

EDUCATION AFFILIATES

TENANT IMPROVEMENT FOR MEDVANCE INSTITUTE

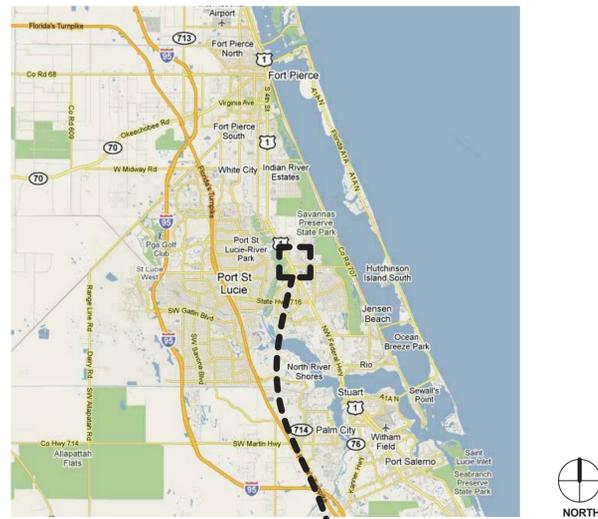
MEDVANCE INSTITUTE of PORT ST. LUCIE, FLORIDA

in the EAST PORT PLAZA

RCG

RCG ARCHITECTS
509 South Exeter Street
Suite 300
Baltimore, MD 21202
phone: 410.685.7033
fax: 410.783.0090

LOCATION MAP



PROJECT DESCRIPTION

NAME OF FACILITY: MEDVANCE INSTITUTE		PROJECT NAME / DESCRIPTION: EAST PORT PLAZA - MEDVANCE INSTITUTE - PORT ST. LUCIE MODIFICATION TO ROOMS WITHIN AN EXISTING TENANT SPACE FOR AN ADMINISTRATIVE / FACULTY AREA & SIMULATION SUITE	
9022 South US Highway 1 Port St. Lucie, FL 34952			
FACILITY REPRESENTATIVE:		PHONE #	
PROJECT ARCHITECT: RCG ARCHITECTS		PHONE # (410) 685-7033	
MUNICIPALITY: CITY OF PORT ST. LUCIE, FL			
CODES			
YEAR	CODE		
2010	FLORIDA BUILDING CODE WITH AMENDMENTS		
2010	FLORIDA FIRE PREVENTION CODE		
2010	ADA STANDARDS		
EXISTING BUILDING INFORMATION			
OCCUPANCY CLASSIFICATION: NEW CONSTRUCTION - TENANT BUILD-OUT, BUSINESS - GROUP B IN EXISTING OFFICE BUILDING, BUSINESS- GROUP B			
CONSTRUCTION TYPE: IIB			
NUMBER OF STORIES:	BUILDING GROSS AREA:	EXISTING TENANT AREA:	
1 TOTAL	47738 SF	33,786 SF	
EXISTING TENANT DEMISING WALLS - 2-HR			
TENANT ALTERATION INFORMATION			
GROSS SQ.FT. OF EXISTING TENANTS: 33,786 SF CURRENT ALTERTION AREA : 2,306 SF			
OCCUPANCY GROUP - B - BUSINESS AREAS: 100 SF PER PERSON GROSS			
OCCUPANT COUNT FOR TENANT - 33,786 SF / 100 = 338 PERSONS			
LEVEL OF ALTERATION - LEVEL 2 (PER F.B.C. 404)			

FIELD VERIFICATION OF EXISTING CONDITIONS REQUIRED

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS. ALL ITEMS SHOWN ON DRAWINGS AS EXISTING TO REMAIN SHALL BE FIELD VERIFIED FOR CONDITION, PROPER SIZE, FUNCTIONALITY, LOCATION AND CODE COMPLIANCE. ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO SUBMITTING A BID. THE BID SHALL INCLUDE ALL ITEMS REQUIRED FOR COMPLETE, PROPERLY FUNCTIONING BUILDING SYSTEMS.

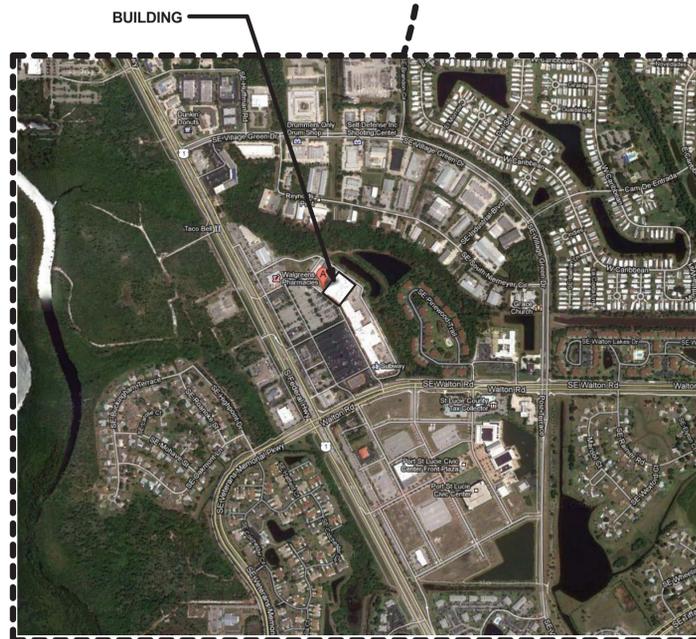
DRAWING LIST

ARCHITECTURAL:	
CS1.0	COVER SHEET
CS1.1	CODE SHEET
D1.1	FIRST FLOOR DEMOLITION
A1.1	FIRST FLOOR PLAN
A2.1	CEILING PLAN - FIRST FLOOR
A5.1	INTERIOR ELEVATIONS
A6.1	CASEWORK DETAILS
A9.1	FINISH AND DOOR SCHEDULE
MECHANICAL:	
M0.0	COVER SHEET MECHANICAL
M0.1	FLOOR PLAN MECHANICAL DEMOLITION
M1.1	FLOOR PLAN MECHANICAL
M2.1	MECHANICAL SCHEDULES AND DETAILS
ELECTRICAL:	
E0.1	COVER SHEET ELECTRICAL
E1.0	FLOOR PLAN DEMOLITION SIM LABS
E1.1	FLOOR PLAN POWER SIMLABS
E1.2	FLOOR PLAN LIGHTING SIMLABS
E2.1	POWER DISTRIBUTION DIAGRAM
E2.2	ELECTRICAL SCHEDULES, DETAILS, AND DIAGRAMS
PLUMBING:	
P0.1	COVER SHEET PLUMBING
P1.0	FLOOR PLAN PLUMBING DEMOLITION
P1.1	FLOOR PLAN PLUMBING
P2.1	PLUMBING SCHEDULES AND DETAILS
FIRE PROTECTION:	
FP0.1	COVER SHEET FIRE PROTECTION
FP1.1	FLOOR PLAN FIRE PROTECTION

GENERAL NOTES

- A. GENERAL RESPONSIBILITIES
 1. Each contractor and subcontractor shall visit the site and examine existing conditions to determine the extent of the work. It shall be the responsibility of each contractor to thoroughly examine and verify existing conditions and make allowances for them prior to bidding.
 2. General Contractors and subcontractors shall review drawings prior to bidding and construction and report any discrepancies to the architect prior to the bid.
 3. General Contractor shall verify all dimensions and report any discrepancies to the architect.
 4. This project shall conform to the latest edition to the governing building code, and all other Federal, State, County, and local codes, ordinances, rules and regulations in effect. All those codes and regulations shall take precedence over the drawings.
 5. Dimensions as indicated on the drawings shall take precedence over scaling of the drawings.
 6. These drawings DO NOT show every minor detail of construction. The contractor shall furnish and install all items required for a complete, properly functioning building system, and shall fulfill all requirements for all equipment to be placed in proper working order. Contractor's bid shall include all items and work to assure compliance with the most with the most stringent requirements of governing building codes and regulations.
 7. Each contractors and subcontractors shall be responsible for the safety and well being of his employees and shall strictly follow all construction safety regulations, including OSHA.
 8. All contractors and subcontractors shall be currently licensed in the state, county, and local cities as required. Provide copies of licenses to Owner prior to commencement of work.
 9. All contractors and subcontractors shall carry the minimum workman's compensation, liability, and automobile insurance required by the state and higher if required by the owner. Provide insurance certificates to Owner before to commencement of work.
 10. Should the scope of work for any reason, for any reason not be fully indicated on the scope of drawings, the contractor shall immediately contact the architect for clarifications.
 11. The work shall be limited to the scope indicated in the drawings and specifications. If any additional work is performed without owners approval, it shall be at the sole expense of the Contractor.
 12. Contractor shall pay for and obtain all permits and secure all certificates of inspections and certificates of occupancy that are required by governing jurisdiction.
 13. Any deviation and/or substitution from the information provided herein shall be submitted to the architect for his approval prior to the performance of the work.
 14. The Contractor shall coordinate all tenant or Owner supplied items, and incorporate it into the Contractor's work schedule. Verify scope of such items prior to bid submittal.
 15. The Contractor shall include into bid and provide all temporary utilities required for the work completion.
 16. Each contractor shall protect its own work and work of other contractors. All conflicts to be resolved by the General Contractor. The General Contractor shall be responsible for the full coordination of work by all trades. Any damages resulting from lack of coordination, lack of work protection shall be the sole responsibility of the General Contractor, that includes all damages from weather, water and dust.
 17. The Contractor shall expedite and schedule the delivery of long lead items to conform with the work schedule.
 18. The Contractor shall warrant and guarantee all work, all component performance, and all material for one year from the date shown on the certificate of occupancy.
- B. SCHEDULES, ORGANIZATION AND COORDINATION
 1. Contractor shall be responsible for scheduling and implementing all work so as not to disrupt or inconvenience adjacent property users.
- C. CLEANING REQUIREMENT
 1. The jobsite shall be maintained in a safe and neat condition at all times. Broom cleaning shall be performed as needed to avoid debris build up.
 2. All building materials shall be stored in a safe and organized manner so as not to interfere with work of other trades.
 3. At project completion, the jobsite shall be fully cleaned and turned over to the occupant ready for them to move in and begin operating without any additional work or cleaning. This requires all surfaces to be cleaned with appropriate cleaning solutions, vacuumed, and waxed/ sealed as appropriate. All windows, mirrors, hardware, cabinetry, and walls finished and fixtures shall be cleaned.
- D. ROOF PENETRATIONS
 1. Any roof penetrations such as vents, chimneys, equipment curbs, and skylights required shall be flashed and sealed to be water tight. If roof is under warranty or bonded, the general contractor shall hire the warranting roof or bonding company to perform all roof modification work.
- E. CODE NOTES
 1. Provide U.L. Rated Fire Extinguishers (Min. rating of 10 lb.ABC) located within 50 foot travel distance from any point within the tenant space. Obtain Fire Marshall approval of locations. At a minimum provide two extinguishers; one located near front exit in an obvious location and the second located in the rear or secondary exit in an obvious location. All extinguishers to have updated inspection labels.
 2. All penetrations in fire rated assemblies shall be sealed with materials approved by governing agencies meeting U.L. (or equal) specifications including installation systems. all ducts penetrating fire rated assemblies shall receive fire dampers.
 3. All doors shall have hardware per N.F.P.A standards. All exit door locks shall have thumb latches requiring less than 180 degrees turn. Entry locks shall not require key operation in the direction of exit.
 4. Adhere to building standards for work affecting common areas.
 5. All doors in rated walls to be U.L. labeled, both door and jamb, with U.L. closers.
 6. Fire resistive standards for interior finishes shall be required per NFPA 101. Documentation shall be provided to the architect prior to final inspection.
 7. All new walls, ceiling grids, lights, conduits, pipes, ducts and wires, whether new or existing, to be braced, strapped, and/or supported per code, and shall meet U.L. and manufacturer specifications.
 8. All fixtures and Hardware shall comply with ADA 2010 standards and State building codes with amendments.
 9. Testing for the presence of hazardous materials shall be the Owners responsibility.
 10. All glass doors and within 4'-0" of doors shall be tempered.

SITE MAP

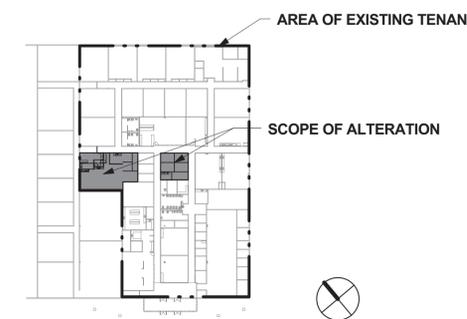


DESIGN TEAM

ARCHITECT:
RCG ARCHITECTS, INC.
509 SOUTH EXETER STREET, SUITE 300
BALTIMORE, MD 21202
PHONE: 410.685.7033
FAX: 410.783.0090

MEP ENGINEER:
Siegel, Rutherford, Bradstock & Ridgway, Inc.
757 Frederick Road - Suite 300
Catonsville, Maryland 21228
PHONE: 410.869.7282

KEY PLAN



Description

Date

No.

SEAL

OWNERS REPRESENTATIVE APPROVAL

DATE

SIGNATURE

SCALE: As indicated

DRAWING TITLE:

COVER SHEET

COVER SHEET

COVER SHEET

COVER SHEET

COVER SHEET

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PORT ST. LUCIE
ADMIN/FAC. AREA & SIM SUITE
9022 South US Highway 1
Port St. Lucie, FL 34952

EDUCATION AFFILIATES

PROJECT NO:
1225

DATE: 03/18/2013

DRAWING NO:

CS1.0

SHEET: ___ OF: ___

CODE PLANS KEY

- EXISTING TENANT SPACE
- 1 HOUR RATED PARTITION
- TRAVEL DISTANCE
- SMOKE PARTITION
- 10' - 0" - DISTANCE FROM NODE TO NODE
- XY - OCCUPANTS USING EXIT / EXIT CAPACITY
- SCOPE OF NEW WORK
- NOT PART OF TENANT SPACE

CODE NOTES

APPLICABLE CODES: FLORIDA BUILDING CODE (2010)

GROSS AREA: TOTAL 33,786 SF
AREA OF NEW WORK: 2,306 SF

USE GROUP: 'B' BUSINESS

OCCUPANCY:
BUSINESS 100 NET SF / PERSON
LAB / VOC. 50 NET SF / PERSON
CLASSROOM 20 NET SF / PERSON

OCCUPANT LOAD PER USE:
SEE TABLE BELOW
TENANT SPACE- 648 PEOPLE

EGRESS REQUIREMENTS:

MINIMUM EXITS: 2 (TABLE 1021.1 - FBC)

PROVIDED EXITS: 3

EGRESS CAPACITY REQUIRED/PROVIDED: 648/990

MAIN ENTRANCE CAPACITY (1/2 REQ./PROVIDED): 324/660

EXIT 2 CAPACITY (1/2 REMAINING / PROVIDED): 162/165

EXIT 3 CAPACITY (1/2 REMAINING / PROVIDED): 162/165

PLUMBING FIXTURE REQUIREMENTS:

8 WATER CLOSETS
6 SINKS
2 DRINKING FOUNTAIN
1 SERVICE SINK

PLUMBING FIXTURE PROVIDED, (EXISTING)

15 WATER CLOSETS
16 SINKS
2 DRINKING FOUNTAIN
1 SERVICE SINK

SPRINKLERS: YES (NFPA 13)

EXITS AND EXIT COMPONENTS (TRAVEL DISTANCES)

EXIT ACCESS: DIRECT EXIT ACCESS SHALL BE PROVIDED TO REQUIRED EXITS THROUGH CONTINUOUS PASSAGE WAYS, AISLE ACCESSWAYS, AISLES OR CORRIDORS WHICH ARE CONVENIENTLY AVAILABLE TO ALL OCCUPANTS AND MAINTAINED FREE OF OBSTRUCTIONS

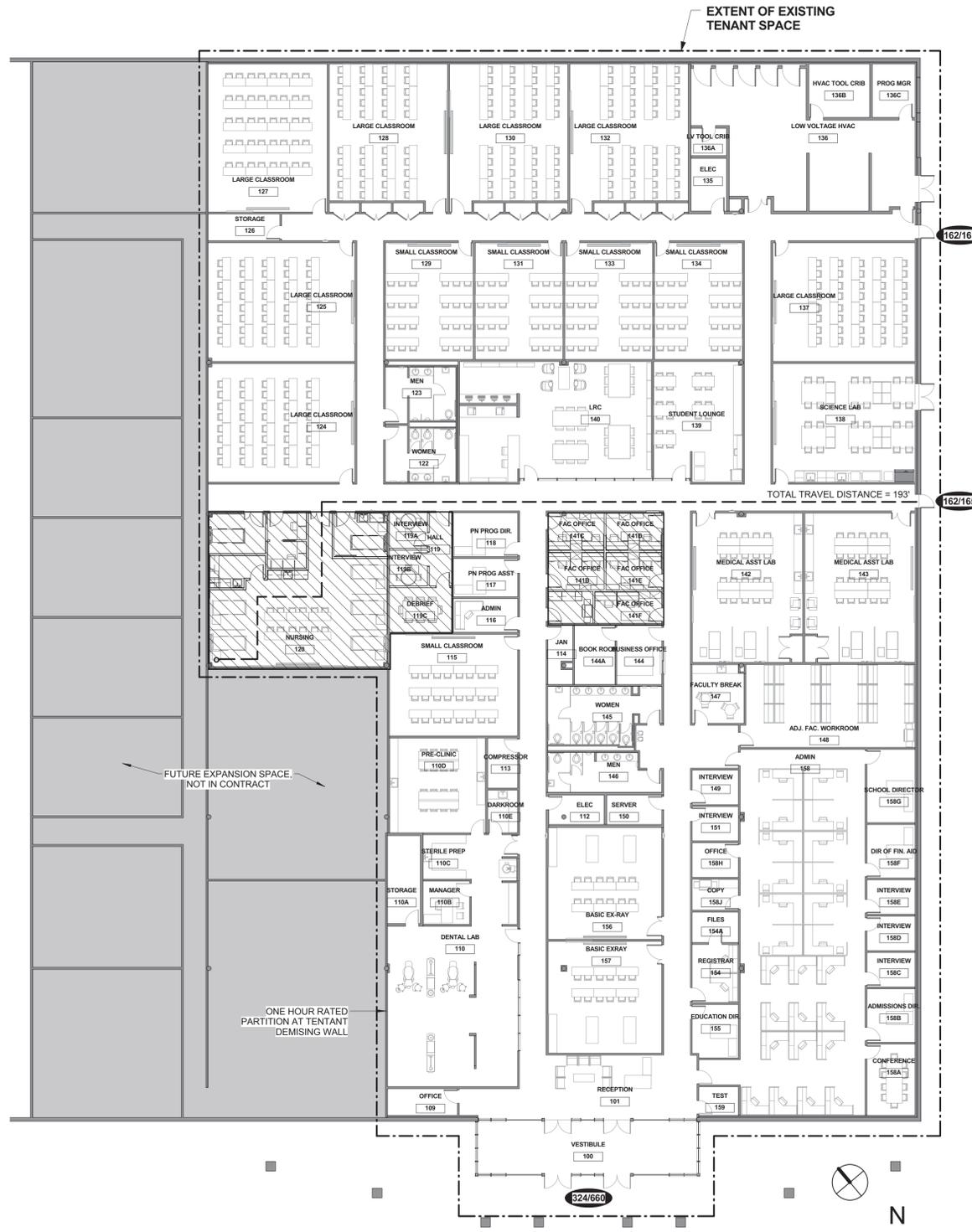
MAXIMUM ROOM / SUITE TO EXIT: BUSINESS- 300 FT (SPRINKLERED) DOOR WIDTHS: 32 INCHES CLEAR

MAXIMUM IN-SUITE TO EXIT CORRIDOR: BUSINESS- 100 FT (SPRINKLERED) MINIMUM CORRIDOR WIDTHS: 44 INCHES

DEAD END: MAXIMUM 50' - 0" IN BUSINESS BUSINESS OCCUPANCY (SPRINKLERED)

EXIT REMOTENESS: 1014.2.1 - EQUAL TO NOT LESS THAN 1/2 THE OVERALL DIAGONAL OR 1/3 IF FULLY SPRINKLERED (EXCEPTION)

OVERALL DIAGONAL = 285' MIN EXIT REMOTENESS (285' / 3) = 95'



