEPLATES, WIRING DIAGRAMS, AND ENERGY RATINGS AS APPLICABLE.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND ACCESSORIES TO BE READILY ACCESSIBLE FOR SERVICING, TESTING, BALANCING, AND REPLACEMENT.
- THE CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE AGAINST DEFECTS IN ALL MATERIALS AND WORKMANSHIP FOR ONE YEAR FROM ACCEPTANCE, WITH FOUR ADDITIONAL YEARS OF WARRANTY ON COMPRESSORS.
- THE CONTRACTOR SHALL PROVIDE THREE COPIES OF SUBMITTAL DATA, SHOP DRAWINGS, AND AT COMPLETION OF THE PROJECT TWO SETS OF OPERATION AND MAINTENANCE MANUALS FOR ALL PROJECT ITEMS.
- PROVIDE ALL CONTROLS, STARTERS, CONTROL WIRING, DISCONNECTS, AND OTHER ELECTRICAL EQUIPMENT AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM.
- THE HVAC CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, ON SITE, A DETAILED AS-BUILT PLAN SHOWING ACTUAL INSTALLATIONS. THE CONTRACTOR IS TO PROVIDE A NEATLY DRAWN COMPREHENSIVE AS-BUILT SET OF PLANS UPON COMPLETION, WHICH ARE SUITABLE FOR SUBMISSION TO THE BUILDING DEPARTMENT AND TO THE OWNER.
- PRIOR TO ACCEPTANCE BY THE OWNER THE SYSTEMS SHALL BE TESTED AND BALANCED BY AN INDEPENDENT NEBB CERTIFIED T&B CONTRACTOR EXPERIENCED WITH THIS SYSTEM, AND CERTIFIED T&B REPORTS SUBMITTED.
- SUPPLY AND INSTALL DUCT MOUNTED SMOKE DETECTORS AS REQUIRED.
- COORDINATE LOCATION OF CEILING DIFFUSERS, GRILLES AND REGISTERS IN THE FIELD WITH LIGHTS AND ARCHITECTURAL ELEMENTS.
- ALL GRILLES TO BE TITUS OR METALLAIRE UNLESS OTHERWISE NOTED, SIZES AS SHOWN ON PLANS, ALUMINUM CONSTRUCTION.
- ALL DUCT WORK SHALL BE BUILT AND INSTALLED IN ACCORDANCE WITH SMACNA STANDARDS AND LOCAL BUILDING CODES.
- ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS.
- ALL OUTSIDE AIR DUCTWORK SHALL BE SHEETMETAL WITH EXTERIOR R-6 INSULATION. PROVIDE BLANKET TYPE INSULATION IN CONCEALED SPACES, AND BOARD TYPE IN EXPOSED AREAS.
- ALL EXHAUST AIR DUCT SHALL BE GALVANIZED SHEET METAL CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH ASHRAE AND SMACNA STANDARDS.
- FLEXIBLE DUCT, WHERE SHOWN, SHALL BE U.L. CLASS 1, R-6 INSULATION.
- LOW PRESSURE SUPPLY AND RETURN DUCTWORK IS RIGID DUCTBOARD WITH VAPOR BARRIER, 1 IN. THICK, R-4.2 INSULATION, EXCEPT AS NOTED.
- PROVIDE ELBOW TURNING VANES IN ALL RECTANGULAR DUCTS WHERE TURNS ARE GREATER THAN 45 DEGREES.
- PROVIDE BACKDRAFT DAMPERS FOR ALL EXHAUST FANS.
- VERIFY ALL THERMOSTAT LOCATIONS WITH THE ARCHITECT.
- CONDENSATE DRAIN PIPING IS COPPER WITH SOLDERED FITTINGS AND ARMAFLEX INSULATION.