1 Level 1 - CODE
1/16" = 1'-0"

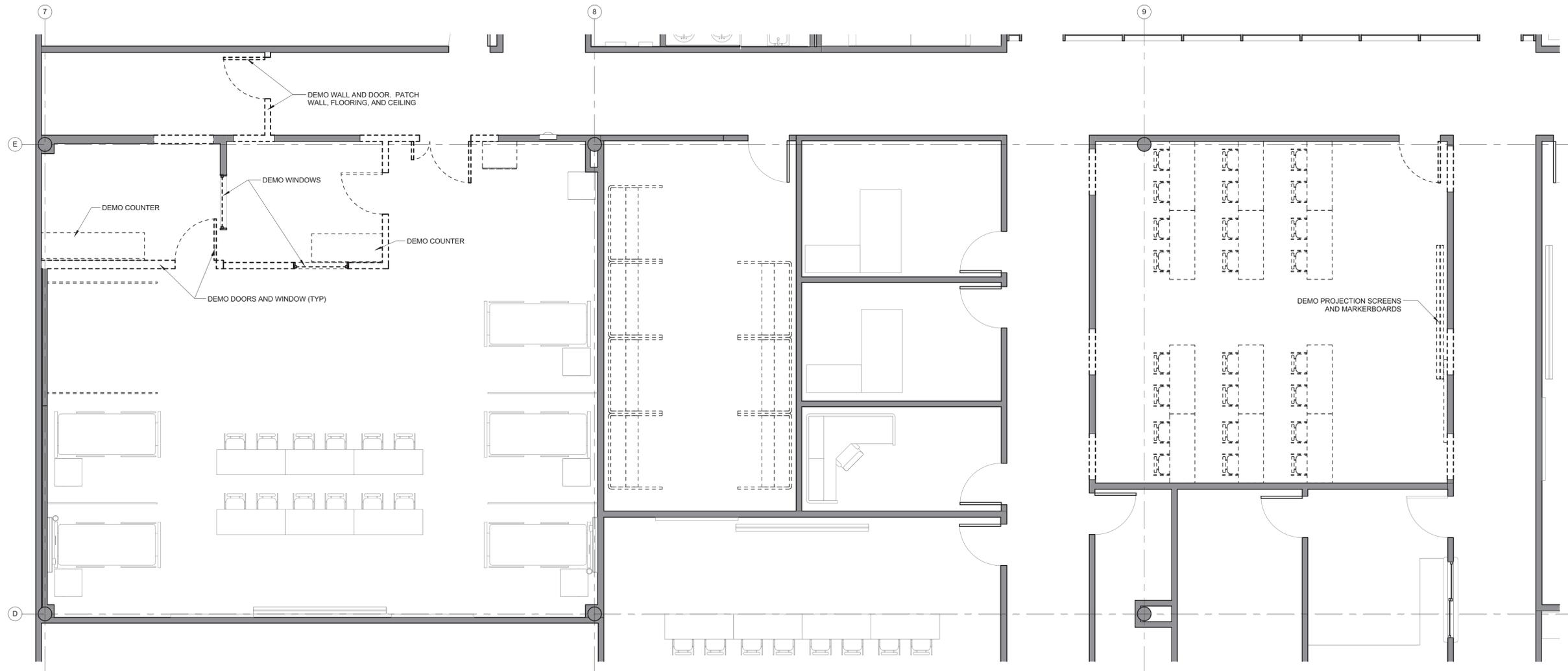
OCCUPANCY LOAD - 1ST FL							
ROOM NO.	Name	CALCULATED AREA (NSF)	OCCUPANCY TYPE/ LOAD FACTOR	ACT'L (DESIGNED TO) OCC.	OCC. LOAD	OCC. LOAD (GREATER OF ACT'L AND CALC.)	REMARKS
119	HALL	82	BUSINESS / 100 PSF	0	0	0	NON-SIMULTANEOUS USE
119A	INTERVIEW	69	BUSINESS / 100 PSF	3	1	0	NON-SIMULTANEOUS USE
119B	INTERVIEW	69	BUSINESS / 100 PSF	3	1	0	NON-SIMULTANEOUS USE
119C	DEBRIEF	140	BUSINESS / 100 PSF	8	2	8	
120	NURSING	896	LAB-VOCATIONAL / 50 PSF	13	19	19	
120A	SIM LAB	99	LAB-VOCATIONAL / 50 PSF	2	2	2	
120B	SIM LAB	98	LAB-VOCATIONAL / 50 PSF	2	2	2	
120C	CONTROL RM	109	BUSINESS / 100 PSF	2	2	2	
120D	PREP RM	81	LAB-VOCATIONAL / 50 PSF	2	2	0	NON-SIMULTANEOUS USE
141A	COPY	72	BUSINESS / 100 PSF	1	1	0	NON-SIMULTANEOUS USE
141B	FAC OFFICE	106	BUSINESS / 100 PSF	2	2	2	
141C	FAC OFFICE	105	BUSINESS / 100 PSF	2	2	2	
141D	FAC OFFICE	106	BUSINESS / 100 PSF	2	2	2	
141E	FAC OFFICE	106	BUSINESS / 100 PSF	2	2	2	
141F	FAC OFFICE	107	BUSINESS / 100 PSF	2	2	2	
100	VESTIBULE	617	N/A	0	0	0	NON-SIMULTANEOUS USE
101	RECEPTION	674	ACCESSORY / 300 PSF	7	3	0	NON-SIMULTANEOUS USE
109	OFFICE	95	BUSINESS / 100 PSF	1	1	1	
110	DENTAL LAB	1197	LAB-VOCATIONAL / 50 PSF	6	24	24	
110A	STORAGE	147	ACCESSORY / 300 PSF	0	0	0	NON-SIMULTANEOUS USE
110B	MANAGER	102	BUSINESS / 100 PSF	2	2	0	NON-SIMULTANEOUS USE
110C	STERILE PREP	94	LAB-VOCATIONAL / 50 PSF	2	2	0	NON-SIMULTANEOUS USE
110D	PRE-CLINIC	462	LAB-VOCATIONAL / 50 PSF	16	8	0	NON-SIMULTANEOUS USE
110E	DARKROOM	65	LAB-VOCATIONAL / 50 PSF	2	2	0	NON-SIMULTANEOUS USE
112	ELEC	81	ACCESSORY / 300 PSF	0	1	0	NON-SIMULTANEOUS USE
113	COMPRESSOR	76	ACCESSORY / 300 PSF	1	1	0	NON-SIMULTANEOUS USE
114	JAN	69	ACCESSORY / 300 PSF	0	1	0	NON-SIMULTANEOUS USE
115	SMALL CLASSROOM	660	CLASSROOM / 20 PSF	24	33	33	
116	ADMIN	110	BUSINESS / 100 PSF	2	2	2	
117	PN PROG ASST	125	BUSINESS / 100 PSF	2	2	2	
118	PN PROG DIR	143	BUSINESS / 100 PSF	2	2	2	
122	WOMEN	193	ACCESSORY / 300 PSF	3	1	0	NON-SIMULTANEOUS USE
123	MEN	193	ACCESSORY / 300 PSF	3	1	0	NON-SIMULTANEOUS USE
124	LARGE CLASSROOM	763	CLASSROOM / 20 PSF	40	38	40	
125	LARGE CLASSROOM	763	CLASSROOM / 20 PSF	40	38	40	
126	STORAGE	98	ACCESSORY / 300 PSF	1	1	0	NON-SIMULTANEOUS USE
127	LARGE CLASSROOM	774	CLASSROOM / 20 PSF	40	38	40	
128	LARGE CLASSROOM	712	CLASSROOM / 20 PSF	40	36	40	
129	SMALL CLASSROOM	418	CLASSROOM / 20 PSF	24	21	24	
130	LARGE CLASSROOM	812	CLASSROOM / 20 PSF	40	38	40	
131	SMALL CLASSROOM	418	CLASSROOM / 20 PSF	24	21	24	
132	LARGE CLASSROOM	712	CLASSROOM / 20 PSF	40	38	40	
133	SMALL CLASSROOM	418	CLASSROOM / 20 PSF	24	21	24	
134	SMALL CLASSROOM	418	CLASSROOM / 20 PSF	24	21	24	
135	ELEC	95	ACCESSORY / 300 PSF	0	1	0	NON-SIMULTANEOUS USE
136	LOW VOLTAGE HVAC	998	BUSINESS / 100 PSF	12	20	20	
136A	LV TOOL CRIB	49	ACCESSORY / 300 PSF	1	1	0	NON-SIMULTANEOUS USE
136B	HVAC TOOL CRIB	164	ACCESSORY / 300 PSF	1	1	0	NON-SIMULTANEOUS USE
136C	PROG MGR	116	BUSINESS / 100 PSF	1	2	2	
137	LARGE CLASSROOM	735	CLASSROOM / 20 PSF	40	37	40	
138	SCIENCE LAB	855	LAB-VOCATIONAL / 50 PSF	25	17	25	
139	STUDENT LOUNGE	531	BUSINESS / 100 PSF	20	6	0	NON-SIMULTANEOUS USE
140	LRC	987	BUSINESS / 100 PSF	30	10	0	NON-SIMULTANEOUS USE
142	MEDICAL ASST LAB	815	LAB-VOCATIONAL / 50 PSF	20	17	20	
143	MEDICAL ASST LAB	816	LAB-VOCATIONAL / 50 PSF	20	17	20	
144	BUSINESS OFFICE	135	BUSINESS / 100 PSF	2	2	2	
144A	BOOK ROOM	121	BUSINESS / 100 PSF	2	2	0	NON-SIMULTANEOUS USE
145	WOMEN	298	ACCESSORY / 300 PSF	6	1	0	NON-SIMULTANEOUS USE
146	MEN	209	ACCESSORY / 300 PSF	3	1	0	NON-SIMULTANEOUS USE
147	FACULTY BREAK	152	BUSINESS / 100 PSF	6	2	0	NON-SIMULTANEOUS USE
148	ADJ. FAC. WORKROOM	718	BUSINESS / 100 PSF	21	8	21	
149	INTERVIEW	81	BUSINESS / 100 PSF	2	1	0	NON-SIMULTANEOUS USE
150	SERVER	82	ACCESSORY / 300 PSF	0	1	0	NON-SIMULTANEOUS USE
151	INTERVIEW	81	BUSINESS / 100 PSF	2	1	0	NON-SIMULTANEOUS USE
154	REGISTRAR	136	BUSINESS / 100 PSF	2	2	2	
154A	FILES	71	BUSINESS / 100 PSF	1	1	0	NON-SIMULTANEOUS USE
155	EDUCATION DIR.	92	BUSINESS / 100 PSF	1	1	1	
156	BASIC EX-RAY	595	LAB-VOCATIONAL / 50 PSF	12	12	12	
157	BASIC EX-RAY	594	LAB-VOCATIONAL / 50 PSF	12	12	12	
158	ADMIN	2025	BUSINESS / 100 PSF	21	21	21	
158A	CONFERENCE	174	BUSINESS / 100 PSF	10	2	0	NON-SIMULTANEOUS USE
158B	ADMISSIONS DIR.	97	BUSINESS / 100 PSF	1	1	1	
158C	INTERVIEW	84	BUSINESS / 100 PSF	2	1	0	NON-SIMULTANEOUS USE
158D	INTERVIEW	84	BUSINESS / 100 PSF	2	1	0	NON-SIMULTANEOUS USE
158E	INTERVIEW	84	BUSINESS / 100 PSF	2	1	0	NON-SIMULTANEOUS USE
158F	DIR OF FIN. AID	97	BUSINESS / 100 PSF	1	1	1	
158G	SCHOOL DIRECTOR	142	BUSINESS / 100 PSF	2	2	2	
158H	OFFICE	81	BUSINESS / 100 PSF	1	1	1	
158J	COPY	73	BUSINESS / 100 PSF	1	1	1	
159	TEST	57	BUSINESS / 100 PSF	1	1	1	

GENERAL NOTES

1. REMOVE ALL CEILINGS AND BULKHEADS AND SUPPORT SYSTEMS INCLUDING HANGERS AND METAL FRAMING OR ANGLES.
2. REMOVE ALL LIGHTING WITH THE EXCEPTION OF TEMPORARY LIGHTING TO BE LEFT BEHIND FOR CONSTRUCTION LIGHTING.
3. REMOVE FLOOR FINISHES AND ADHESIVES AS INDICATED ON THE DRAWINGS.

DEMOLITION NOTES

1. CONTROL OF DUST AND DEBRIS: PRIOR TO BEGINNING DEMOLITION WORK, THE CONTRACTOR SHALL PROVIDE AND INSTALL TEMPORARY PARTITIONS AND THE LIKE WITH NON-COMBUSTIBLE MATERIALS TO CONTROL SOUND, PREVENT THE SPREAD OF DUST, AND TO REDUCE HAZARDS. ONLY NON-COMBUSTIBLE PANELS, FLAME-RESISTANT TARPULINS OR APPROVED MATERIALS OF EQUIVALENT FIRE-RETARDANT CHARACTERISTICS SHALL BE USED. ANY OTHER FABRICS AND/OR PLASTIC FILMS USED SHALL BE CERTIFIED TO CONFORM TO NFPA 701 (STANDARD METHODS OF FIRE TESTS FOR FLAME-RESISTANT TEXTILES AND FILMS). ENCLOSURES SHALL COMPLY WITH NFPA 241 (STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS).
2. EXTENT OF DEMOLITION WORK: UNLESS OTHERWISE NOTED, ALL EXISTING CONSTRUCTION IDENTIFIED BY DOTTED OR DASHED LINES IS TO BE REMOVED UNDER THIS CONTRACT. EXISTING WORK TO REMAIN IS SHOWN WITH SOLID GREY FILL. DEMOLITION WORK IS SHOWN ON DM SERIES DRAWINGS. HOWEVER, SOME DEMOLITION WORK MAY BE INDICATED ON OTHER ARCHITECTURAL DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT SCOPE OF SELECTIVE DEMOLITION THROUGH FIELD INSPECTION WITH THE DRAWINGS. THE FINAL EXTENT OF SELECTIVE DEMOLITION WORK INCLUDES ALL REMOVAL NECESSARY TO MAKE WAY FOR THE NEW WORK SHOWN AND SPECIFIED.
3. SEE M/E/P DRAWINGS FOR MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION NOTES.
4. IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, PROMPTLY NOTIFY THE GENERAL CONTRACTOR AND STOP WORK IN THAT AREA. CONTRACTOR SHALL COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES CONCERNING REMOVAL, HANDLING AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.
5. FLOORS: REMOVE ALL FLOOR FINISHES THROUGHOUT TENANT SPACE AS NOTED IN DEMO PLANS.
6. PARTITIONS: PARTITIONS SHOWN TO BE REMOVED INCLUDE, BUT ARE NOT LIMITED TO, BLOCK AND METAL STUD PARTITIONS WITH GYPSUM WALLBOARD FINISHES. FULL HEIGHT PARTITIONS SHALL BE REMOVED COMPLETELY FROM FLOOR STRUCTURE TO UNDERSIDE OF STRUCTURE ABOVE. PARTITION REMOVAL TO INCLUDE ALL INTEGRAL DOORS, FRAMES AND WINDOWS, BULLETIN BOARDS, ETC. REMOVE BUILT-IN ARCHITECTURAL ELEMENTS WHERE SHOWN TO BE REMOVED.
7. CEILINGS AND BULKHEADS: REMOVE ALL CEILING AND BULKHEAD FINISHES AND SUPPORTS THROUGHOUT TENANT SPACE AS NOTED IN DEMO PLANS.
8. LIGHTING: SALVAGE FIXTURES AS DIRECTED.
9. IF THE CONTRACTOR DAMAGES OR REMOVES A PREVIOUSLY INSTALLED FORM OF BARRICADE, GUARDRAIL OR FALL PROTECTION (FLOOR HOLE COVER, ETC.) TO PERFORM THE WORK, THEN CONTRACTOR IS TO PROVIDE APPROPRIATE FALL PROTECTION FOR ITS EMPLOYEES TO PERFORM SAID WORK, AND TO PROVIDE APPROPRIATE FALL PROTECTION FOR OTHERS WHEN CONTRACTOR LEAVES WORK AREA.
10. DISPOSAL: ALL DEMOLITION OPERATIONS ARE TO BE PERFORMED IN A SAFE, ORDERLY MANNER. REMOVE DEBRIS AND RUBBISH DAILY TO PREVENT ACCUMULATION. REMOVED WORK, UNLESS OTHERWISE INDICATED, IS TO BE THE PROPERTY OF THE CONTRACTOR AND DISPOSAL IS HIS SOLE RESPONSIBILITY. IN ADDITION TO REMOVAL OF BUILDING COMPONENTS, REMOVE AND DISPOSE OF ALL OCCUPANT WASTE LEFT ABANDONED IN VACATED SPACES, INCLUDING FURNISHINGS AND EQUIPMENT NOT IDENTIFIED ON THE DRAWINGS TO BE RELOCATED AND REINSTALLED.
11. PROTECTION: EXISTING WORK TO BE REMOVED MUST BE ACCURATELY CUT FROM REMAINING PORTIONS AND CAREFULLY REMOVED SUCH THAT ADJACENT SURFACES ARE LEFT UNDAMAGED AND UNMARRED. REMAINING ADJACENT WORK IS TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF THE WORK. RESTORE ALL SURFACES DAMAGED DURING CONSTRUCTION TO MATCH ADJACENT UNDAMAGED SURFACES. DEMOLITION OPERATIONS SHALL NOT COMPROMISE THE INTEGRITY OF STRUCTURES SHOWN TO REMAIN. STRUCTURES AND SURFACES SHOWN TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION.
12. SALVAGED MATERIALS: WHERE INDICATED ON DRAWINGS AS "SALVAGE", CAREFULLY REMOVE INDICATED ITEMS, CLEAN, STORE, AND DELIVER TO A STORAGE LOCATION IN THE BUILDING SPECIFIED THE OWNER. OBTAIN RECEIPT FOR ITEMS DELIVERED.



1 Level 1 - DEMO PLAN
1/4" = 1'-0"

No. _____ Date _____ Description _____

M/E/P ENGINEER:
Boyle, Kuhnert, Brodbeck & Ridgway, Inc.
757 Friends Road, Suite 300
Columbia, Maryland 21228
(410) 869-7202

SEAL: _____

OWNER'S REPRESENTATIVE APPROVAL: _____ DATE: _____

SIGNATURE: _____

DRAWING TITLE:
**FIRST FLOOR
DEMOLITION**

SCALE: As indicated

MEDVANCE INSTITUTE
PORT ST. LUCIE
ADMIN/FAC. AREA & SIM SUITE
9022 South US Highway 1
Port St. Lucie, FL 34952

EDUCATION AFFILIATES

PROJECT NO:
1225

DATE: 03/18/2013

DRAWING NO:

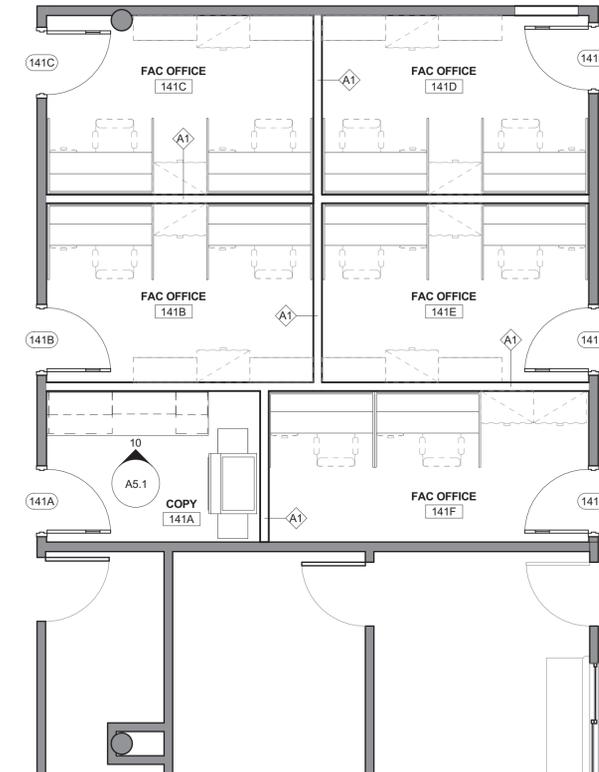
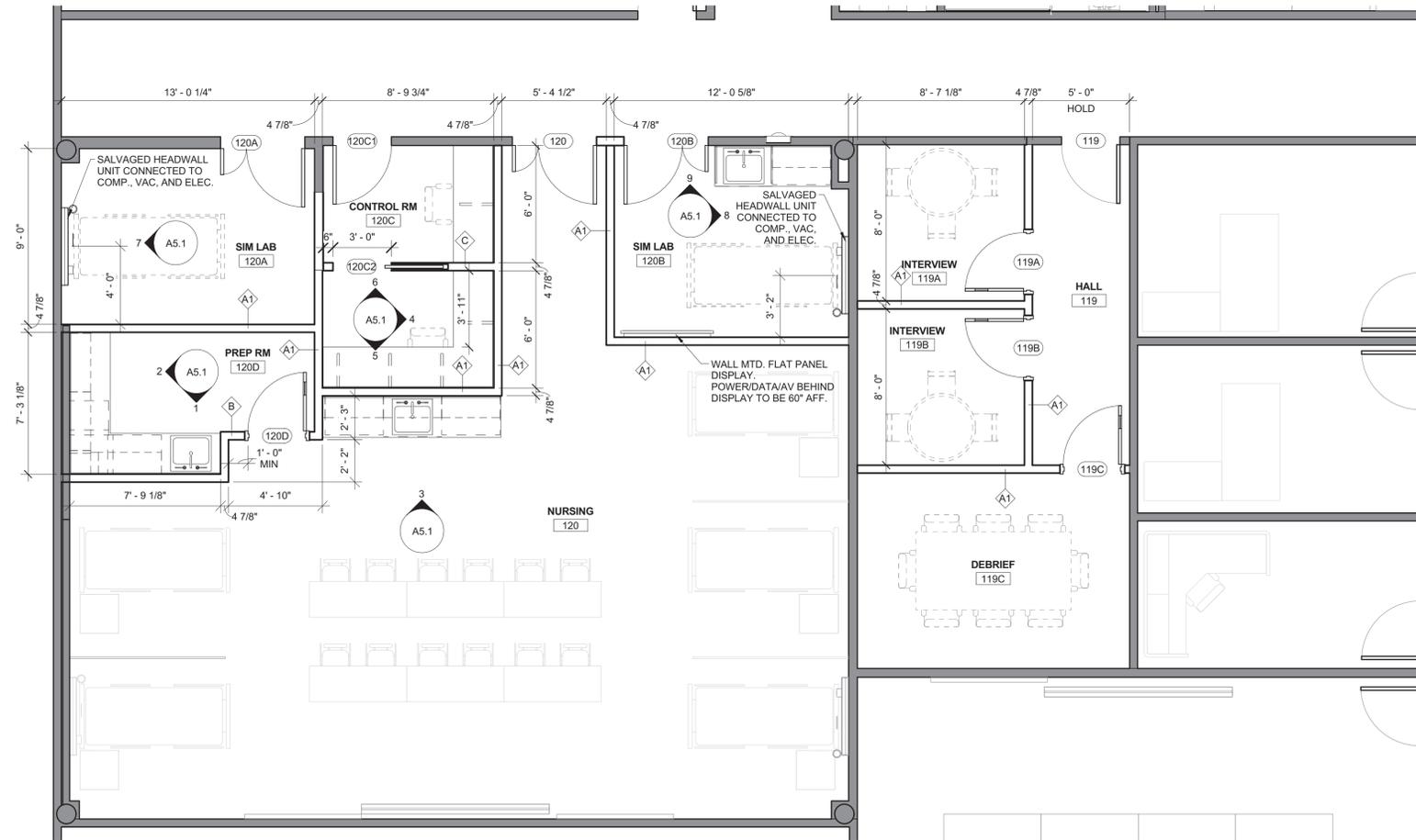
D1.1

SHEET: _____ OF: _____

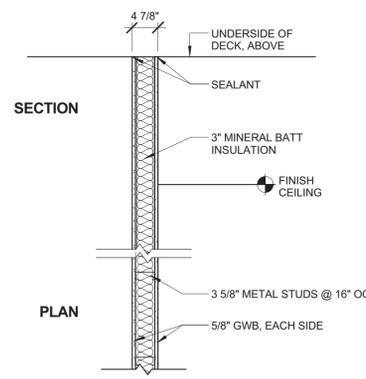
KEYNOTE LEGEND

PLAN LEGEND

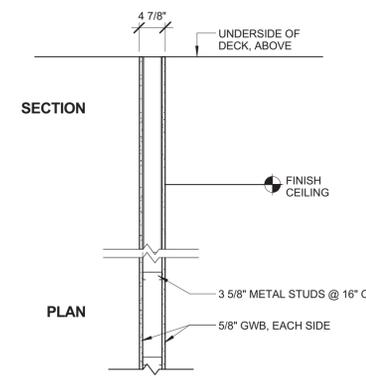
-  NEW CONSTRUCTION
-  EXISTING CONSTRUCTION TO REMAIN
-  FULL-HT SST CORNER GUARD (BASE BID)
-  FULL-HT ACROVYN FLUSH MOUNTED CORNER GUARD WITH ACROVYN WAINSCOT (ADD ALTERNATE)
-  SCOPE OF WORK LINE



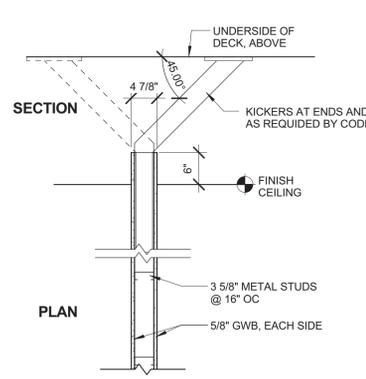
1 Level 1 - NEW WORK
1/4" = 1'-0"



- TYPE A** STC 49
- UL DESCRIPTION U419
- TYPE A1** STC 49
- NOT RATED



TYPE B



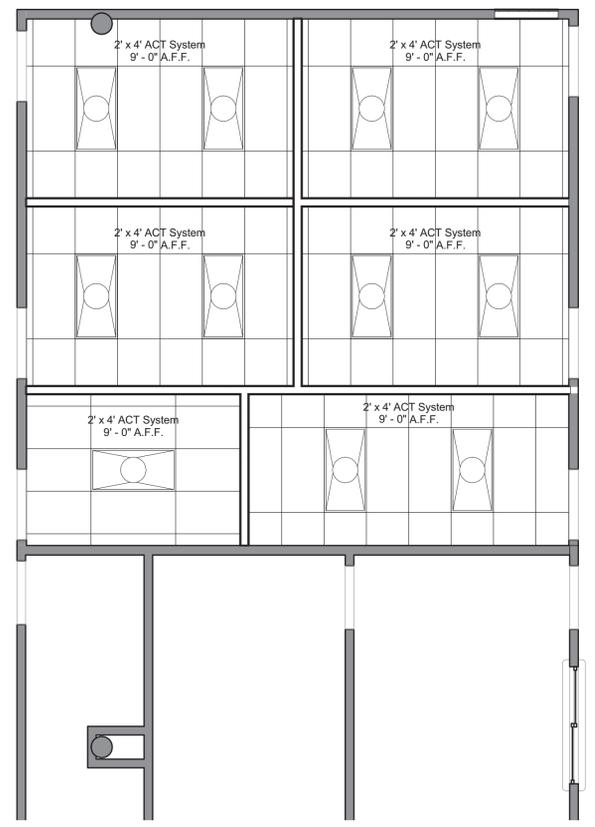
TYPE C

3 PARTITION TYPES1
3/4" = 1'-0"

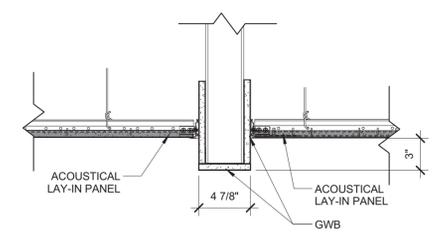
- GENERAL NOTES:**
1. ALL CEILINGS AT 9'-0" AFF U.N.O.
 2. CORRIDOR BULKHEADS AT 8'-6" AFF U.N.O.

RCP LEGEND

○	- DOWNLIGHT
◻	- 2x2 LIGHT
◻	- 2x4 LIGHT
⊗	- SUPPLY DIFFUSER
⊘	- RETURN
—	- LINEAR SLOT DIFFUSER
Ⓒ	- EXISTING CAMERAS TO BE RELOCATED



① FIRST FLOOR - REFLECTED CEILING PLAN
1/4" = 1'-0"



② ACT TO GWB TO ACT TRANSITION DETAIL
1 1/2" = 1'-0"



RCG ARCHITECTS
509 South Exeter Street
Suite 300
Baltimore, MD 21202
phone: 410.885.7033
fax: 410.783.0090

No.	Date	Description

M.P. ENGINEER:
Bryce, Rutherford, Brodbeck & Ridgway, Inc.
757 Flanders Road, Suite 300
Chesapeake, Maryland 21228
(410) 969-7252

SEAL:	DATE:
OWNERS REPRESENTATIVE APPROVAL:	SIGNATURE:

DRAWING TITLE:
CEILING PLAN - FIRST FLOOR

SCALE: As indicated

MEDVANCE INSTITUTE
PORT ST. LUCIE
ADMIN/FAC. AREA & SIM SUITE
9022 South US Highway 1
Port St. Lucie, FL 34952

EDUCATION AFFILIATES

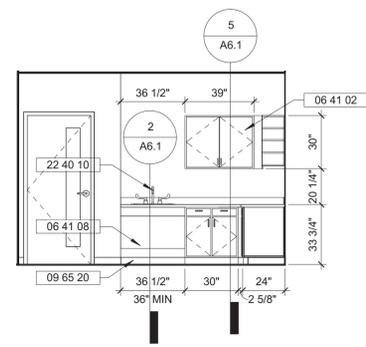
PROJECT NO:
1225

DATE: 03/18/2013

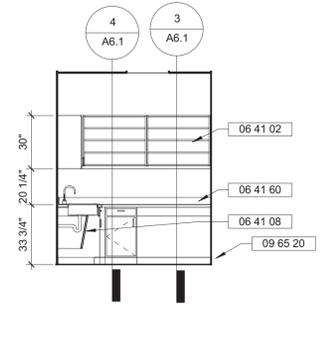
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A2.1

SHEET: ___ OF: ___

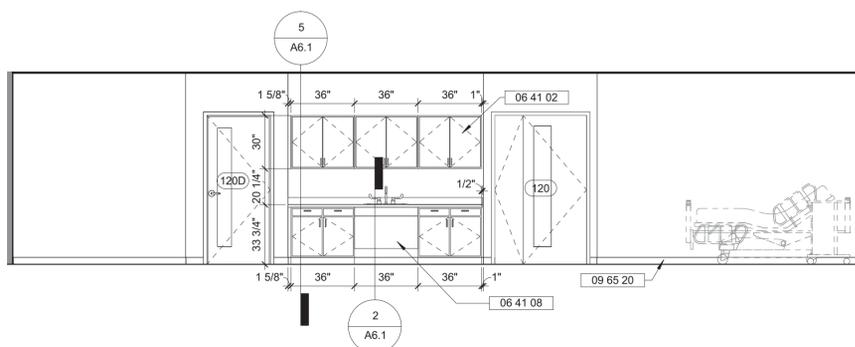
KEYNOTE LEGEND	
05 50 10	METAL COUNTERTOP SUPPORT BRACKET, SEE SPECIFICATION
06 41 02	PLASTIC LAMINATE CASEWORK
06 41 08	PLASTIC LAMINATE KNEE GUARD - INSTALL PLUMBING AND GUARD TO COMPLY WITH ADA CLEARANCES SHOWN
06 41 60	COUNTERTOP - 3/4" MDF BOARD WITH TWO LAYERS MDF BOARD AT ALL EXPOSED EDGES - PLASTIC LAMINATE AT ALL EXPOSED SURFACES AND ALL EDGING
09 65 20	VINYL COVE BASE
11 50 60	HOSPITAL BED, N.I.C.
22 40 10	SINK - SEE PLUMBING DRAWINGS



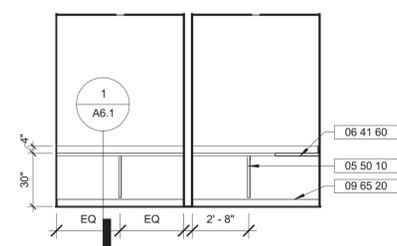
1 INTERIOR ELEVATION - PREP RM - SOUTH
1/4" = 1'-0"



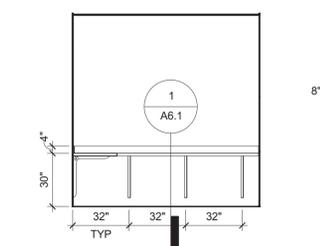
2 INTERIOR ELEVATION - PREP RM - WEST
1/4" = 1'-0"



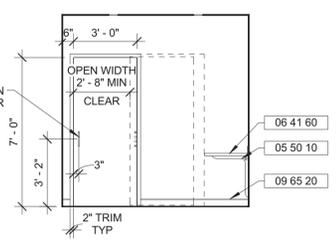
3 INTERIOR ELEVATION - NURSING - NORTH
1/4" = 1'-0"



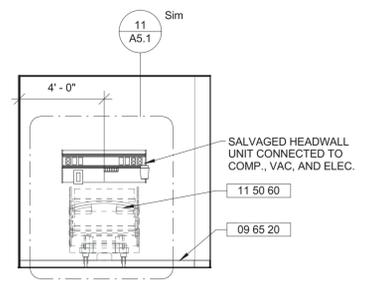
4 INTERIOR ELEVATION - CONTROL RM - EAST
1/4" = 1'-0"



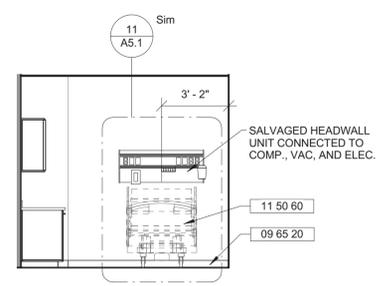
5 INT. ELEVATION - CONTROL RM - SOUTH
1/4" = 1'-0"



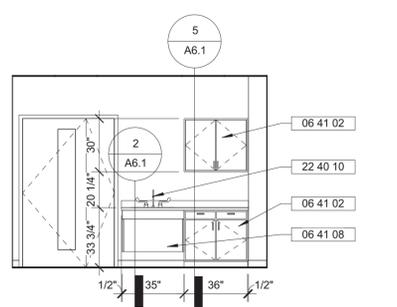
6 INT. ELEVATION - CONTROL RM - NORTH
1/4" = 1'-0"



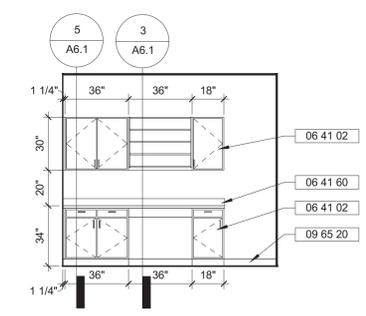
7 INT. ELEVATION - SIM LAB 120A - WEST
1/4" = 1'-0"



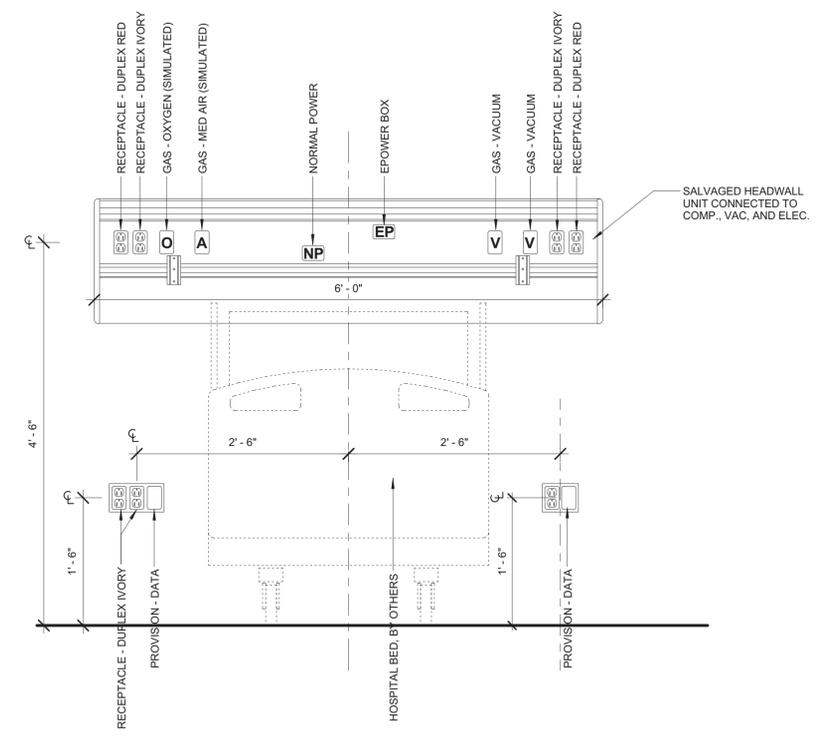
8 INT. ELEVATION - SIM LAB 120B - EAST
1/4" = 1'-0"



9 INT. ELEVATION - SIM LAB 120B - NORTH
1/4" = 1'-0"



10 INTERIOR ELEVATION - COPY - NORTH
1/4" = 1'-0"



11 SIM ROOM - TYPICAL ELEVATION - HORIZONTAL HEADWALL
1" = 1'-0"



RCG ARCHITECTS
509 South Exeter Street
Suite 300
Baltimore, MD 21202
Phone: 410.885.7033
fax: 410.783.0090

No.	Date	Description

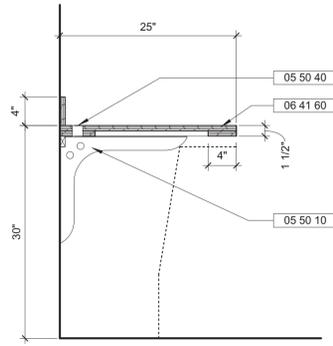
MEP ENGINEER:
Shige, Kuroford, Brodbeck & Ridgway, Inc.
757 Friends Road, Suite 300
Crownsville, Maryland 21228
410.969.7222

SEAL:	
OWNERS REPRESENTATIVE APPROVAL:	
SIGNATURE:	
DATE:	

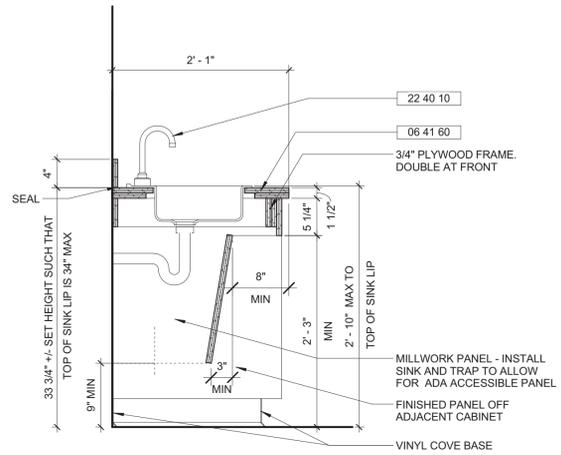
DRAWING TITLE:
INTERIOR ELEVATIONS
SCALE: As indicated

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PORT ST. LUCIE
ADMIN/FAC. AREA & SIM SUITE
9022 South US Highway 1
Port St. Lucie, FL 34952
EDUCATION AFFILIATES

PROJECT NO:
1225
DATE: 03/18/2013
DRAWING NO:
A5.1
SHEET: ___ OF: ___

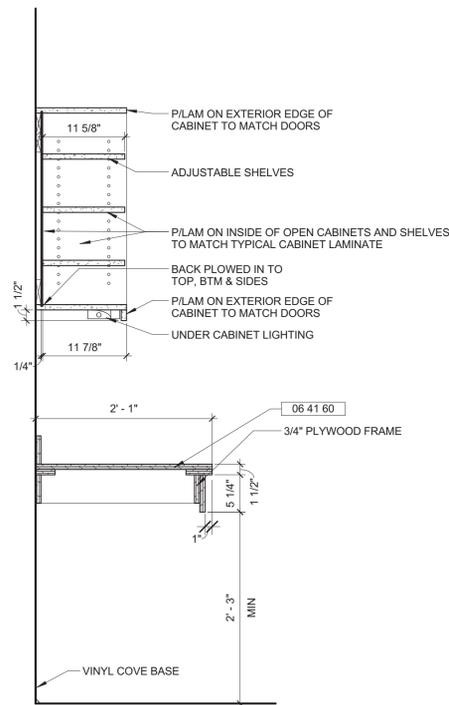


1 CASEWORK - COUNTER W/ BRACKETS
1" = 1'-0"

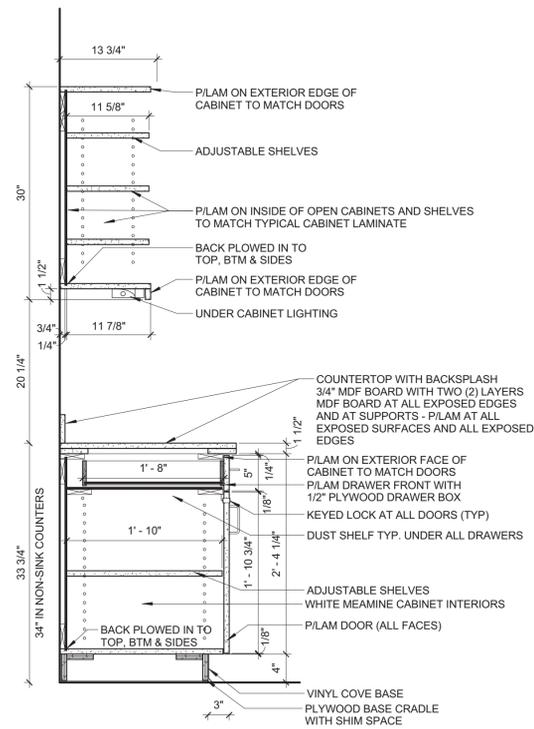


2 CASEWORK - TYPICAL @ OPEN SINKS
1" = 1'-0"

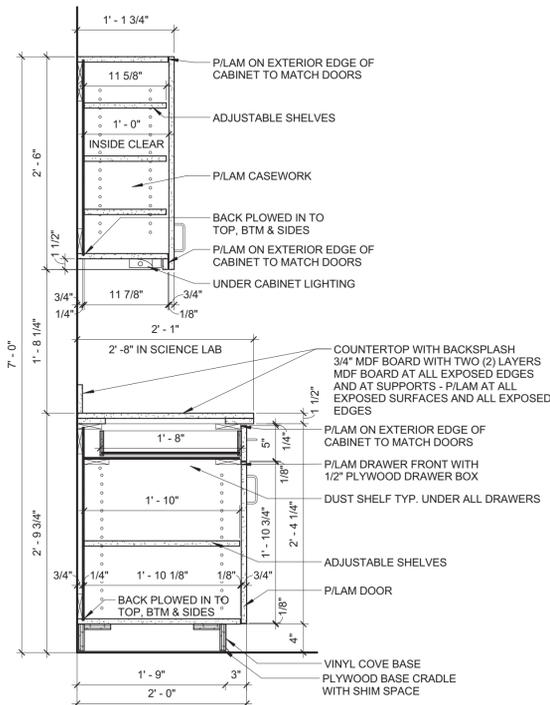
Key Value	Keynote Text
05 50 10	METAL COUNTERTOP SUPPORT BRACKET, SEE SPECIFICATION
05 50 40	GROMMETS AT 4'-0" O.C. MIN
06 41 60	COUNTERTOP - 3/4" MDF BOARD WITH TWO LAYERS MDF BOARD AT ALL EXPOSED EDGES - PLASTIC LAMINATE AT ALL EXPOSED SURFACES AND ALL EDGING
22 40 10	SINK - SEE PLUMBING DRAWINGS



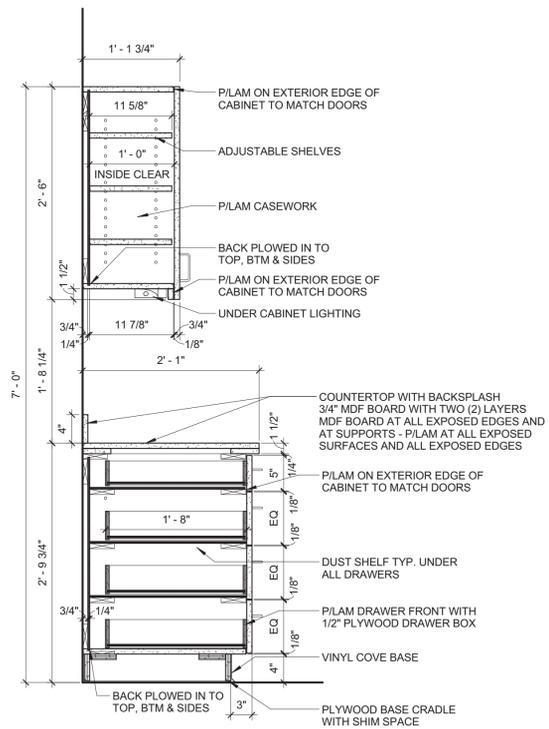
3 CASEWORK - OPEN WORKSURFACE AND OPEN UPPER CABINETS
1" = 1'-0"



4 CASEWORK - TYPICAL @ WALL - NO UPPER DOOR
1" = 1'-0"



5 CASEWORK - TYPICAL @ WALL
1" = 1'-0"



6 CASEWORK - TYPICAL @ WALL - DRAWERS
1" = 1'-0"

Description

Date

No.