PROPOSED HVAC 3RD FLOOR PLAN
SCALE: 3/16" = 1'-0"



PROPOSED HVAC 4TH FLOOR PLAN
SCALE: 3/16" = 1'-0"

Bd

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RESTROOM UPGRADE

1400 CENTREPARK BLVD
3RD & 4TH FLOORS
WEST PALM BEACH, FL 33401
PROJECT NUMBER CP24

REVISIONS

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ELECTRICAL NOTES

- DO NOT SCALE THE ELECTRICAL DRAWINGS. REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT. CONFIRM WITH OWNERS REPRESENTATIVE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE NFPA-70 (2005), THE LIFE SAFETY CODE NFPA-101 (2003), THE NATIONAL FIRE ALARM CODE NFPA-72 (2002), AND THE FLORIDA BUILDING CODE (FBC 2004, WITH 2007 SUPPLEMENTS).
- MINIMUM WIRE SIZE SHALL BE #12 A.W.G., EXCLUDING CONTROL WIRING. UNLESS OTHERWISE NOTED ALL CONDUCTORS SHALL BE COPPER WITH THWN INSULATION.
- OUTLET BOXES SHALL BE SHEET STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET OR DAMP LOCATIONS AND SPECIAL ENCLOSURES AS REQUIRED FOR OTHER CLASSIFIED AREAS.
- DISCONNECT SWITCHES SHALL BE HP. RATED, HEAVY DUTY, QUICK-MAKE, QUICK-BREAK ENCLOSURES AS REQUIRED BY EXPOSURE.
- MOTOR STARTERS SHALL BE MANUAL OR MAGNETIC, WITH OVERLOAD RELAYS IN EACH HOT LEG.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
- ELECTRICAL SYSTEM SHALL BE COMPLETE AND EFFECTIVELY GROUNDED AS REQUIRED BY THE LATEST EDITION OF THE N.E.C.
- ALL MATERIALS SHALL BE NEW AND BEAR UNDERWRITERS' LABELS WHERE APPLICABLE.
- ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE, AND ACCEPTED BY ENGINEER/ARCHITECT.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE.
- CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
- CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS, AND TESTING.
- THE ELECTRICAL INSTALLATION SHALL MEET ALL STANDARD REQUIREMENTS OF POWER AND TELEPHONE COMPANIES.
- FURNISH AND INSTALL DISCONNECT SWITCHES AND WIRING FOR AIR CONDITIONING SYSTEM AS PER MANUFACTURERS RECOMMENDATIONS. CONTROLS ARE TO BE SUPPLIED BY AIR CONDITIONING CONTRACTOR AND CONNECTED BY ELECTRICAL CONTRACTOR.
- ALL RACEWAYS UNDERGROUND SHALL BE A MINIMUM OF 3/4" CONDUIT.
- ALL CIRCUIT BREAKERS, TWO AND THREE POLE, TO BE COMMON TRIP. NO TIE HANDLES, OR TANDEM WILL BE ACCEPTED.
- ALL FUSES, UNLESS NOTED ON DRAWING, SHALL BE CURRENT LIMITING (C.L.) RATED FOR 200,000 A.I.C.
- ALL ELECTRICAL EQUIPMENT, DEVICES, WIRE, ETC., SHALL BE LISTED, FOR THE INTENDED USE, WITH UNDERWRITER'S LABORATORIES, INC. (UL), WHERE STANDARDS HAVE BEEN ESTABLISHED BY UL.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN, ON SITE, A DETAILED AS-BUILT PLAN SHOWING ACTUAL INSTALLATIONS. THE CONTRACTOR IS TO PROVIDE A NEATLY DRAWN COMPREHENSIVE AS-BUILT SET OF PLANS UPON COMPLETION, WHICH ARE SUITABLE FOR SUBMISSION TO THE BUILDING DEPARTMENT AND THE OWNER.

LIGHTING FIXTURE SCHEDULE

SYMBOL	TYPE	MOUNT	LAMP	VOLT	MANUFACTURER	CATALOG	REMARKS
(A)	FLUORESCENT DOWNLIGHT	RECESSED	(1)26WTT 35K	277	PRESCOLITE	CF7632HEB-STF602H	(2)
(B)	EXIT LIGHT	SURFACE	BY MFR.	277	DUAL LITE	LXURW	(1)

- PROVIDE SINGLE OR DUAL FACE, WALL OR CEILING MOUNT, AS SHOWN ON PLANS. CONNECT FIXTURES TO UNSWITCHED HOT LEG OF CIRCUIT.
- PROVIDE MANUFACTURERS LABEL FOR MAXIMUM OF 26 WATT LAMP. TOTAL FIXTURE INPUT POWER TO BE 28 WATTS MAXIMUM.