MFP ENGINEER:
Bryce, Rutherford, Brodbeck & Ridgway, Inc.
757 Friends Road, Suite 300
Choronia, Maryland 21228
(410) 669-7222

SEAL:

OWNER'S REPRESENTATIVE APPROVAL

DRAWING TITLE:
CASEWORK DETAILS

SCALE: 1" = 1'-0"

MEDVANCE INSTITUTE
PORT ST. LUCIE
ADMIN/FAC. AREA & SIM SUITE
9022 South US Highway 1
Port St. Lucie, FL 34952

EDUCATION AFFILIATES



PROJECT NO:
1225

DATE: 03/18/2013

DRAWING NO:

A6.1

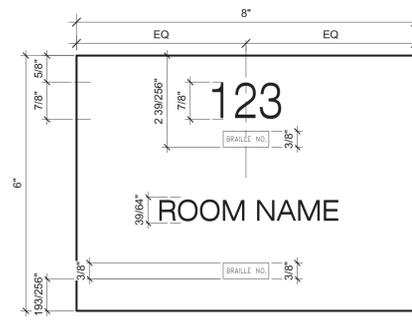
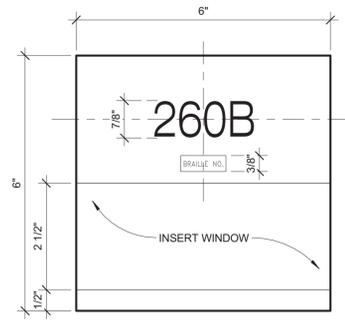
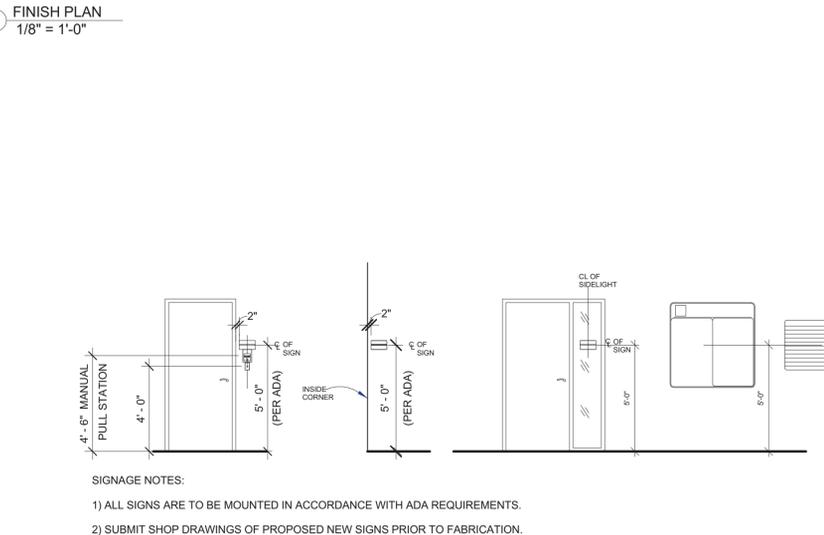
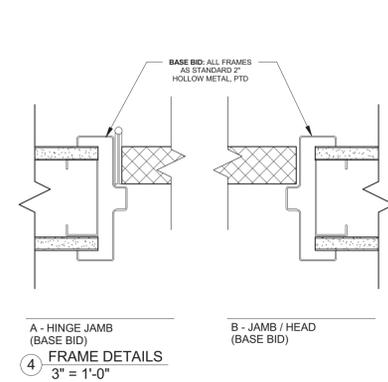
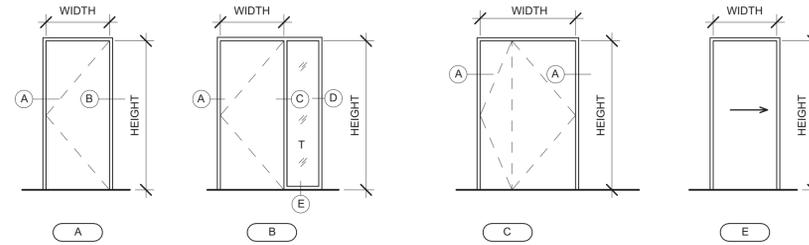
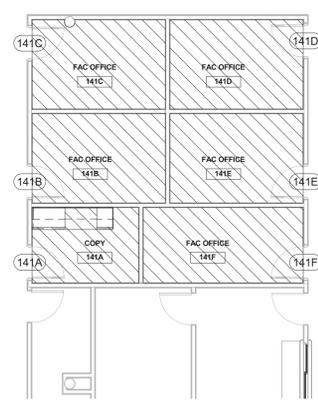
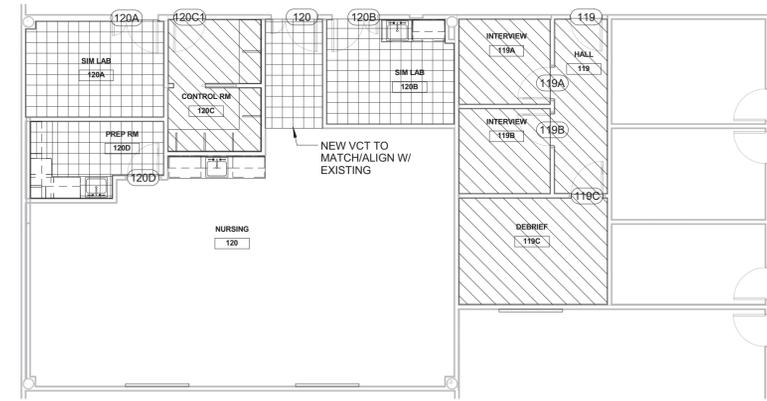
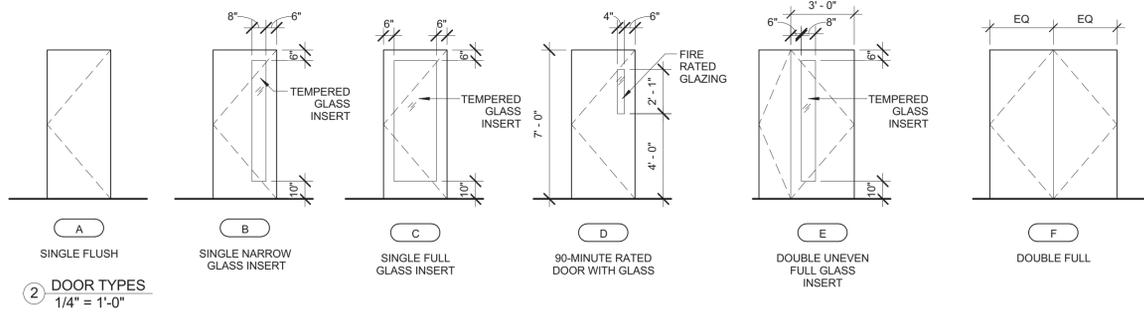
SHEET: ___ OF: ___

DOOR SCHEDULE										
Mark	To Room Name	Width	Height	Door Type	Door Material	Frame Type	Frame Material	Hardware	Signage	Comments
119	HALL	3'-0"	7'-0"	A	WD / GLS	A	HM	EX	G2	EXISTING DOOR TO REMAIN
119A	INTERVIEW	3'-0"	7'-0"	B	WD / GLS	A	HM	7A	G2	
119B	INTERVIEW	3'-0"	7'-0"	B	WD / GLS	A	HM	7A	G2	
119C	DEBRIEF	3'-0"	7'-0"	B	WD / GLS	A	HM	1A	G2	
120	NURSING	4'-4"	7'-0"	E	WD / GLS	C	HM	EX	G2	RELOCATE EXISTING DOOR AND HARDWARE
120A	SIM LAB	4'-4"	7'-0"	E	WD / GLS	C	HM	1A	G2	
120B	SIM LAB	4'-4"	7'-0"	E	WD / GLS	C	HM	1A	G2	
120C1	CONTROL RM	3'-0"	7'-0"	A	WD	A	HM	1A	G2	
120C2	CONTROL RM	3'-0"	7'-0"	DD	WD	D	HM	8	G2	
120D	PREP RM	3'-0"	7'-0"	B	WD / GLS	A	HM	1A	G2	
141A	COPY	3'-0"	7'-0"	B	WD / GLS	A	HM	1A	G2	
141B	FAC OFFICE	3'-0"	7'-0"	B	WD / GLS	A	HM	1A	G1	
141C	FAC OFFICE	3'-0"	7'-0"	B	WD / GLS	A	HM	1A	G1	
141D	FAC OFFICE	3'-0"	7'-0"	B	WD / GLS	A	HM	1A	G1	
141E	FAC OFFICE	3'-0"	7'-0"	B	WD / GLS	A	HM	1A	G1	
141F	FAC OFFICE	3'-0"	7'-0"	B	WD / GLS	A	MH	1A	G1	

FINISH SCHEDULE										
Number	Name	Floor Finish	Base	Wall Primary	Wall Feature	Ceiling	Countertops	Cabinets	Comments	Area
119	HALL	CPT-1	VCB4	PNT1	-	ACT	-	-		82 SF
119A	INTERVIEW	CPT-1	VCB4	PNT1	PNT2	ACT				69 SF
119B	INTERVIEW	CPT-1	VCB4	PNT1	PNT2	ACT				69 SF
119C	DEBRIEF	CPT-1	VCB4	PNT1	PNT2	ACT				140 SF
120	NURSING	ETR/ MATCH EX	MATCH EX	PNT1	PNT2	ACT	PLAM1	PLAM2	NEW VCT AT ENTRY AS INDICATE ON PLANS ONLY	921 SF
120A	SIM LAB	VCT4	VCB3	PNT1		ACT				117 SF
120B	SIM LAB	VCT4	VCB3	PNT1		ACT				116 SF
120C	CONTROL RM	CPT-1	VCB2	PNT7		ACT	PLAM1	PLAM2		109 SF
120D	PREP RM	VCT1	VCB1	PNT1	PNT2	ACT	PLAM1	PLAM2		81 SF
141A	COPY	CPT-1	VCB4	PNT1	PNT2	ACT	PLAM1	PLAM2		72 SF
141B	FAC OFFICE	CPT-1	VCB4	PNT1	PNT2	ACT				106 SF
141C	FAC OFFICE	CPT-1	VCB4	PNT1	PNT2	ACT				105 SF
141D	FAC OFFICE	CPT-1	VCB4	PNT1	PNT2	ACT				106 SF
141E	FAC OFFICE	CPT-1	VCB4	PNT1	PNT2	ACT				106 SF
141F	FAC OFFICE	CPT-1	VCB4	PNT1	PNT2	ACT				107 SF
										2306 SF

DOOR GENERAL NOTES
 1) ALL DOORS TO BE LOCATED 6" FROM CORNER UNLESS OTHERWISE NOTED.

DOOR HARDWARE KEY		
SET	FUNCTION	OPTIONS
1	OFFICE FUNCTION	A WALL STOP
2	CLASSROOM/CORRIDOR	B FLOOR STOP
3	CLASSROOM SECURITY	C OVERHEAD STOP
4	EGRESS FUNCTION	D CLOSER
5	STOREROOM FUNCTION	E GASKET
6	STOREROOM FUNCTION PAIRS	
7	PASSAGE FUNCTION	
8	SLIDING	



6) SIGNAGE
 6" = 1'-0"

FINISHES GENERAL NOTES
 1) ARCHITECT TO PROVIDE FINISH FLOOR PLAN TO INDICATE WALLS TO RECEIVE FEATURE PAINT COLOR AND PATTERN OF VCT FLOORING.
 2) ALL HM FRAMES TO BE PAINTED PNT8 U.O.N.
 3) ALL DOORS TO BE HARDWOOD MAPLE VENEER U.O.N.
 4) ALL GWB CEILINGS AND BULKHEADS TO BE PNT U.O.N.

FINISH SCHEDULE KEY

FLOOR FINISHES	
CPT1	CARPET 1: SHAW, BLOG TEKLOK 5A126, VINTAGE TAUPE 25761
CPT2	CARPET 2: SHAW, PRAIRIE TILE 59525, SIBERIAN SEA 23485
CPT3	CARPET 3: SHAW, ESCAPE TILE 59457, CENTRIC 54485
VCT1	VINYL COMPOSITION TILE 1: ARMSTRONG, STANDARD EXCELON, BLUE CLOUD 51933
VCT2	VINYL COMPOSITION TILE 2: ARMSTRONG, STANDARD EXCELON, SERENE BLUE 51881
VCT3	VINYL COMPOSITION TILE 3: ARMSTRONG, STANDARD EXCELON, COLORADO STONE 57506
VCT4	VINYL COMPOSITION TILE 4: ARMSTRONG, STANDARD EXCELON, BLUEBERRY 51881
VCT5	VINYL COMPOSITION TILE 5: ARMSTRONG, STANDARD EXCELON, WASHED LINEN 51810
VCT6	VINYL COMPOSITION TILE 6: ARMSTRONG, STANDARD EXCELON, LITTLE GREEN APPLE 51866
SRT1	SOLID RESILIENT TILE 1: ARMSTRONG, NATIONAL CREATIONS ARBORART, NOUVEAU MAPLE HONEY TP-042
CONC	SEALED CONCRETE

WALL BASE

VCB1	VINYL COVE BASE 1: JOHNSONITE, TRADITIONAL WALL BASE, NAVY BLUE 18
VCB2	VINYL COVE BASE 2: JOHNSONITE, TRADITIONAL WALL BASE, GREY 48
VCB3	VINYL COVE BASE 3: JOHNSONITE, TRADITIONAL WALL BASE, BLUE LAGOON 92
VCB4	VINYL COVE BASE 1: JOHNSONITE, TRADITIONAL WALL BASE, BROWN 47
VCB5	VINYL COVE BASE 1: JOHNSONITE, TRADITIONAL WALL BASE, SHORELINE 280
VCB6	VINYL COVE BASE 1: JOHNSONITE, TRADITIONAL WALL BASE, SANDALWOOD 45

PAINT

PNT1	PAINT 1: GENERAL WALL COLOR, SHERWIN WILLIAMS, WHITE DUCK SW7010, EGGSHELL
PNT2	PAINT 2: ACCENT TO PNT1 AND PNT4, SHERWIN WILLIAMS, UNIVERSAL KHAKI SW6150, EGGSHELL
PNT3	PAINT 3: LRC WALL COLOR, SHERWIN WILLIAMS, PEARLY WHITE SW7009, EGGSHELL
PNT4	PAINT 4: ACCENT TO PNT3, PRIMARY WALL COLOR IN STUDENT COMMONS, SHERWIN WILLIAMS, LANTERN LIGHT SW6687, EGGSHELL
PNT5	PAINT 5: ACCENT TO PNT3, SHERWIN WILLIAMS, EXCITING ORANGE SW6647, EGGSHELL
PNT6	PAINT 6: ACCENT TO PNT1, SHERWIN WILLIAMS, VAST SKY SW8506, EGGSHELL
PNT7	PAINT 7: CONTROL ROOM WALL COLOR, SHERWIN WILLIAMS, FOLKSTONE SW6005, EGGSHELL
PNT8	PAINT 8: HOLLOW METAL FRAME COLOR, SHERWIN WILLIAMS, COROTHANE I-MIO ALUMINUM B65S14, MATTE

VINYL WAINSCOT

VW1	VINYL WAINSCOT 1: THROUGHOUT CORRIDOR, ACROVYN, WALL PANEL, MUSHROOM 305, WAINSCOT UP TO 48" AFF. ACCESSORIES FOR INSTALLATION AS SPECIFIED.
VW2	VINYL WAINSCOT 2: TOILET ROOMS, ACROVYN, WALL PANEL, PUMICE 858, WAINSCOT UP TO 48" AFF. ACCESSORIES FOR INSTALLATION AS SPECIFIED.

CEILINGS

ACP	ACOUSTICAL CEILING PANELS: ARMSTRONG, FISSURED, SQUARE LAY-IN 15'16" (SEE RCP FOR SIZE)
GWB	PAINTED GYPSUM WALL BOARD ON LIGHT GAUGE METAL FRAMING
ETR	EXISTING TO REMAIN

CASEWORK FINISHES

PLAM1	PLASTIC LAMINATE 1: WILSONART GILDED MESH 4912-38
PLAM1B	CHEMICAL RESISTANT PLASTIC LAMINATE 1: WILSONART GILDED MESH 4912-60 (WITH CHEMSURF FINISH)
PLAM2	PLASTIC LAMINATE 2: WILSONART SHEER MESH 4876-38
PLAM3	PLASTIC LAMINATE 3: NOT USED
PLAM4	PLASTIC LAMINATE 4: WILSONART SMOKY TOPAZ 4589-60
MWV	WOOD VENEER: MAPLE WOOD VENEER ON MDF CORE, CLEAR FINISH



RCG ARCHITECTS
 509 South Exeter Street
 Suite 300
 Baltimore, MD 21202
 phone: 410.885.7033
 fax: 410.783.0090

No.	Date	Description

M.P. ENGINEER
 757 Friends Road, Suite 300
 Crofton, Maryland 21228
 410.969.7222

SEAL	DATE

DRAWING TITLE:
FINISH AND DOOR SCHEDULE
 SCALE: As indicated

MEDVANCE INSTITUTE
 PORT ST. LUCIE
 ADMIN/FAC. AREA & SIM SUITE
 9022 South US Highway 1
 Port St. Lucie, FL 34952
 EDUCATION AFFILIATES

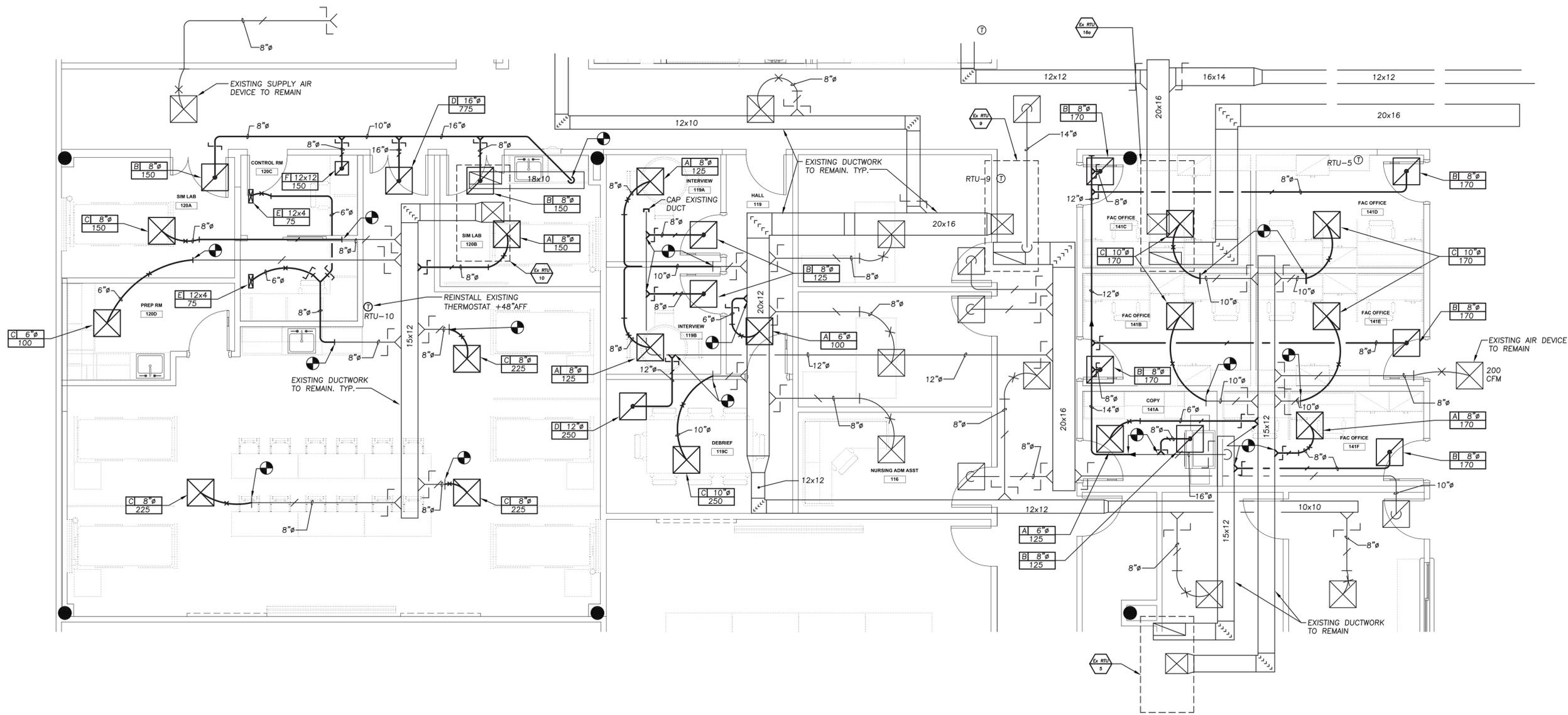


PROJECT NO:
 1225

DATE: 03/18/2013

DRAWING NO:
A9.1

SHEET: ___ OF: ___



FLOOR PLAN - MECHANICAL

SCALE: 1/4" = 1'-0"

No.	Date	Description

MEP ENGINEER:
Stapel, Rutherford, Brasscock & Ridgway, Inc.
757 Frederick Road - Suite 300
Catonville, Maryland 21228
(410) 689-7222

SEAL:	DATE:
OWNERS REPRESENTATIVE APPROVAL:	SIGNATURE:

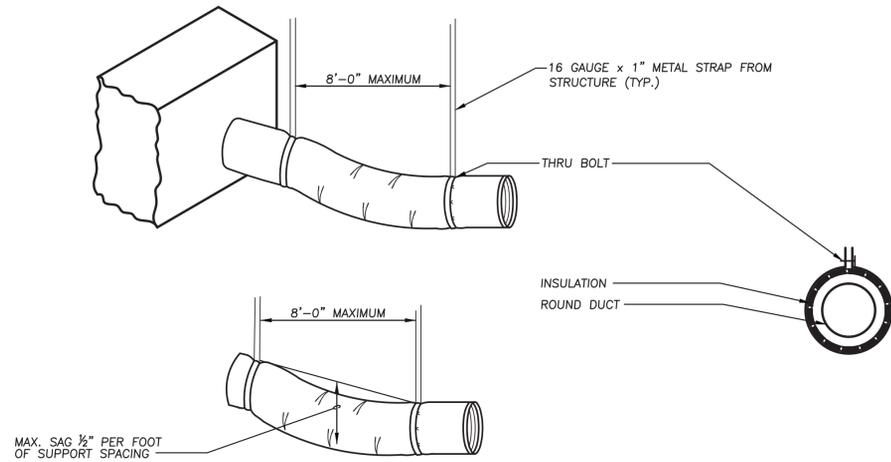
DRAWING TITLE:
**FLOOR PLAN
MECHANICAL**

SCALE: As indicated

MEDVANCE INSTITUTE
PORT ST. LUCIE
ADMIN/FAC. AREA & SIM SUITE
9164 US Highway 1 South
Port St. Lucie, FL 34928

EDUCATION AFFILIATES

PROJECT NO: 1225	DATE: 03/18/2013
DRAWING NO: M1.1	SHEET: ___ OF: ___

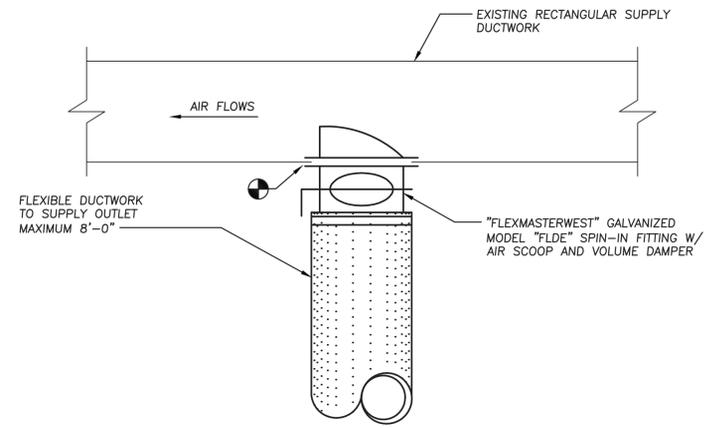


FLEXIBLE DUCT RUN-OUT SUPPORT DETAIL

NO SCALE

NOTE(S):

- FLEXIBLE DUCT SHOULD EXTEND STRAIGHT FOR SEVERAL INCHES FROM RECTANGULAR DUCT CONNECTION BEFORE BENDING.
- FLEXIBLE DUCT SHOULD NOT EXCEED 8'-0" IN LENGTH. USE RIGID ROUND DUCTWORK WHEN RUNOUTS EXCEED 8'-0".