LIGHTING POWER COMPLIANCE

(PER TABLE 13-415.2.B, FBC CHAPTER 13)

SPACE TYPE	TOTAL AREA (SQ.FT.)	ALLOWANCE PER SQ.FT.	SUB-TOTAL ALLOWANCE	DESIGN
RESTROOMS	714	0.9	643	560
TOTALS			643	560

KEYNOTES

- CONNECT DESIGNATED EMERGENCY LIGHTING FIXTURES TO EXISTING EMERGENCY POWER LIGHTING CIRCUIT SERVING THIS AREA. SEE PLANS OF CORRIDOR IMPROVEMENTS PROVIDED UNDER SEPARATE PERMIT FOR WORK OUTSIDE OF THE REST ROOMS.
- CONNECT NORMAL POWER LIGHTING FIXTURES TO EXISTING NORMAL POWER LIGHTING CIRCUIT SERVING THIS AREA.
- EXISTING FIRE ALARM STROBE @ 72" A.F.F. TO BE REMOVED AND REPLACED WITH NEW 75 CANDELA DEVICES MOUNTED @ 80" A.F.F. FIELD VERIFY THE EXACT QUANTITY OF DEVICES REQUIRED. (THERE ARE SOME COMPLIANT DEVICES EXISTING, MATCH THESE DEVICES). TYPICAL FOR ALL STROBES SHOWN.
- REPLACE EXISTING DEVICES IN THE AREA OF WORK WITH NEW DEVICES AND FACEPLATES, VERIFY COLOR WITH ARCHITECT.
- PROVIDE RELAYS, POWER PACKS AND ANY OTHER EQUIPMENT AS REQUIRED TO CONNECT OCCUPANCY SENSOR FOR CONTROL OF MULTIPLE LIGHTING CIRCUITS AS INDICATED.

ELECTRICAL LEGEND

- (A) LIGHTING FIXTURE IDENTIFICATION
- (B) RECTANGULAR LIGHTING FIXTURE - AS NOTED
- (C) RECTANGULAR LIGHTING FIXTURE - EXISTING AS NOTED
- (D) ROUND LIGHTING FIXTURE
- (E) WALL MOUNTED LIGHTING FIXTURE
- (F) EXIT LIGHT ON EMERGENCY POWER CIRCUIT
- (G) RECTANGULAR LIGHTING FIXTURE ON EMERGENCY POWER CIRCUIT
- (H) ROUND LIGHTING FIXTURE ON EMERGENCY POWER CIRCUIT
- (I) DUPLEX RECEPT - 20 AMP (18" A.F.F.)
- (J) DUPLEX RECEPT MOUNTED ABOVE COUNTER - 20 AMP (42" A.F.F.)
- (K) SINGLE POLE TOGGLE SWITCH, 48" AFF
- (L) JUNCTION BOXES
- (M) ELECTRICAL PANELBOARD
- (N) CIRCUIT HOME RUN TO PANELBOARD OR OTHER DEVICE AS INDICATED
- (O) CONDUIT CONCEALED
- (P) EXISTING DUPLEX RECEPTACLE TO REMAIN.
- (Q) TELEPHONE/DATA OUTLET - EXISTING TO REMAIN
- (R) EXISTING DEVICE TO REMAIN AS IS
- (S) EXISTING DEVICE TO BE RELOCATED AS SHOWN.
- (T) NEW DEVICE IN EXISTING OUTLET BOX (REPLACE EXISTING DEVICE)
- (U) EXISTING SINGLE POLE TOGGLE SWITCH TO REMAIN.
- (V) CONCEALED CIRCUIT AS NOTED
- (W) OCCUPANCY SENSOR, CEILING MOUNT, HUBBELL OMNI DT-2000
- (X) LIGHTING CONTACTOR
- (Y) AFF ABOVE FINISHED FLOOR

FIRE ALARM LEGEND

- (F) MANUAL PULL STATION
- (S) WALL MOUNT SPEAKER/STROBE
- (S) PHOTOELECTRIC SMOKE DETECTOR
- (L) ADA COMPLIANT STROBE LIGHT
- (M) MONITOR MODULE
- (D) DUCT SMOKE DETECTOR W/O RELAY
- (R) CONTROL MODULE OUTPUT RELAY
- (H) HEAT DETECTOR
- (S) CEILING SPEAKER
- (F) FIREMAN'S TELEPHONE OUTLET

AUDIBLE ALARMS SHALL HAVE A MINIMUM LEVEL OF 15 DBA IN EXCESS OF THE AMBIENT SOUND LEVEL OF THE ROOM, AND SHALL OTHERWISE BE IN ACCORDANCE WITH FBC 11-4.28.2.

VISUAL ALARMS SHALL HAVE A MINIMUM LEVEL OF 75 CANDELA AND SHALL OTHERWISE BE IN ACCORDANCE WITH FBC 11-4.28.3.

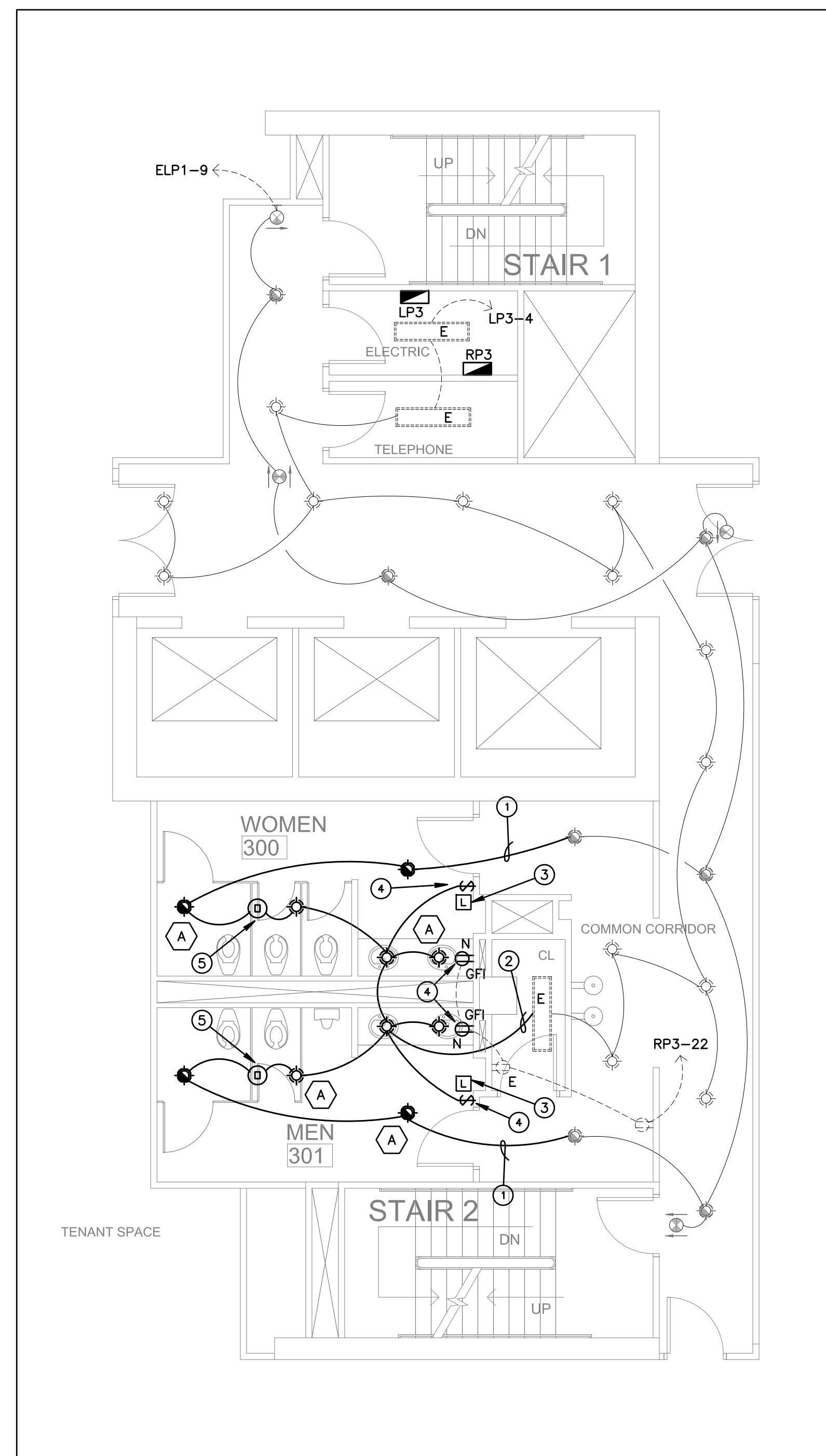
PROVIDE A RE-CERTIFICATION OF THE FIRE ALARM SYSTEM UPON COMPLETION OF WORK.