RECTANGULAR BRANCH DUCT TAKE-OFF DETAIL

NO SCALE

AIR DEVICE SCHEDULE			
MARK	SYSTEM TYPE	MANUFACTURER & MODEL NO.	REMARKS
A	SUPPLY DIFFUSER	"PRICE" No. "PDC" ALL STEEL CONSTRUCTION, FLUSH FACE, PERFORATED, INDIVIDUALLY ADJUSTABLE CURVED BLADES, 24"x24" MODULE.	FURNISH WITH OFF WHITE POWDER COAT FINISH.
B	RETURN DIFFUSER	"PRICE" No. "PDDR" ALL STEEL CONSTRUCTION FLUSH FACE, PERFORATED, 24"x24" MODULE.	FURNISH WITH OFF WHITE POWDER COAT FINISH.
C	SUPPLY DIFFUSER	REUSE EXISTING SUPPLY DIFFUSER. DO NOT REUSE ANY EXISTING DIFFUSERS DAMAGED DURING DEMOLITION.	CLEAN EXISTING DIFFUSER OF ANY DEBRIS AND DIRT PRIOR TO INSTALLING.
D	RETURN DIFFUSER	REUSE EXISTING SUPPLY DIFFUSER. DO NOT REUSE ANY EXISTING DIFFUSERS DAMAGED DURING DEMOLITION.	CLEAN EXISTING DIFFUSER OF ANY DEBRIS AND DIRT PRIOR TO INSTALLING.
E	SUPPLY REGISTER	"PRICE" No. 'S20D' DOUBLE DEFLECTION BARS, OPPOSED BLADE DAMPER	FURNISH WITH OFF WHITE POWDER COAT FINISH.
F	RETURN REGISTER	"PRICE" No. 'S30' 3/4" BLADE SPACING, STEEL CONSTRUCTION.	FURNISH WITH OFF WHITE POWDER COAT FINISH.

EXISTING PACKAGE HEATPUMP ROOFTOP UNIT SCHEDULE (FOR INFORMATION ONLY)																								
MARK	AREA SERVED	REFRIGERANT	EER	C.F.M.	E.S.P. IN W.G.	COOLING CAP		HEATING CAP		ELEC HEAT KW	COOLING TONS	EVAPORATOR FAN			COMPRESSOR R.L.A.	CONDENSER FANS	OUTSIDE AIR C.F.M.	CONTROLS		MANUFACTURER & MODEL NO.	V-P-H	M.C.A.	MAX. FUSE	REMARKS
						SENS	TOTAL	25"	45"			R.P.M.	AMPS	HP				STAGES COOL	STAGES HEAT					
ExRTU 5	CLASS ROOM	R-410A	10.9	1200	0.90"	28.5	37.1	23.2	34.6	7.5	3.0	-	2.0	0.5	105.8	101.1	250	1	1	"LENNOX" No. KHB036S4D-3G	480-3-60	22	25	FURNISH WITH 14" HIGH FULL PERIMETER ROOF CURB, MOTORIZED OUTSIDE AIR DAMPER AND INTAKE HOOD, MERV 8 FILTERS, LOW AMBIENT KIT, PROGRAMMABLE TOUCH SCREEN 7-DAY THERMOSTAT W/FOUR TIME PERIODS A DAY, AUTOMATIC CHANGE OVER, OUTDOOR TEMP SENSOR, LOCKING COVER, ELECTRIC HEAT PACKAGE, WALL MOUNTED CO ₂ SENSOR.
ExRTU 9	NURSE FACILITY	R-410A	11.0	2400	0.90"	55.9	73.5	47.7	68.9	15.0	6.0	1216	3.0	1.5	109.7	101.5	400	1	1	"LENNOX" No. KHB072S4B-3G	480-3-60	40	40	FURNISH WITH 14" HIGH FULL PERIMETER ROOF CURB, MOTORIZED OUTSIDE AIR DAMPER AND INTAKE HOOD, MERV 8 FILTERS, LOW AMBIENT KIT, PROGRAMMABLE TOUCH SCREEN 7-DAY THERMOSTAT W/FOUR TIME PERIODS A DAY, AUTOMATIC CHANGE OVER, OUTDOOR TEMP SENSOR, LOCKING COVER, ELECTRIC HEAT PACKAGE, WALL MOUNTED CO ₂ SENSOR.
ExRTU 10	NURSE SKILLS	R-410A	10.9	1200	0.90"	28.5	37.1	23.2	34.6	7.5	3.0	-	2.0	0.5	105.8	101.1	225	1	1	"LENNOX" No. KHB036S4D-3G	480-3-60	22	25	FURNISH WITH 14" HIGH FULL PERIMETER ROOF CURB, MOTORIZED OUTSIDE AIR DAMPER AND INTAKE HOOD, MERV 8 FILTERS, LOW AMBIENT KIT, PROGRAMMABLE TOUCH SCREEN 7-DAY THERMOSTAT W/FOUR TIME PERIODS A DAY, AUTOMATIC CHANGE OVER, OUTDOOR TEMP SENSOR, LOCKING COVER, ELECTRIC HEAT PACKAGE, WALL MOUNTED CO ₂ SENSOR.
ExRTU 16a	LRC	R-410A	11.0	2400	0.90"	55.9	73.5	47.7	68.9	15.0	6.0	1216	3.0	1.5	109.7	101.5	520	1	1	"LENNOX" No. KHB072S4B-3G	480-3-60	40	40	FURNISH WITH 14" HIGH FULL PERIMETER ROOF CURB, MOTORIZED OUTSIDE AIR DAMPER AND INTAKE HOOD, MERV 8 FILTERS, LOW AMBIENT KIT, PROGRAMMABLE TOUCH SCREEN 7-DAY THERMOSTAT W/FOUR TIME PERIODS A DAY, AUTOMATIC CHANGE OVER, OUTDOOR TEMP SENSOR, LOCKING COVER, ELECTRIC HEAT PACKAGE, WALL MOUNTED CO ₂ SENSOR.



RCG ARCHITECTS
509 South Exeter Street
Suite 300
Baltimore, MD 21202
phone: 410.685.7033
fax: 410.783.0090

Description	Date	No.
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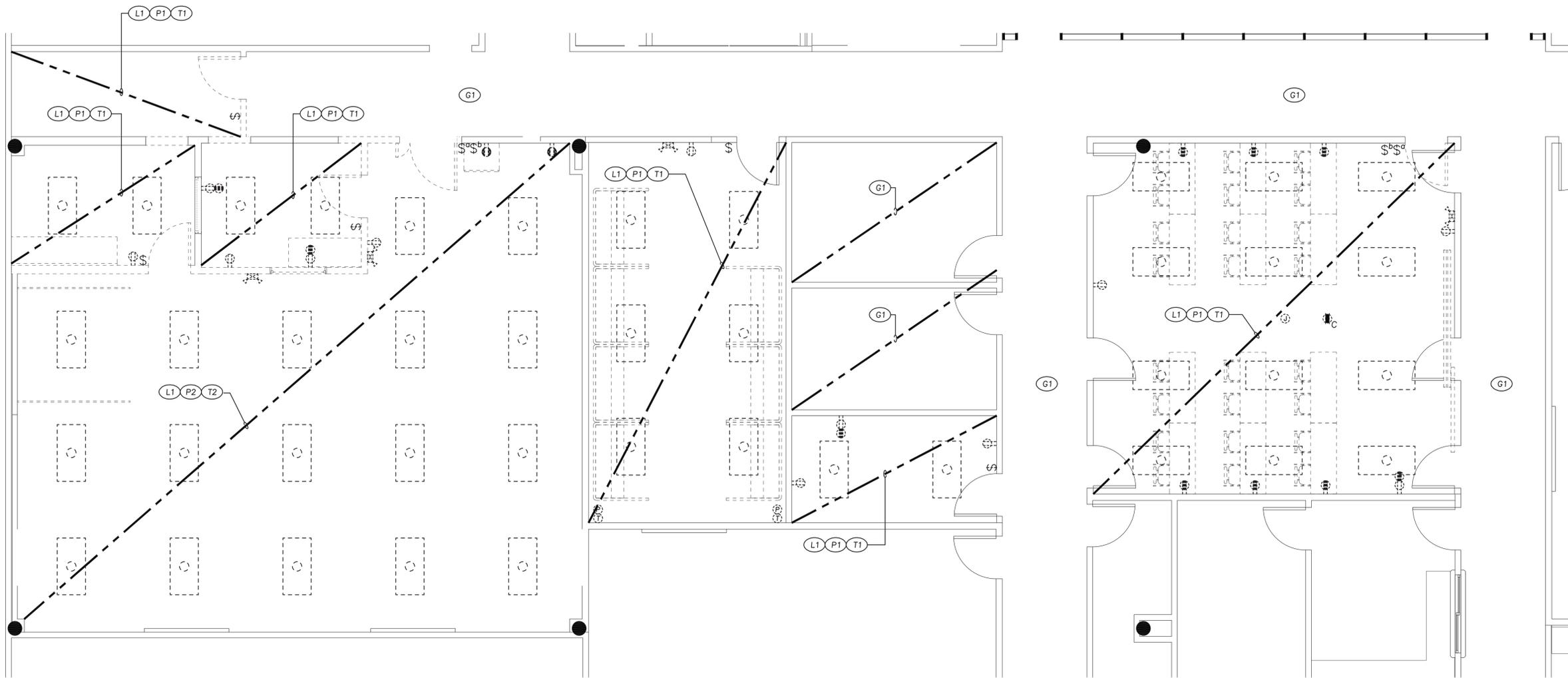
MEP ENGINEER
Shigel, Rutherford, Brasco & Ridgway, Inc.
757 Frederick Road - Suite 300
Catonville, Maryland 21228
(410) 688-7292

SEAL:	DATE:
OWNERS REPRESENTATIVE APPROVAL	SIGNATURE:

DRAWING TITLE:
MECHANICAL SCHEDULES AND DETAILS
SCALE: As indicated

MEDVANCE INSTITUTE
PORT ST. LUCIE
ADMIN/FAC. AREA & SIM SUITE
9164 US Highway 1 South
Port St. Lucie, FL 34928
EDUCATION AFFILIATES

PROJECT NO:
1225
DATE: 03/18/2013
DRAWING NO:
M2.1
SHEET: ___ OF: ___



FLOOR PLAN - DEMOLITION
SIM LABS
 SCALE: 1/4" = 1'-0"



GENERAL NOTES:

(G1) AREA TO REMAIN. MAINTAIN ALL EXISTING POWER, LIGHTING AND TELECOMMUNICATION SYSTEMS.

LIGHTING NOTES:

(L1) AREA OF COMPLETE DEMOLITION: REMOVE ALL LIGHTING FIXTURES AND REINSTALL IN NEW CEILING CONFIGURATION. REMOVE ALL ASSOCIATED CONTROLS AND WIRING BACK TO SOURCE PANEL. REUSE EXISTING LIGHTING CIRCUITS WHERE POSSIBLE. (REFER TO LIGHTING PLAN FOR NEW LOCATIONS AND WIRING REQUIREMENTS)

POWER NOTES:

(P1) AREA OF COMPLETE DEMOLITION: REMOVE ALL RECEPTACLES, OUTLETS AND ASSOCIATED WIRING BACK TO SOURCE PANEL.

(P2) AREA OF SELECTIVE DEMOLITION: REMOVE ALL RECEPTACLES AND ASSOCIATED WIRING AT PARTITIONS TO BE DEMOLISHED. MODIFY AND MAINTAIN EXISTING RECEPTACLES CIRCUITS EFFECTED BY THE DEMOLITION. RECONNECT NEW OUTLETS TO EXISTING CIRCUITS (REFER TO POWER PLAN)

TELECOMMUNICATIONS NOTES:

(T1) AREA OF COMPLETE DEMOLITION: REMOVE ALL TELECOMMUNICATION OUTLETS AND CABLING BACK TO SOURCE RACK.

(T2) AREA OF SELECTIVE DEMOLITION: REMOVE ALL TELECOMMUNICATION OUTLETS AND ASSOCIATED CABLING AT PARTITIONS TO BE DEMOLISHED. PROVIDE NEW TELECOMMUNICATION OUTLETS AT NEW PARTITIONS. (REFER TO POWER PLAN)

DEMOLITION LEGEND

DESIGNATION	DESCRIPTION
(E)	EXISTING EQUIPMENT TO REMAIN
(R)	MAINTAIN EXISTING CONNECTIONS
(X)	EXISTING EQUIPMENT TO BE REMOVED

CONSTRUCTION ISSUE 03/18/2013

SRBR No: 13039

No.	Date	Description

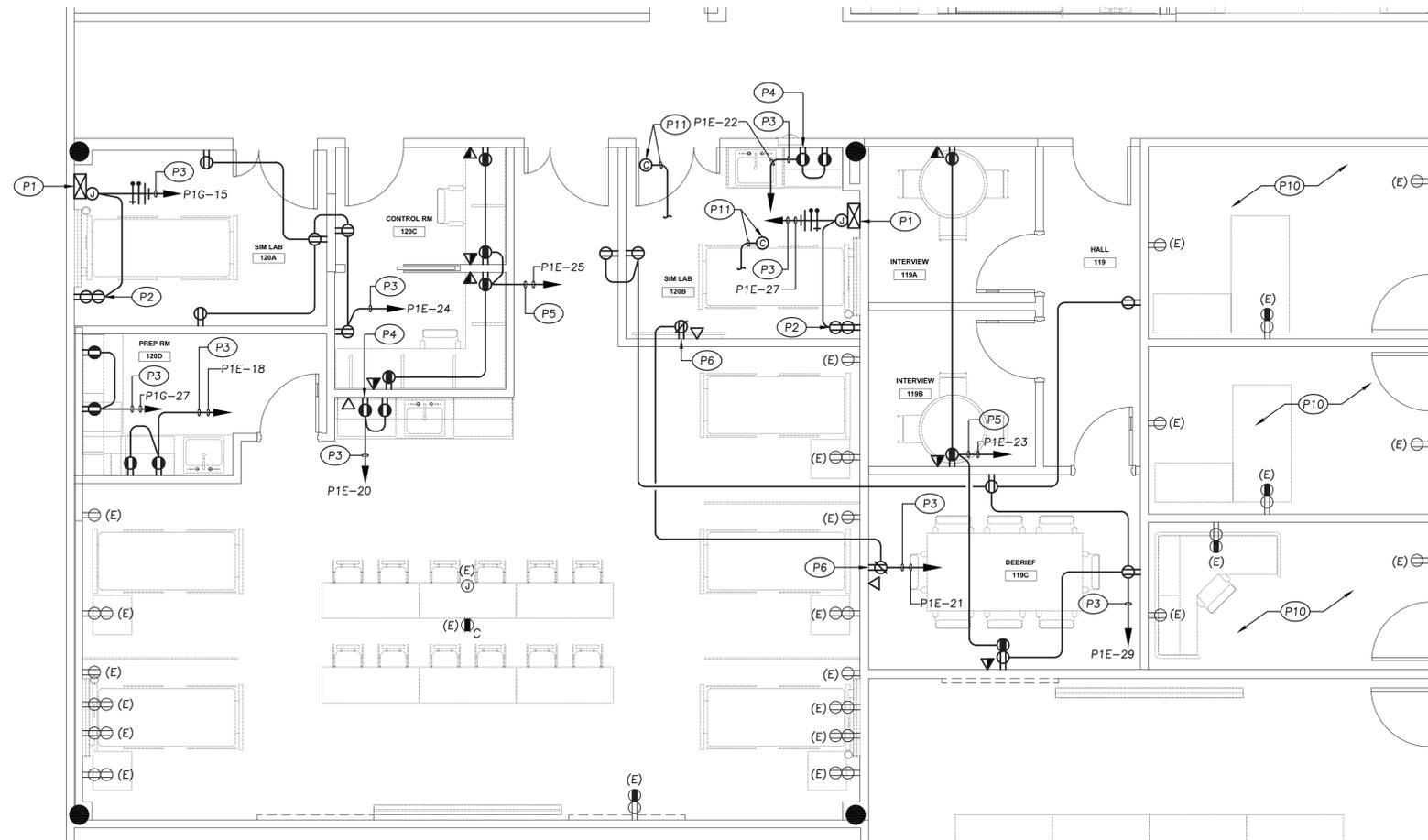
MEP ENGINEER:
 Siegel, Rutherford, Brassock & Ridgway, Inc.
 757 Frederick Road - Suite 302
 Calverton, Maryland 21228
 410.689.7232

SEAL:	DATE:
OWNERS REPRESENTATIVE APPROVAL	SIGNATURE:

DRAWING TITLE:	SCALE: As indicated
FLOOR PLAN DEMOLITION SIM LABS	

MEDVANCE INSTITUTE PORT ST. LUCIE ADMIN/FAC. AREA & SIM SUITE 9164 US Highway 1 South Port St. Lucie, FL 34928	EDUCATION AFFILIATES
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PROJECT NO: 1225	DATE: 03/18/2013
DRAWING NO: E1.0	SHEET: ___ OF: ___

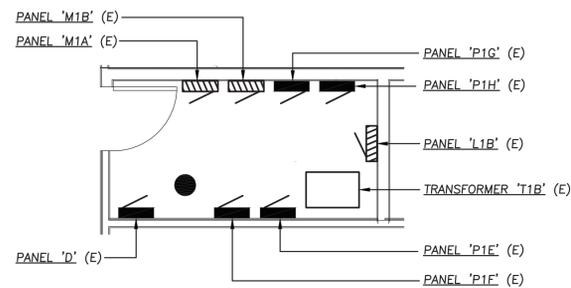


**FLOOR PLAN - POWER
SIM LABS**

SCALE: 1/4" = 1'-0" 0 1' 2' 4' 8'

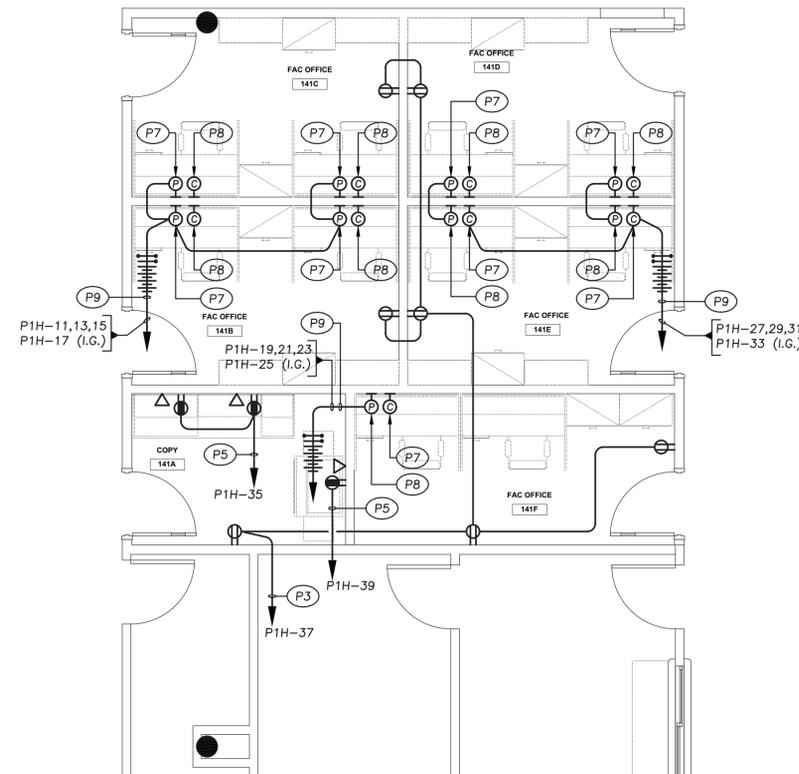
GENERAL NOTES:

1. ALL ELECTRICAL EQUIPMENT AND DEVICES SHOWN ARE NEW UNLESS NOTED OTHERWISE.



PART PLAN - ELECTRIC ROOM

SCALE: 1/4" = 1'-0" 0 1' 2' 4' 8'



POWER PLAN NOTES:

- (P1) CONNECT RECEPTACLES AND DATA OUTLETS AT VERTICAL HEAD WALL ASSEMBLY. COORDINATE EXACT LOCATIONS, OUTLET QUANTITY, AND MOUNTING HEIGHTS WITH ARCHITECTURAL HEAD WALL DETAIL.
- (P2) LOCATE OUTLETS ADJACENT TO SIM LAB BED AS DIMENSIONED ON ARCHITECTURAL HEAD WALL DETAIL.
- (P3) CONNECT TO EXISTING POWER CIRCUIT AS INDICATED ON POWER PLAN. CONTRACTOR TO VERIFY EXISTING CIRCUIT AVAILABILITY AND CONNECTED LOAD. PROVIDE NEW 1P, 20A CIRCUIT IN EXISTING PANEL 'P1H' IF EXISTING POWER CIRCUIT IS UNAVAILABLE.
- (P4) RECEPTACLE AND DATA OUTLET MOUNTED BELOW COUNTER. COORDINATE EXACT LOCATIONS AND MOUNTING HEIGHT WITH ARCHITECTURAL ELEVATIONS PRIOR TO ROUGH-IN.
- (P5) CONNECT TO EXISTING POWER CIRCUIT AS INDICATED ON POWER PLAN. PROVIDE DEDICATED NEUTRAL CIRCUIT. CONTRACTOR TO VERIFY EXISTING CIRCUIT AVAILABILITY AND CONNECTED LOAD. PROVIDE NEW 1P, 20A CIRCUIT IN EXISTING PANEL 'P1H' IF EXISTING POWER CIRCUIT IS UNAVAILABLE.
- (P6) PROVIDE POWER AND DATA OUTLET AT 60" AFF FOR LCD DISPLAY. VERIFY MOUNTING HEIGHT AND CONNECTION REQUIREMENTS WITH EQUIPMENT SUPPLIER PRIOR TO ROUGH-IN.
- (P7) PROVIDE FLUSH MOUNTED JUNCTION BOX FOR POWER TO SYSTEMS FURNITURE. FIELD COORDINATE EXACT LOCATION AND REQUIREMENTS PRIOR TO ROUGH-IN. MAKE CONNECTIONS TO FURNITURE AS DIRECTED BY SUPPLIER.
- (P8) PROVIDE FLUSH MOUNTED JUNCTION BOX FOR TELEPHONE/DATA TO SYSTEMS FURNITURE. FIELD COORDINATE EXACT LOCATION AND REQUIREMENTS PRIOR TO ROUGH-IN. MAKE CONNECTIONS TO FURNITURE AS DIRECTED BY SUPPLIER.
- (P9) CONNECT TO NEW POWER CIRCUITS AS INDICATED ON POWER PLAN. PROVIDE (3) 1P 20A CIRCUIT BREAKERS WITH DEDICATED NEUTRAL AND (1) 1P 20A CIRCUIT BREAKER WITH ISOLATED GROUND IN EXISTING PANEL 'P1H'.
- (P10) EXISTING ELECTRICAL EQUIPMENT AND DEVICES IN THIS AREA TO REMAIN. MAINTAIN EXISTING ELECTRICAL CONNECTIONS.
- (P11) RELOCATED CAMERA. EXTEND ASSOCIATED WIRING TO NEW CAMERA LOCATION AND MAINTAIN EXISTING CIRCUIT. COORDINATE EXACT LOCATION WITH ARCHITECTURAL REFLECTED CEILING PLAN.

EXISTING CONDITIONS

DESIGNATION	DESCRIPTION
(N)	NEW EQUIPMENT
(E)	EXISTING EQUIPMENT TO REMAIN
(R)	EXISTING EQUIPMENT RELOCATED
(X)	EXISTING EQUIPMENT TO BE REMOVED

CONSTRUCTION ISSUE 03/18/2013

SRBR No: 13039

Description

Date

No.

MEP ENGINEER:
Stapel, Rutherford, Brasaccio & Ridgway, Inc.
757 Frederick Road - Suite 300
Crownsville, Maryland 21228
(410) 989-7292

SEAL:

OWNERS REPRESENTATIVE APPROVAL

DATE: _____
SIGNATURE: _____

DRAWING TITLE:

**FLOOR PLAN
POWER
SIM LABS**

SCALE: As indicated

MEDVANCE INSTITUTE
PORT ST. LUCIE
ADMIN/FAC. AREA & SIM SUITE
9164 US Highway 1 South
Port St. Lucie, FL 34928

EDUCATION AFFILIATES

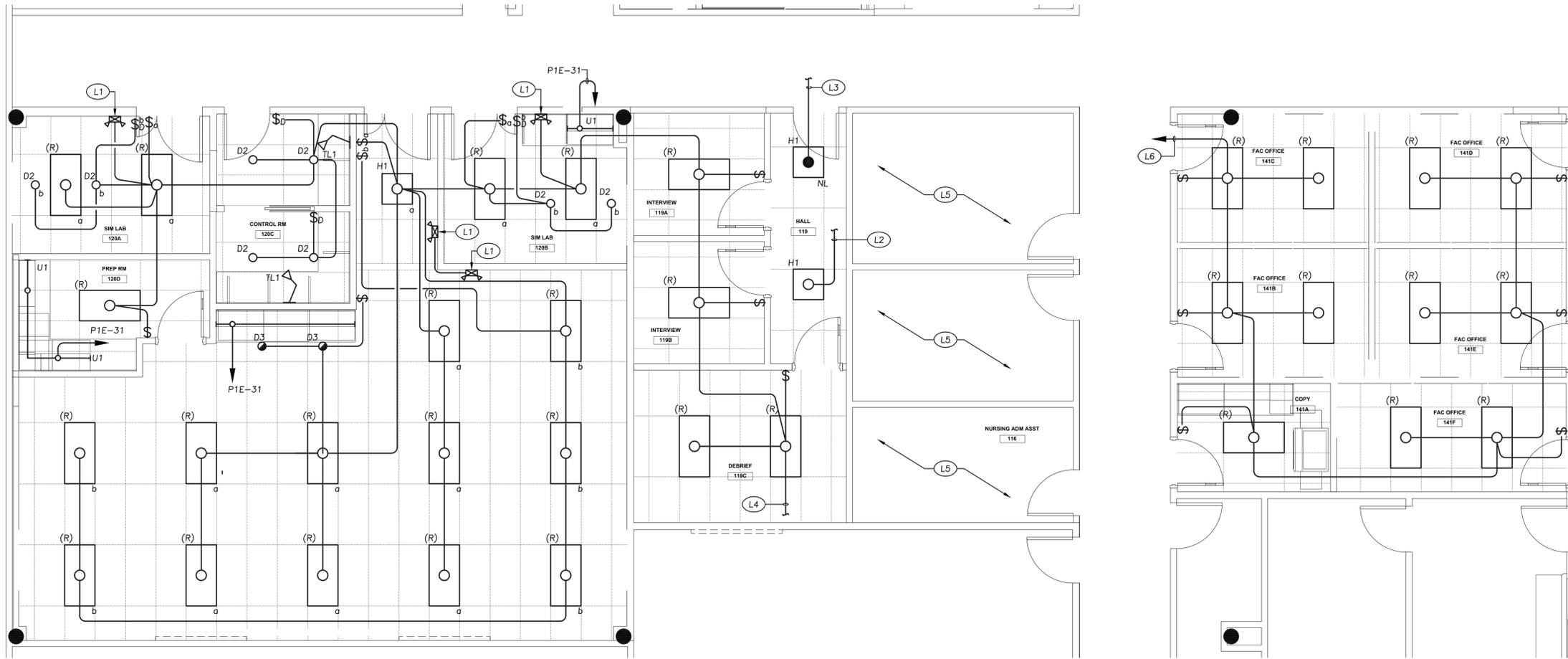
PROJECT NO:
1225

DATE: 03/18/2013

DRAWING NO:

E1.1

SHEET: ___ OF: ___



FLOOR PLAN - LIGHTING

SIM LABS
 SCALE: 1/4" = 1'-0" 0 1' 2' 4' 8'

LIGHTING PLAN NOTES:	
(L1)	CONNECT EMERGENCY BATTERY PACK AHEAD OF LOCAL SWITCH CONTROL.
(L2)	CONNECT TO EXISTING CORRIDOR LIGHTING CIRCUIT SERVING THIS AREA.
(L3)	CONNECT TO EXISTING CORRIDOR NIGHT LIGHTING CIRCUIT SERVING THIS AREA.
(L4)	CONNECT TO EXISTING LIGHTING CIRCUIT L1B-1. CONTRACTOR TO VERIFY EXISTING CIRCUIT AVAILABILITY AND CONNECTED LOAD. CONNECT TO EXISTING 1P, 20A SPARE CIRCUIT BREAKER IF EXISTING LIGHTING CIRCUIT IS UNAVAILABLE.
(L5)	EXISTING LIGHTING IN THIS AREA TO REMAIN. MAINTAIN EXISTING ELECTRICAL CONNECTIONS AND LIGHTING CONTROLS.
(L6)	CONNECT TO EXISTING LIGHTING CIRCUIT L1B-7. CONTRACTOR TO VERIFY EXISTING CIRCUIT AVAILABILITY AND CONNECTED LOAD. CONNECT TO EXISTING 1P, 20A SPARE CIRCUIT BREAKER IF EXISTING LIGHTING CIRCUIT IS UNAVAILABLE.

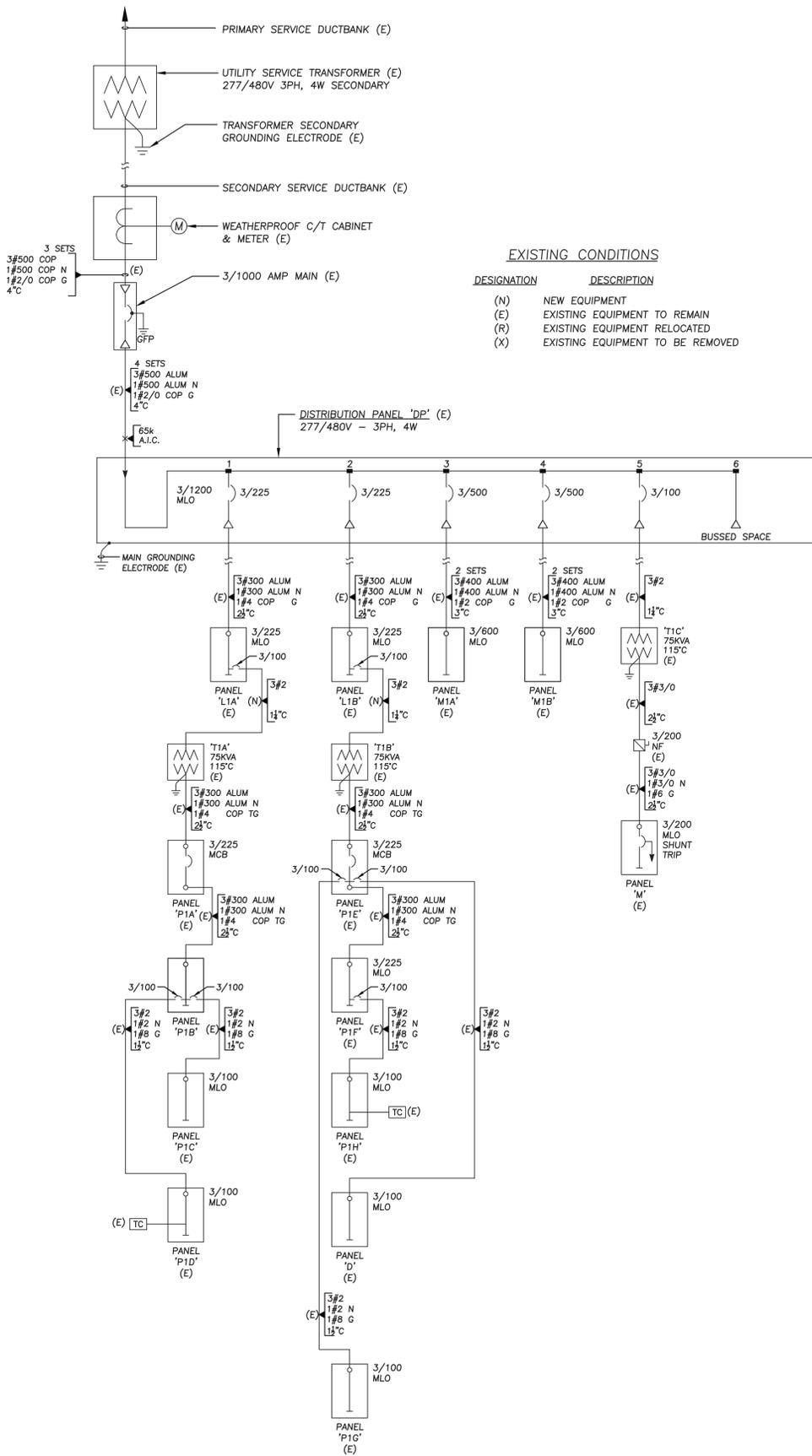
Description	Date	No.

MEP ENGINEER:
 Siegel, Rutherford, Brasscock & Ridgway, Inc.
 757 Frederick Road - Suite 302
 Calverton, Maryland 21228
 410.688.7232

SEAL:	DATE:
OWNERS REPRESENTATIVE APPROVAL	SIGNATURE:

DRAWING TITLE:
FLOOR PLAN LIGHTING SIM LABS
 SCALE: As indicated

MEDVANCE INSTITUTE
 PORT ST. LUCIE
 ADMIN/FAC. AREA & SIM SUITE
 9164 US Highway 1 South
 Port St. Lucie, FL 34928
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POWER DISTRIBUTION DIAGRAM

NO SCALE

- NOTES:**
- EQUIPMENT IMMEDIATELY DOWN STREAM OF FAULT CURRENT A.I.C. RATING DESIGNATION SHALL BE BRACED FOR THE RATING INDICATED. BRANCH MAINS SHALL BE U.L. SERIES RATED OR CURRENT LIMITING TYPE FUSES TO REDUCE DOWN STREAM FAULT CURRENT TO 10k A.I.C. OR LESS (SUBMIT SHOP DRAWINGS OF RATED EQUIPMENT).

PANEL L1B (E)														
VOLTAGE:		277 / 480		225 AMP MAIN C/B				A.I.C.:		14k		SURFACE		
PHASE WIRE:		3 PH, 4 W		C/B		WIRE		C/B		SERVING		CKT		
CKT	SERVING	P	TRIP	QTY	AWG	KVA	PH	KVA	QTY	AWG	P	TRIP	CKT	
1	LTG-NURSING SKILLS	1	20	2	12	2.5	A				1	20	SPARE	2
3	LTG-DENTAL LAB	1	20	2	12	1.5	B				1	20	SPARE	4
5	LTG-CLASS RM/X-RAY	1	20	2	12	2.7	C				1	20	SPARE	6
7	LTG-CLASS RM/ LABS	1	20	2	12	2.8	A						BUSSED SPACE	8
9	LTG-OFFICES	1	20	2	12	2.8	B						BUSSED SPACE	10
11	LTG-CORRIDOR	1	20	2	12	1.5	C						BUSSED SPACE	12
13	LTG-CORRIDOR N.L. (1)	1	20	2	12	1.5	A						BUSSED SPACE	14
15	LTG-EXTERIOR (2)	1	20	2	12	2.0	B						BUSSED SPACE	16
17	LTG-EXTERIOR N.L. (1)(2)	1	20	2	12	2.0	C						BUSSED SPACE	18
19	LTG-CANOPY	1	20	2	12	2.0	A						BUSSED SPACE	20
21	SPARE	1	20				B						BUSSED SPACE	22
23	SPARE	1	20				C						BUSSED SPACE	24
25	SPARE	1	20				A						BUSSED SPACE	26
27	BUSSED SPACE						B						BUSSED SPACE	28
29	BUSSED SPACE						C						BUSSED SPACE	30
31	BUSSED SPACE						A						BUSSED SPACE	32
33	BUSSED SPACE						B						BUSSED SPACE	34
35	BUSSED SPACE						C						BUSSED SPACE	36
37	BUSSED SPACE						A	23.7	3	2	3	100	TRANSFORMER 'T1B'	38
39	BUSSED SPACE						B	21.5						40
41	BUSSED SPACE						C	21.8						42
TOTAL DEMAND KVA (PER PHASE):		A: 34.7		B: 29.4		C: 29.6		DESIGN KVA: 104		DESIGN AMPS: 125				

- NOTES:**
- PROVIDE HANDLE LOCK-ON CIRCUIT BREAKER COVER.
 - VIA TIME LOCK CONTACTOR (REFER TO TIME LOCK CONTACTOR DETAIL ON SHEET E2.2)

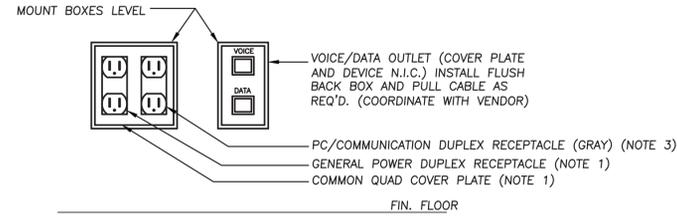
PANEL P1E (E)														
VOLTAGE:		120 / 208		225 AMP MAIN C/B				A.I.C.:		10k		SURFACE		
PHASE WIRE:		3 PH, 4 W		C/B		WIRE		C/B		SERVING		CKT		
CKT	SERVING	P	TRIP	QTY	AWG	KVA	PH	KVA	QTY	AWG	P	TRIP	CKT	
1	REC-X-RAY 156	1	20	2	12	0.5	A	0.5	2	12	1	20	REC-CLASS 115	2
3	REC-X-RAY 156	1	20	2	12	0.5	B	0.5	2	12	1	20	REC-CLASS 115	4
5	REC-X-RAY 156	1	20	2	12	0.5	C	0.5	2	12	1	20	REC-CLASS 115	6
7	REC-X-RAY 156	1	20	2	12	0.5	A	0.5	2	12	1	20	REC-CLASS 115	8
9	REC-X-RAY 156	1	20	2	12	0.5	B	0.5	2	12	1	20	REC-CLASS 115	10
11	REC-X-RAY 157	1	20	2	12	0.5	C	0.5	2	12	1	20	REC-CLASS 115	12
13	REC-X-RAY 157	1	20	2	12	0.5	A	0.5	2	12	1	20	REC-CLASS 115	14
15	REC-X-RAY 157	1	20	2	12	0.5	B	0.5	2	12	1	20	REC-CLASS 115	16
17	REC-X-RAY 157	1	20	2	12	0.5	C	0.5	2	12	1	20	REC-CLASS 115	18
19	REC-X-RAY 157	1	20	2	12	0.5	A	0.5	2	12	1	20	REC-CLASS 115	20
21	REC-DEBRIEF 119C	1	20	2	12	0.5	B	0.5	2	12	1	20	REC-SIM LAB 120B	22
23	REC-INTERVIEW 119 (1)	1	20	2	12	0.5	C	0.5	2	12	1	20	REC-SIM LAB 120C	24
25	REC-CONTROL RM (1)	1	20	2	12	0.5	A	0.5	2	12	1	20	REC-CTRL RM 120C (1)	26
27	REC-SIM LAB 120B (1)(2)	1	20	2	12	0.5	B	0.5	2	12	1	20	REC-OFFICE 144	28
29	REC-DEBRIEF	1	20	2	12	0.5	C	0.5	2	12	1	20	REC-OFFICE 144	30
31	LTG-UNDERCABINET	1	20	2	12	1.5	A	0.5	2	12	1	20	REC-EVIC	32
33	SPARE	1	20				B	0.5	2	12	1	20	REC-X-RAY 156	34
35	REC-SIM LAB 120B	1	20	2	12	0.5	C	1.0	2	12	1	20	REC-X-RAY 156	36
37	PANEL P1G	3	100	4	2	5.5	A	6.0	4	2	3	100	PANEL 'D'	38
39						5.7	B	5.5						40
41						5.2	C	4.9						42
TOTAL DEMAND KVA (PER PHASE):		A: 16.1		B: 14.0		C: 13.4		DESIGN KVA: 48		DESIGN AMPS: 134				

- NOTES:**
- EXISTING ISOLATED GROUND BUS BAR.
 - PROVIDE DEDICATED NEUTRAL.
 - ISOLATED GROUND CIRCUIT.