NEW FIRE ALARM DEVICES ARE TO BE COMPATIBLE WITH EXISTING SYSTEM. PROVIDE ADDITIONAL POWER SUPPLIES AS REQUIRED. PROVIDE ADDITIONAL HORNS AND STROBES AS REQUIRED TO MEET AUDIBLE AND VISIBLE REQUIREMENTS OF NFPA 72, ADA, AND NFPA 101. VERIFY EXISTING POINT OF CONNECTION TO EXISTING SYSTEM. EXISTING DEVICES MAY BE RE-USED AT THE DISCRETION OF THE LANDLORD, VERIFY ALL SUCH EQUIPMENT PRIOR TO BID.

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NEW AND EXISTING ELECTRICAL SYSTEMS, FIXTURES, DEVICES, AND OTHER EQUIPMENT RELATED TO THE AREA OF WORK ARE IN GOOD WORKING ORDER. REPAIR AS NEEDED.

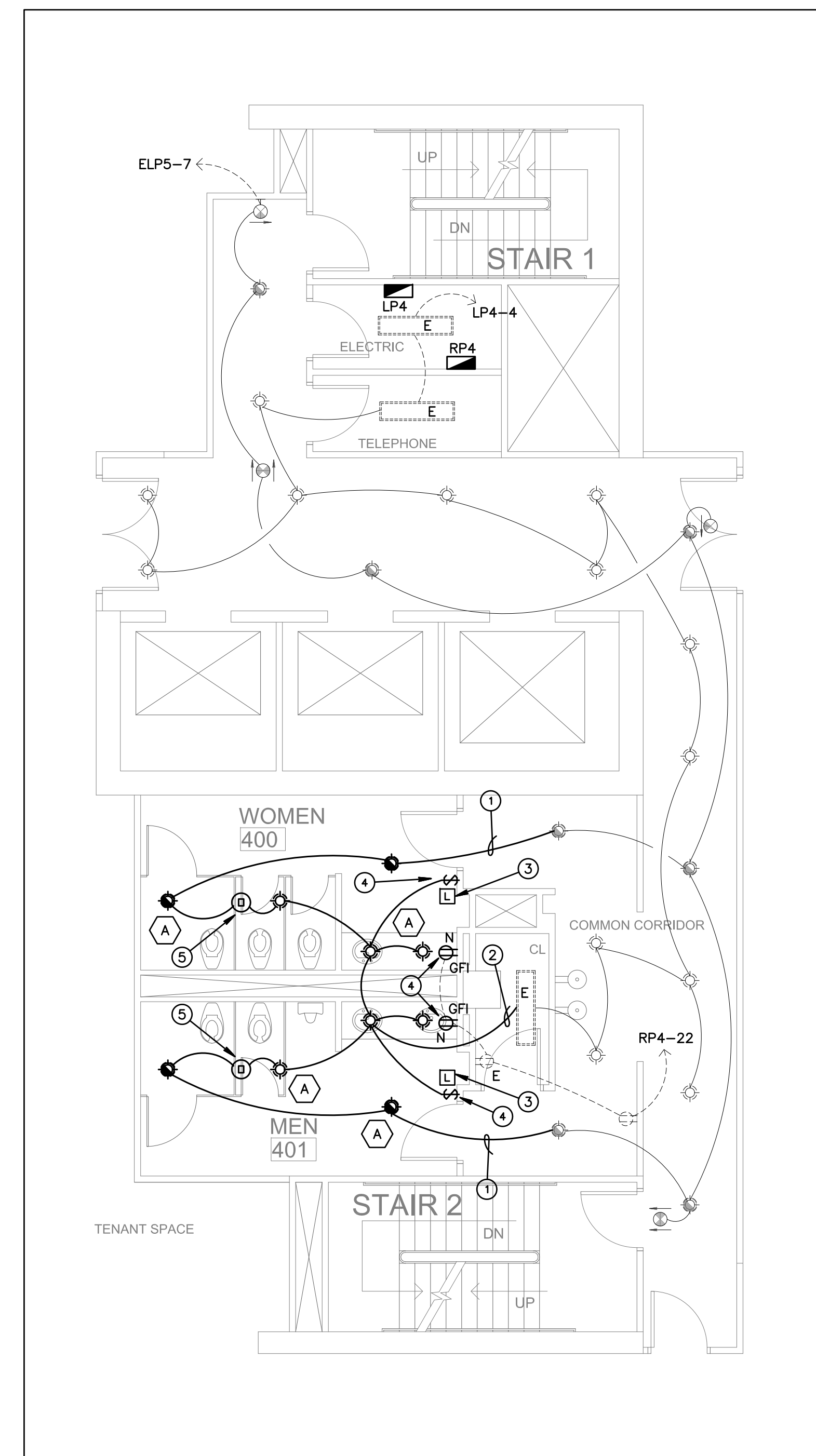
GENERAL DEMOLITION NOTES

- UNLESS OTHERWISE NOTED, ALL EQUIPMENT, WIRING DEVICES, LIGHT FIXTURES, CONDUIT AND WIRE IN THE PROJECT AREA WHICH IS NOT INDICATED TO REMAIN, IS TO BE REMOVED. THE CONTRACTOR SHALL INVESTIGATE THE PROJECT AREA PRIOR TO BID TO DETERMINE ALL REQUIRED DEMOLITION.
- EXISTING CONDITIONS SHOWN ON THIS DRAWING ARE TAKEN FROM ORIGINAL DRAWINGS AND FIELD INVESTIGATION. ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO BID. FIELD CONDITIONS SHALL GOVERN.
- DEMOLITION WORK IS NOT SPECIFICALLY IDENTIFIED ON THESE PLANS, AND MAY BE DESCRIBED ON THE ARCHITECTS PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED DEMOLITION WHETHER SHOWN ON THE PLANS OR NOT.
- ALL CONDUITS SERVING OTHER SPACES OR FLOORS, THAT RUN THROUGH THE PROJECT AREA SHALL REMAIN ACTIVE DURING CONSTRUCTION, SO AS NOT TO CAUSE ANY DISRUPTION TO THESE OTHER SPACES.
- ALL ITEMS REMOVED UNDER THIS PROJECT SHALL BE DISPOSED OF OR TURNED OVER TO THE OWNER AT THE OWNER'S DISCRETION.
- PROPERLY REMOVE AND DISPOSE OF ALL ELECTRICAL EQUIPMENT, CONDUIT AND WIRING WHICH IS TO BE REMOVED. CONSULT WITH OWNER AND OBTAIN THE OWNERS APPROVAL PRIOR TO DISPOSAL OF REMOVED MATERIAL.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL CONDUITS, NEW OR EXISTING, WITHIN THE PROJECT AREA, ARE PROPERLY SUPPORTED AND PROVIDED WITH BONDING BUSHINGS IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE.



PARTIAL 3RD FLOOR ELECTRICAL PLAN

SCALE: 3/16" = 1'-0"



PARTIAL 4TH FLOOR ELECTRICAL PLAN

SCALE: 3/16" = 1'-0"

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RESTROOM UPGRADE

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 3RD & 4TH FLOORS
 WEST PALM BEACH, FL 33401

PROJECT NUMBER CP24

REVISIONS

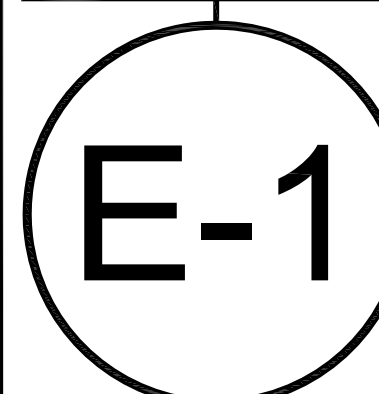
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