PANEL P1F														
VOLTAGE:		120 / 208		225 AMP MAIN LUGS				A.I.C.:		10k		SURFACE		
PHASE WIRE:		3 PH, 4 W		C/B		WIRE		C/B		SERVING		CKT		
CKT	SERVING	P	TRIP	QTY	AWG	KVA	PH	KVA	QTY	AWG	P	TRIP	CKT	
1	REC-SERVER	1	20	3	12	0.8	A	0.8	2	12	1	20	REC-OFFICE 144	2
3	REC-SERVER	1	20	3	12	0.8	B	0.8	2	12	1	20	REC-OFFICE 151A	4
5	REC-ADMN. 158	1	20	2	12	0.8	C	0.8	2	12	1	20	REC-OFFICE 152	6
7	REC-ADMN. 158	1	20	2	12	0.8	A	0.8	2	12	1	20	REC-RECEPT. 101	8
9	REC-ADMN. 158	1	20	2	12	0.8	B	0.8	2	12	1	20	REC-RECEPT. 101	10
11	REC-ADMN. 158	1	20	3	12	0.8	C	0.8	2	12	1	20	REC-OFFICE 158B	12
13	REC-ADMN. 158	1	20	2	12	0.8	A	0.8	2	12	1	20	REC-OFFICE 158B	14
15	REC-ADMN. 158	1	20	2	12	0.8	B	0.8	2	12	1	20	REC-COPY 158C	16
17	REC-ADMN. 158	1	20	2	12	0.8	C	0.8	2	12	1	20	REC-COPY 158C	18
19	REC-ADMN. 158	1	20	3	12	0.8	A	0.8	2	12	1	20	REC-OFFICE 158F	20
21	REC-ADMN. 158	1	20	2	12	0.8	B	0.8	2	12	1	20	REC-OFFICE 158F	22
23	REC-ADMN. 158	1	20	2	12	0.8	C	0.8	2	12	1	20	REC-BREAK 147	24
25	REC-ADMN. 158	1	20	2	12	0.8	A	0.8	2	12	1	20	REC-BREAK 147	26
27	REC-ADMN. 158	1	20	3	12	0.8	B	0.8	2	12	1	20	REC-BREAK 147	28
29	UND COUNTER REF RM 147	1	20	2	12	1.0	C	0.8	2	12	1	20	REC-MED 142	30
31	SPARE	1	20				A	0.8	2	12	1	20	REC-MED 142	32
33	SPARE	1	20				B	0.8	2	12	1	20	REC-MED 142	34
35	SPARE	1	20				C	0.8	2	12	1	20	REC-MED 142	36
37	PANEL 'P1H'	3	100	4	2	3.2	A						SPARE	38
39						2.6	B	1.0	2	12	1	20	FIRE ALM CNTRL PNL	40
41						3.4	C	1.0	2	12	1	20	FIRE ALM CNTRL PNL	42
TOTAL DEMAND KVA (PER PHASE):		A: 7.8		B: 7.5		C: 8.4		DESIGN KVA: 25		DESIGN AMPS: 70				

- NOTES:**
- EXISTING ISOLATED GROUND BUS BAR.

PANEL P1G (E)														
VOLTAGE:		120 / 208		100 AMP MAIN LUGS				A.I.C.:		10k		SURFACE		
PHASE WIRE:		3 PH, 4 W		C/B		WIRE		C/B		SERVING		CKT		
CKT	SERVING	P	TRIP	QTY	AWG	KVA	PH	KVA	QTY	AWG	P	TRIP	CKT	
1	REC-MED 143	1	20	2	12	0.8	A	0.8	2	12	1	20	REC-MED 142	2
3	REC-MED 143	1	20	2	12	0.8	B	0.8	2	12	1	20	REC-MED 142	4
5	REC-MED 143	1	20	2	12	0.8	C	0.8	2	12	1	20	REC-MED 142	6
7	REC-MED 143	1	20	2	12	0.8	A	0.8	2	12	1	20	REC-MED 142	8
9	SUMP PUMP	1	20	2	12	0.8	B	0.8	2	12	1	20	REC-MED 143	10
11	COMM BKBRD	1	20	2	12	0.8	C	0.8	2	12	1	20	REC-MED 143	12
13	COMM BKBRD	1	20	2	12	0.8	A	0.8	2	12	1	20	REC-MED 143	14
15	REC-SIM LAB 120A	1	20	2	12	0.8	B	0.8	3	12	1	20	REC-MED 143	16
17	REC-NUS. SKILLS. 120	1	20	2	12	0.8	C	0.8	2	12	1	20	REC-FACULTY 148	18
19	REC-NUS. SKILLS. 120	1	20	2	12	0.8	A	0.8	2	12	1	20	REC-FACULTY 148	20
21	REC-NUS. SKILLS. 120	1	20	2	12	0.8	B	0.8	2	12	1	20	REC-FACULTY 148	22
23	REC-NUS. SKILLS. 120	1	20	2	12	0.8	C	0.8	3	12	1	20	REC-FACULTY 148	24
25	REC-NUS. SKILLS. 120	1	20	2	12	0.8	A	0.8	2	12	1	20	REC-FACULTY 148	26
27	REC-PRP ROOM 120D	1	20	2	12	0.8	B	0.8	2	12	1	20	REC-FACULTY 148	28
29	COUNTER REC-PM 143	1	20	2	12	0.8	C	0.8	2	12	1	20	REC-FACULTY 148	30
3														

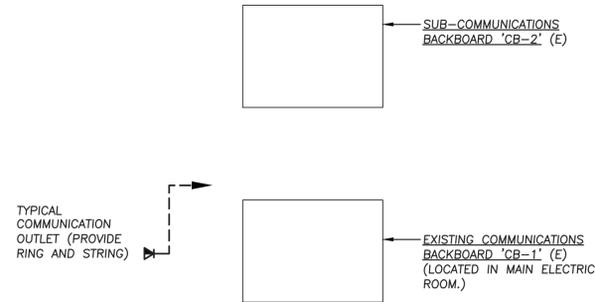


OUTLET MOUNTING DETAIL - TYPICAL

NO SCALE

NOTE:

1. VERIFY GENERAL PURPOSE OUTLET AND COVER PLATE FINISHES WITH ARCHITECT. COVER PLATES TO BE STAINLESS STEEL OR OTHER STANDARD FINISH AS SELECTED BY THE ARCHITECT.
2. LIGHT SWITCHES SHALL MATCH THE GENERAL POWER OUTLET FINISHES.
3. OUTLETS FOR PC/COMMUNICATION EQUIPMENT SHALL BE CONNECTED WITH DEDICATED NEUTRAL FOR EACH CIRCUIT. OUTLETS SHALL HAVE GRAY FINISH OR OPPOSITE OF SELECTED GENERAL OUTLET FINISH.



COMMUNICATION RACEWAY DIAGRAM

NO SCALE

NOTES:

1. BACKBOARD SHALL BE FIRE TREATED PLYWOOD PAINTED MATTE WHITE.
2. PROVIDE 3/4" CONDUIT TO FIRE ALARM PANEL, SECURITY PANEL, ATC PANEL & ELEVATOR MACHINE ROOM (WHERE APPLICABLE).

INTERIOR LIGHTING FIXTURE SCHEDULE

MARK	FITXURE DESCRIPTION			REMARKS	VOLT	MOUNTING	LAMPS		INPUT WATTS EFFICIENCY	MANUFACTURER	TYPICAL LOCATION
	ILLUM.	TYPE	DIFFUSER				QTY	TYPE			
D2	COMPACT FLUOR.	DOWN LIGHT	SPECULAR CLEAR ALZAK	VERTICAL LAMP, WIDE BEAM 6" APERTURE, PROVIDE DIMMING BALLAST (NOTE 3)	277	RECESSED	1	32 WATT TRIPLE	35W 80.0%	OMEGA #OM6 SERIES	-
D3	COMPACT FLUOR.	WALL WASHER	SPECULAR CLEAR ALZAK	6" APERTURE, PROVIDE DIMMING BALLAST (NOTE 3)	277	RECESSED	1	26 WATT TRIPLE		OMEGA #OM6 SERIES	-
H1	FLUOR.	2'X2'	SMOOTH	-	277	GRID	2	14W T5	39W 80.6%	LITHONIA #2RT5 SERIES	-
TL1	COMPACT FLUOR.	TASK LIGHT	-		120	-	1	13W CFL	13W	ERGO (IBIS) #FT13 SERIES	-
U1	FLUOR.	UNDER CABINET	-	SEE NOTE 4	120	SURFACE MOUNTED	1	-		DAYBRITE #MUC SERIES	

INTERIOR LIGHTING NOTES:

1. ALL T5 & COMPACT FLUORESCENT FIXTURES TO BE FURNISHED WITH ELECTRONIC BALLAST. PROVIDE MULTI-BALLASTS AND CONNECT FOR DUAL LEVEL LIGHTING WHERE INDICATED ON THE PLANS.
2. ALL T5 & COMPACT FLUORESCENT LAMPS TO BE 4100 K, 80 COLOR RENDERING INDEX + U.N.O.
3. FIXTURE SHALL BE CAPABLE OF OPERATING 26 WATT OR 32 WATT LAMPS.
4. PROVIDE QUANTITY OF 2', 3' AND 4' STRIP LIGHTS REQUIRED FOR LENGTHS INDICATED ON THE PLANS.
5. RECESSED LIGHT FIXTURE HOUSING THAT IS IN CONTACT WITH INSULATION SHALL BE IC RATED.

EMERGENCY LIGHTING FIXTURE SCHEDULE

MARK	DESIG. (NOTE 3)	FITXURE DESCRIPTION			REMARKS	VOLT	MOUNTING	LAMPS		MANUFACTURER	TYPICAL LOCATION
		ILLUM.	TYPE	SOURCE				QTY	TYPE		
⊗	EX1	LED	EXIT	INTEGRAL BATTERY	HIGH IMPACT THERMO WHITE PLASTIC HOUSING, SINGLE FACE	277	UNIVERSAL	-	FURNISHED W/ FIXTURE	EMERGI-LITE #PREM SERIES	EXITS
⊙	EX2	LED	EXIT	INTEGRAL BATTERY	HIGH IMPACT THERMO WHITE PLASTIC HOUSING, DOUBLE FACE	277	UNIVERSAL	-	FURNISHED W/ FIXTURE	EMERGI-LITE #PREM SERIES	EXITS
⊠	EB1	HALOGEN	EMERG.	INTEGRAL BATTERY	TWIN HEAD, NO REMOTE	277	WALL	2	FURNISHED W/ FIXTURE	EMERGI-LITE #PREM SERIES (12V, 12W HEADS)	-

EMERGENCY LIGHTING NOTES:

1. EXIT SIGNS SHALL HAVE DIRECTIONAL ARROWS AS INDICATED ON THE PLANS.
2. VERIFY COLOR AND CONFIGURATION OF EXIT SIGN LETTERS WITH LOCAL CODES.
3. EXIT SIGNS AND EMERGENCY BATTERY PACKS ARE INDICATED BY SYMBOL ON THE PLANS IN LIEU OF LETTER DESIGNATION.
4. EXIT SIGNS AND EMERGENCY BATTERY PACKS SHALL BE CONNECTED AHEAD OF LOCAL SWITCH.
5. EXIT LIGHTS SHALL BE MOUNTED: (1) ON WALL 6" ABOVE DOOR WHERE POSSIBLE. (2) CEILING MOUNTED. (3) ON WALL TO THE SIDE OF THE DOOR AS HIGH AS POSSIBLE, WHERE CEILING IS TO LOW. EXIT SHALL BE NO MORE THAN 2' HORIZONTALLY FROM THE OPENING. (4) WHEN DEALING WITH HIGH CEILING, I.E. WAREHOUSE, REPAIR BAYS, THE BOTTOM OF THE NEW EGRESS MARKINGS SHALL BE LOCATED AT A VERTICAL DISTANCE OF NOT MORE THAN 80" ABOVE THE TOP EDGE OF THE EGRESS OPENING INTENDED FOR DESIGNATION BY THE MARKING.
6. TYPE 'EB1' EMERGENCY LIGHTING SHALL BE WALL MOUNTED AT 7'-0" A.F.F. UNLESS NOTED OTHERWISE.

GENERAL FIXTURE NOTES:

1. FIXTURE MARK IS TYPICAL FOR ALL FIXTURES OF THE SAME SYMBOL TYPE WITHIN THE SAME ROOM OR AREA U.N.O.
2. FIXTURE CATALOG # ESTABLISHES THE MANUFACTURER'S SERIES # - COMPLETE CATALOG # SHALL BE DETERMINED BY THE SCHEDULE DESCRIPTION, PLAN NOTES AND THE SPECIFICATIONS.

RCG

RCG ARCHITECTS
509 South Exeter Street
Suite 300
Baltimore, MD 21202
phone: 410.685.7033
fax: 410.783.0090

Description
Date
No.

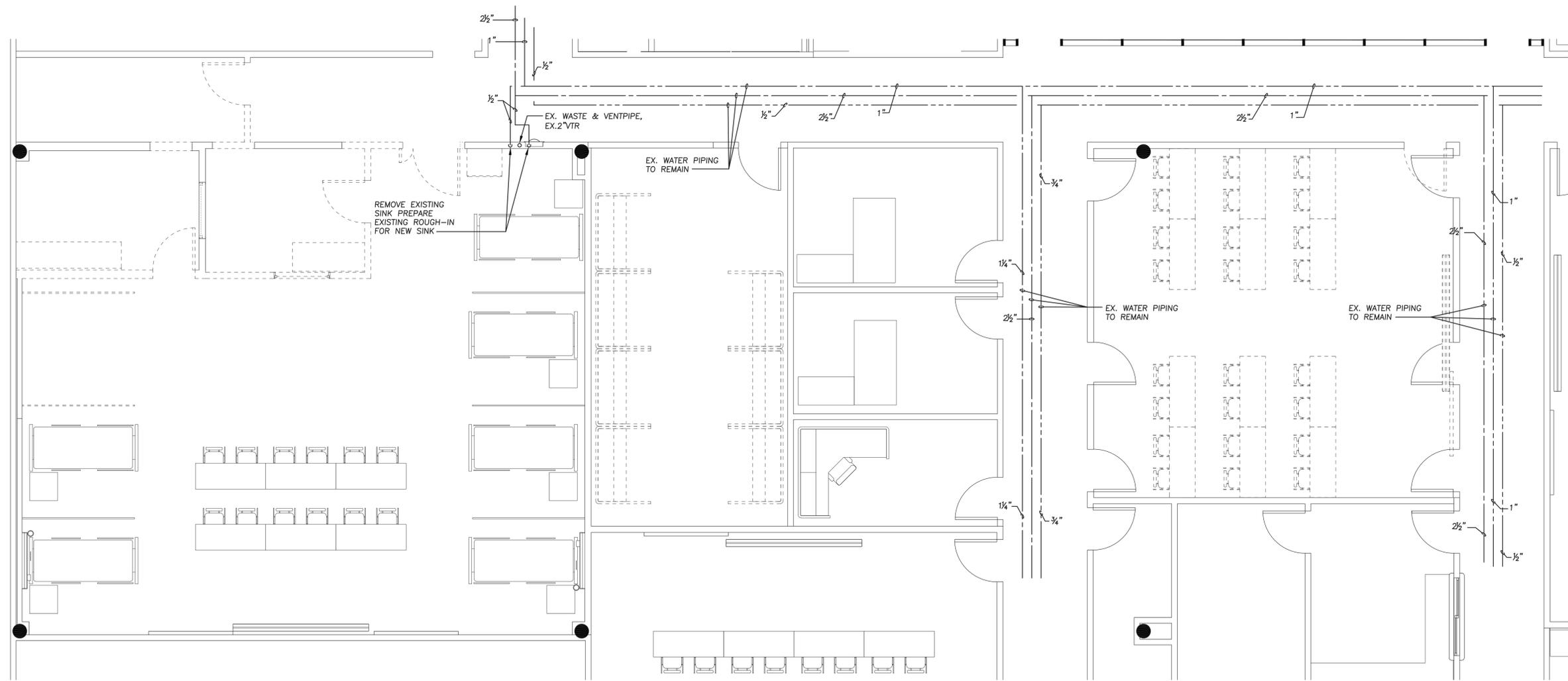
MEP ENGINEER
Siegel, Rutherford, Brasco & Ridgeley, Inc.
757 Frederick Road - Suite 302
Catonville, Maryland 21228
(410) 689-7222

SEAL:
OWNER'S REPRESENTATIVE APPROVAL

DRAWING TITLE:
ELECTRICAL SCHEDULES, DETAILS, AND DIAGRAMS
SCALE: As indicated

MEDVANCE INSTITUTE
PORT ST. LUCIE
ADMIN/FAC. AREA & SIM SUITE
9164 US Highway 1 South
Port St. Lucie, FL 34928
EDUCATION AFFILIATES

PROJECT NO:
1225
DATE: 03/18/2013
DRAWING NO:
E2.2
SHEET: ___ OF: ___



FLOOR PLAN - PLUMBING DEMOLITION

SCALE: 1/4" = 1'-0" 0 1' 2' 4' 8'

CONSTRUCTION ISSUE 03/18/2013

SRBR No: 13039



RCG ARCHITECTS
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No.	Date	Description

MEP ENGINEER:
Stapel, Rutherford, Brasscock & Ridgway, Inc.
777 Frederick Road - Suite 302
Catonville, Maryland 21228
(410) 688-7232

SEAL:	
OWNERS REPRESENTATIVE APPROVAL	
SIGNATURE:	
DATE:	

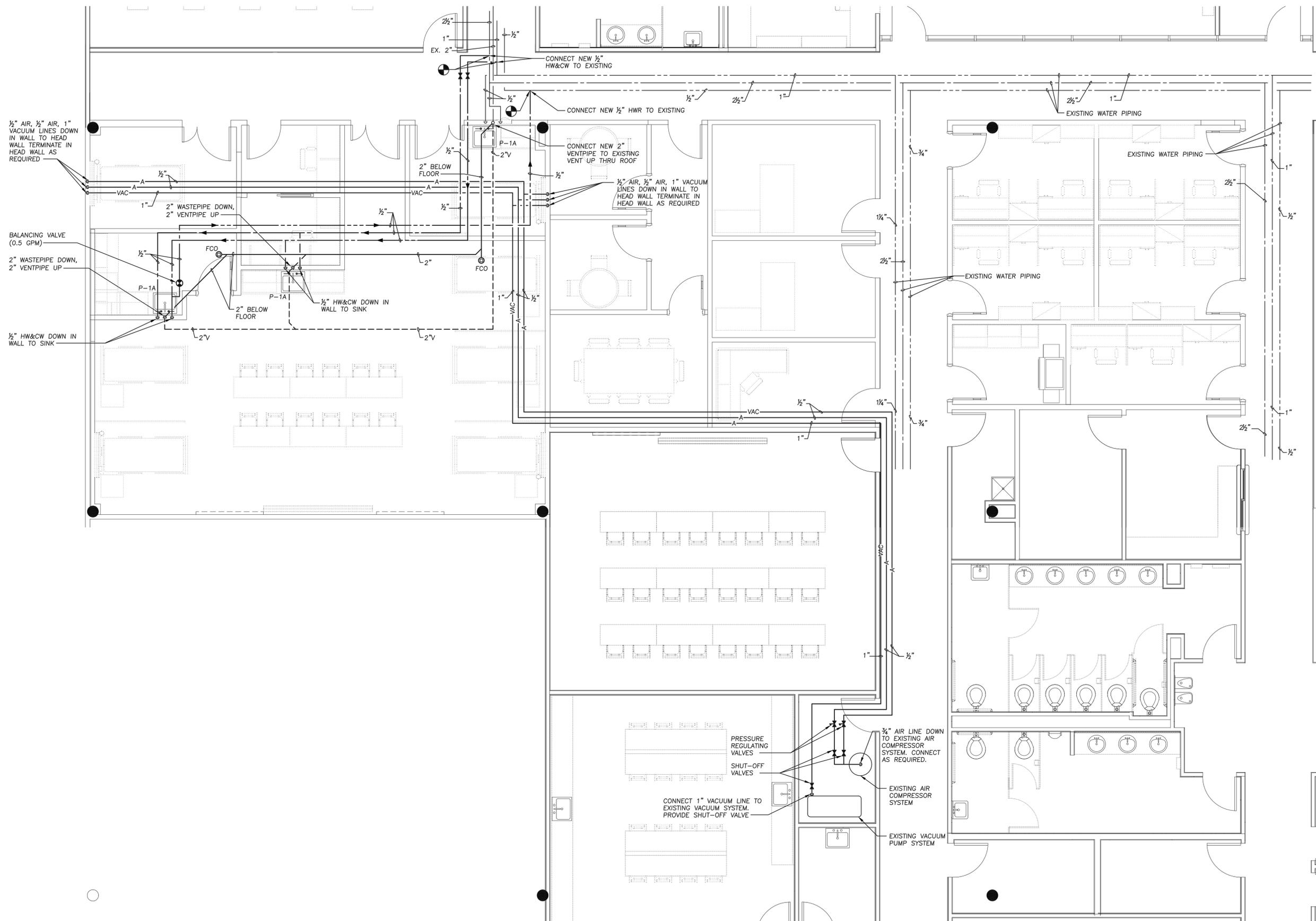
DRAWING TITLE:
**FLOOR PLAN
PLUMBING
DEMOLITION**

SCALE: As indicated

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PORT ST. LUCIE
ADMIN/FAC. AREA & SIM SUITE
9164 US Highway 1 South
Port St. Lucie, FL 34928

EDUCATION AFFILIATES

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DATE: 03/18/2013	
DRAWING NO: P1.0	
SHEET: ___ OF: ___	



FLOOR PLAN - PLUMBING

SCALE: 1/4" = 1'-0"

No.	Date	Description

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757 Frederick Road - Suite 302
Crownsville, Maryland 21228
(410) 888-7232

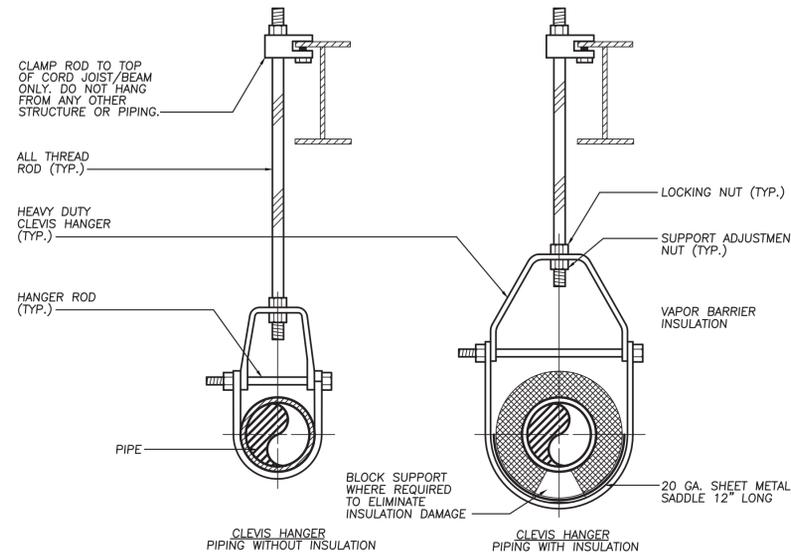
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OWNERS REPRESENTATIVE APPROVAL:	SIGNATURE:

DRAWING TITLE:
**FLOOR PLAN
PLUMBING**

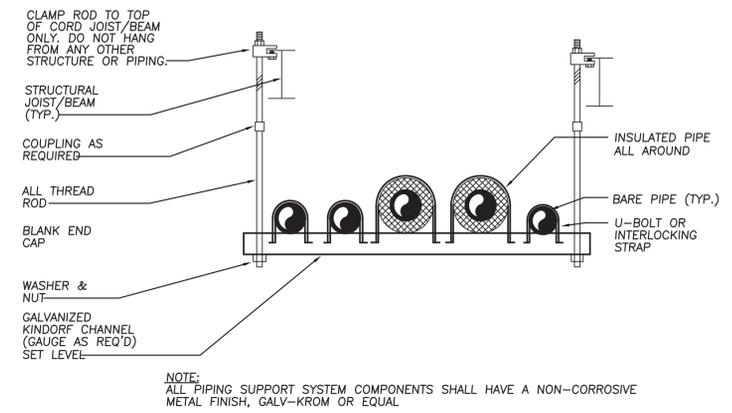
SCALE: As indicated

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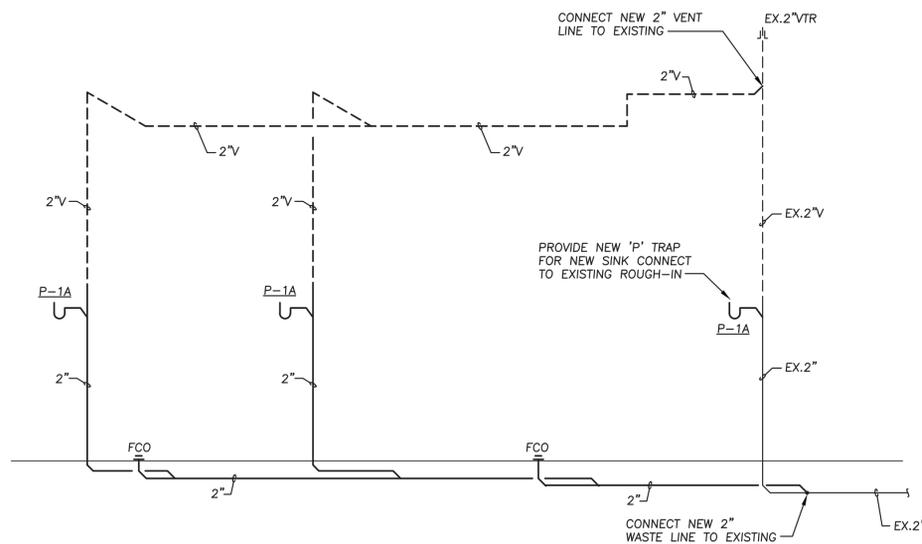


PIPE SUPPORT DETAIL
NO SCALE

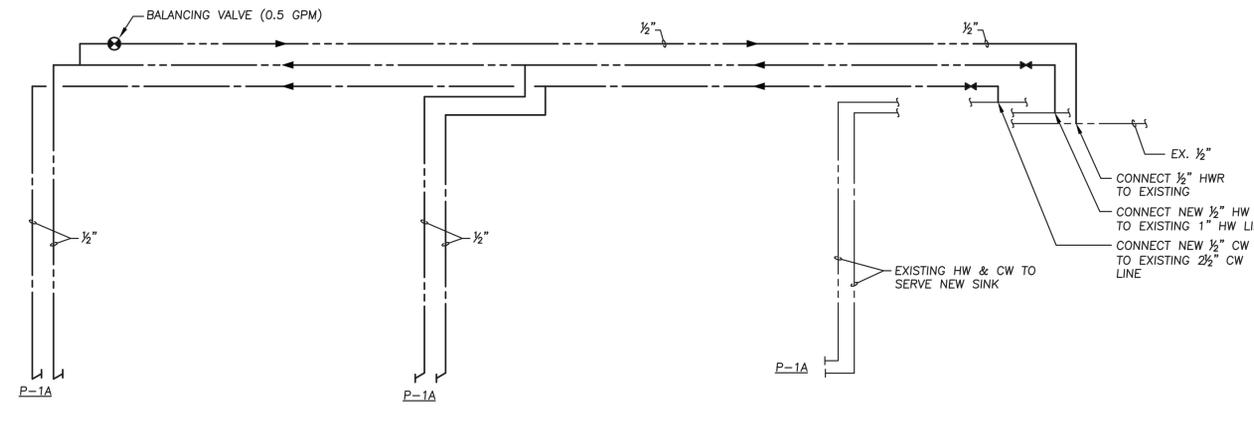


TRAPEZE PIPE SUPPORT DETAIL
NO SCALE

PLUMBING FIXTURE SCHEDULE					
DESIG	FIXTURE TYPE	HW	CW	SAN	SPECIFICATIONS
P-1A	COUNTERTOP SINK SINGLE BOWL	1/2"	1/2"	2"	"ELKAY" No. "LRAD-2522": (25"x22"x6") 18 GAUGE STAINLESS STEEL SELF-RIM TYPE, 4" CENTERS, OFF-CENTERED DRAIN, ADA COMPLIANT. FURNISH FAUCET No. "LK2445BH" WITH HI-ARC SPOUT AND WING HANDLES AND CRUMB CUP STRAINER No. "LK-35". PROVIDE SUPPLIES WITH STOPS AND "P"-TRAP.



WASTE AND VENT RISER DIAGRAM
NO SCALE



WATER RISER DIAGRAM
NO SCALE

Description
Date
No.

MEP ENGINEER:
Stapel, Rutherford, Brasscock & Ridgway, Inc.
757 Frederick Road - Suite 300
Catonville, Maryland 21228
(410) 688-7292

SEAL:

OWNERS REPRESENTATIVE APPROVAL

DATE:
SIGNATURE:

DRAWING TITLE:
PLUMBING SCHEDULES AND DETAILS

SCALE: As indicated

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ADMIN/FAC. AREA & SIM SUITE
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Port St. Lucie, FL 34928

EDUCATION AFFILIATES

PROJECT NO:
1225

DATE: 03/18/2013

DRAWING NO:

P2.1

SHEET: ___ OF: ___

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MEP ENGINEER
Stapel, Rutherford, Brasscock & Ridgway, Inc.
757 Frederick Road - Suite 300
Catonville, Maryland 21228
(410) 689-7292

SEAL:	DATE:
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DRAWING TITLE:
**COVER SHEET
FIRE PROTECTION**

SCALE: As indicated

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Port St. Lucie, FL 34928

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PROJECT NO:
1225

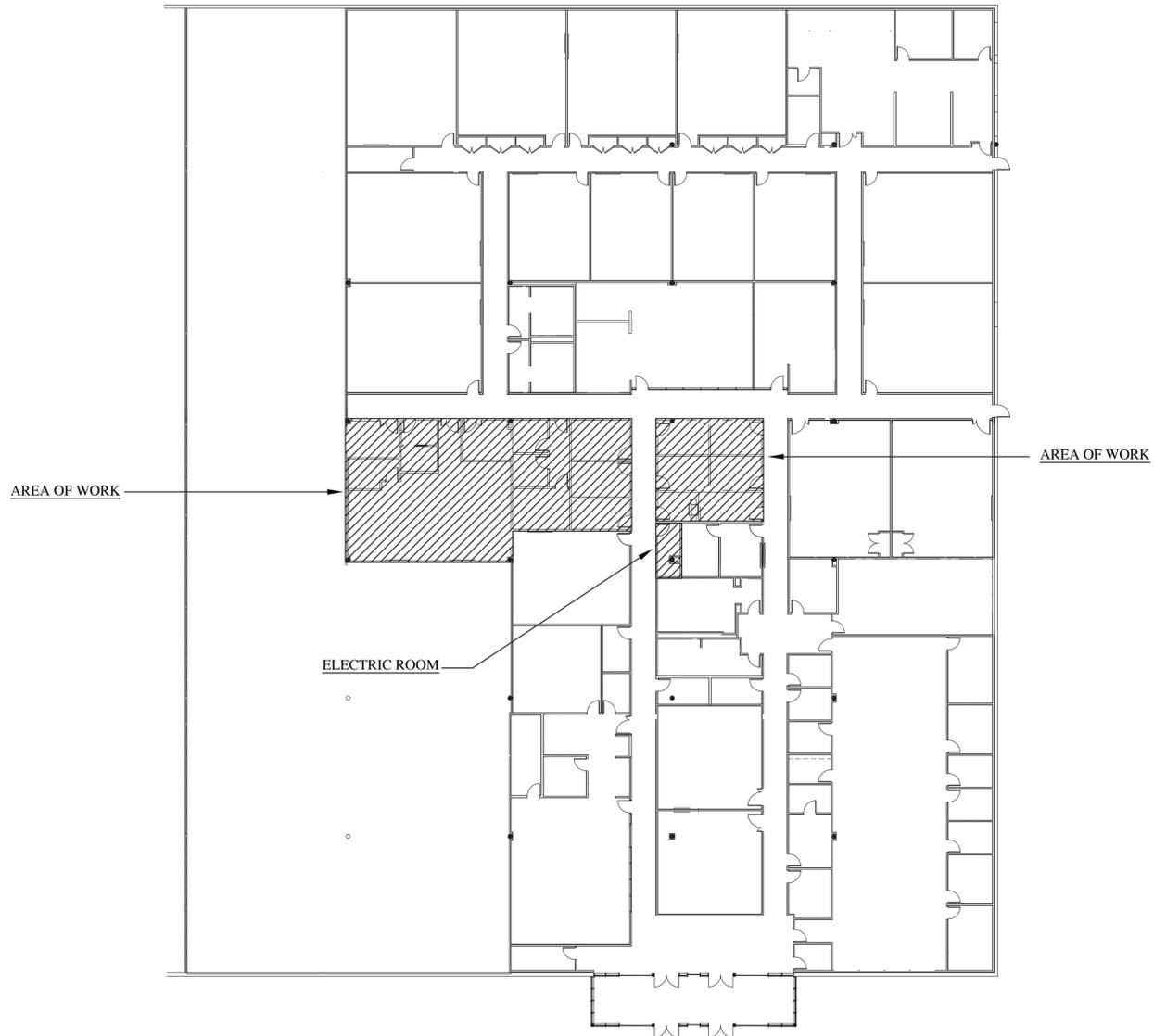
DATE: 03/18/2013

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FP0.1

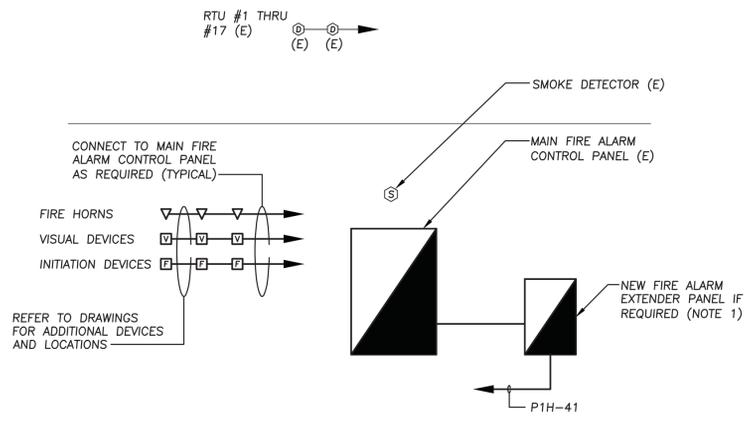
SHEET: ___ OF: ___

<p>GENERAL REQUIREMENTS</p> <ol style="list-style-type: none"> REFER TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS OF THIS PROJECT. BID PHASE: IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL DOCUMENTS TO INCLUDE PLANS AND SPECIFICATIONS FOR THE ARCHITECTURAL AND OTHER WORK UNDER OTHER DIVISIONS THAT CAN AFFECT THE WORK OF THIS DIVISION. THE CONTRACTOR SHALL ISSUE A FORMAL REQUEST FOR INFORMATION FOR CLARIFICATIONS OF ANY DISCREPANCIES IN THE DOCUMENTS PRIOR TO FINAL BID SUBMISSION. PRE-CONSTRUCTION: IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL REVISED DOCUMENTS TO INCLUDE ARCHITECTURAL PLANS AND WORK UNDER OTHER DIVISIONS THAT CAN AFFECT THE WORK OF THIS DIVISION. THIS INCLUDES REVIEW OF ALL ADDENDUMS, REVISIONS AND SHOP DRAWINGS THAT AFFECT THE WORK OF THIS DIVISION. THE CONTRACTOR SHALL NOTIFY THE A/E TEAM OF ANY DISCREPANCIES PRIOR TO FINAL ROUGH-IN.
<p>SPECIAL CONDITIONS</p> <p>A. DEMOLITION COORDINATION:</p> <ol style="list-style-type: none"> REFER TO ARCHITECTURAL DEMOLITION PLANS FOR ADDITIONAL DEMOLITION REQUIREMENTS. REFER TO ARCHITECTURAL PLANS AND/OR SUPPLEMENTAL DOCUMENTS FOR CONSTRUCTION PHASE SEQUENCE REQUIREMENTS FOR OCCUPIED SPACES AFFECTED BY THE WORK. NOTIFY THE LANDLORD OF ANY WORK THAT MAY DISRUPT OTHER AREAS OUTSIDE OF THE WORK AREA. <p>B. WORK IN EXISTING CEILINGS:</p> <ol style="list-style-type: none"> REFER TO ARCHITECTURAL CEILING PLAN AND RELATED DETAILS FOR CEILING CONDITIONS, ADDITIONAL REQUIREMENTS, AND SYSTEM INSTALLATION COORDINATION. REFER TO ARCHITECTURAL PLANS FOR AREAS TO BE DEMOLISHED AND PROVIDED WITH NEW CEILING FINISHES. ALL OTHER AREAS ARE EXISTING CEILINGS TO REMAIN. WHERE EXISTING CEILING ARE DISTURBED BY THE NEW WORK, THE EXISTING CEILING GRID AND TILES SHALL BE RE-USED AND PROTECTED DURING CONSTRUCTION AND REINSTALLED IN KIND. SECTIONS OF THE CEILING SYSTEM SHALL BE TEMPORARILY REMOVED AND REPLACED IN KIND, WHERE NEEDED, TO ACCOMMODATE THE WORK. DAMAGED CEILING SYSTEMS SHALL BE REPLACED WITH NEW SYSTEMS AS NEEDED. EXISTING DISTURBED DRYWALL CEILINGS SHALL BE PATCHED, REPAIRED, AND FINISHED TO MATCH EXISTING CONDITIONS. COORDINATE SCOPE OF WORK IN EXISTING CEILINGS WITH GENERAL CONTRACTOR AT TIME OF BIDS AND PRIOR TO START OF WORK. <p>C. SPRINKLER SYSTEM:</p> <ol style="list-style-type: none"> PROTECT AND MAINTAIN EXISTING SPRINKLER SYSTEM DURING DEMOLITION AND CONSTRUCTION. COORDINATE TEMPORARY DISRUPTIONS WITH THE LANDLORD. REWORK EXISTING SPRINKLER SYSTEM TO NEW FINISHED CEILING PER NFPA REQUIREMENTS. REFER TO ARCHITECTURAL, CEILING PLAN, LIGHTING PLAN, AND HVAC PLAN FOR COORDINATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL DOCUMENTS AND THE EXISTING CONDITIONS PRIOR TO START OF WORK. NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH EQUIPMENT PROVISIONS PRIOR TO ROUGH-IN. CONTRACTOR TO INCLUDE IN BID PROPOSAL ALL OFF HOURS WORK AS REQUIRED SO AS NOT TO INTERRUPT TENANT'S DAY TO DAY OPERATION.

DRAWING LIST	
SHEET #	SHEET TITLE
FP0.1	COVER SHEET FIRE PROTECTION
EPI.1	FLOOR PLAN FIRE PROTECTION



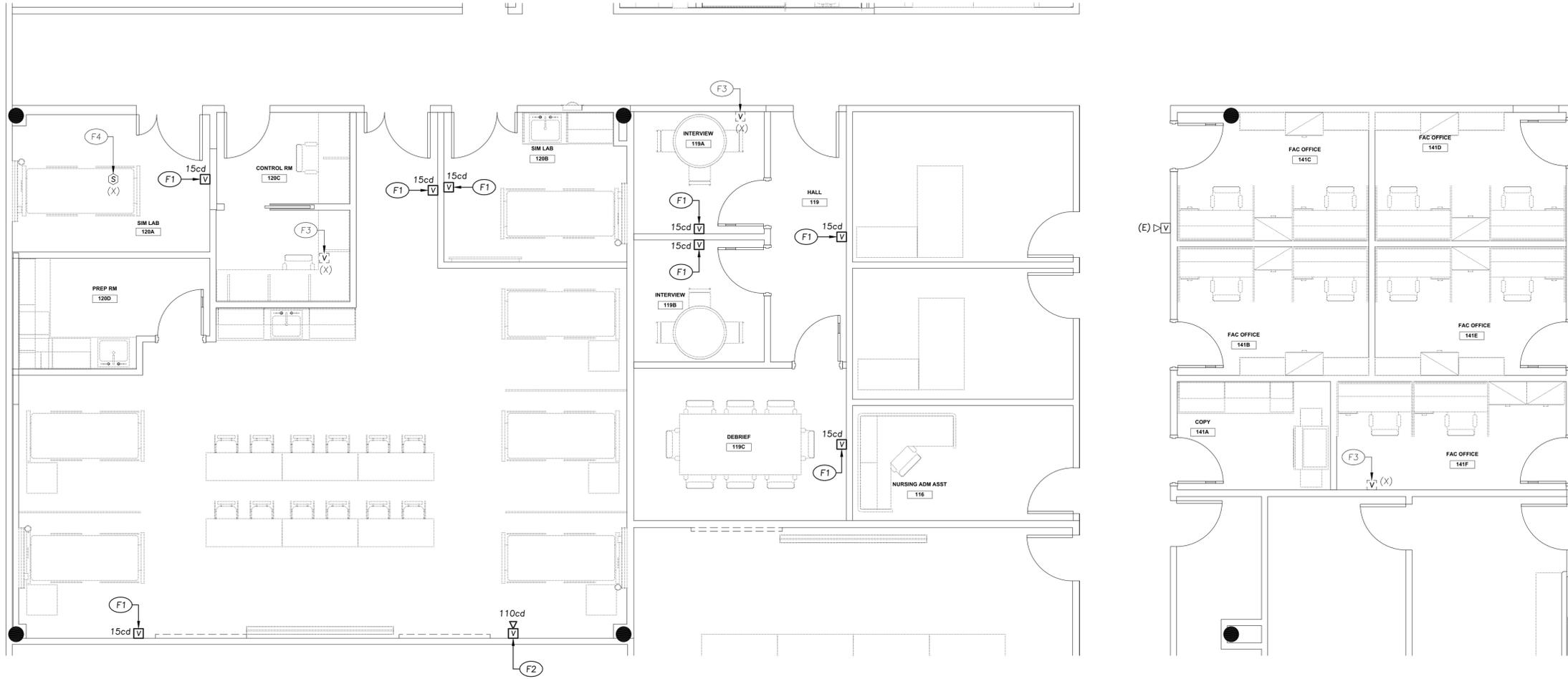
FIRE ALARM SYMBOLS	
SYMBOL	DESCRIPTION
	FIRE ALARM SYSTEM MANUAL PULL STATION. 48" A.F.F.
	FIRE ALARM SYSTEM VISUAL (STROBE) DEVICE. WALL MOUNTED 80" A.F.F. CANDELLA RATING PER NFPA 72, U.N.O.
	FIRE ALARM SYSTEM COMBINATION (HORN/ STROBE) AUDIBLE/ VISUAL DEVICE. WALL MOUNTED 80" AFF; CANDELLA RATING PER NFPA 72, U.N.O.
	FIRE ALARM SYSTEM SMOKE DETECTOR
	FIRE ALARM SYSTEM PANEL -- "FACP" DESIGNATES FIRE ALARM CONTROL PANEL, SURFACE MOUNTED; "FAAP" DESIGNATES FIRE ALARM ANNUCIATOR PANEL, RECESSED MOUNTED
NOTES:	
1. DUCT SMOKE DETECTOR FURNISHED UNDER DIVISION 16, INSTALLED UNDER DIVISION 15 AND WIRED UNDER DIVISION 16. ALL ROOF TOP UNITS OF 2000 CFM AND LARGER SHALL HAVE DUCT SMOKE DETECTORS IN THE SUPPLY AND RETURNS OF EACH ROOF TOP UNIT, AS REQUIRED BY AUTHORITY HAVING JURISDICTION.	
2. NUMBER ADJACENT TO VISUAL SIGNALING DEVICE INDICATES CANDELA RATING OF DEVICE.	
3. DIVISION 15 SHALL FURNISH AND INSTALL ALL FIRE SMOKE DAMPERS AND FIRE DAMPERS. SMOKE DAMPERS SHALL BE PROVIDED WITH DUCT SMOKES BY DIVISION 15. ALL REQUIRED POWER AND CONTROL WIRING, TRANSFORMERS, ACTUATORS, RELAYS, MODULES AND OTHER COMPONENTS TO BE FURNISHED AND INSTALLED BY DIVISION 15. DIVISION 16 SHALL MONITOR THE SMOKE DAMPERS VIA THE FIRE ALARM SYSTEM. DIVISION 16 TO PROVIDE COMPONENTS AND WIRING AS REQUIRED TO MONITOR FIRE SMOKE DAMPERS.	
4. DIVISION 16 TO PROVIDE ALL WIRING, RELAYS, MODULES, TRANSFORMERS REQUIRED TO CONNECT ALL SMOKE DAMPERS TO THE FIRE ALARM SYSTEM. SEE MECHANICAL AND ARCHITECTURAL DRAWINGS TO CONFIRM QUANTITY AND LOCATIONS OF SMOKE AND FIRE DAMPERS.	



FIRE ALARM RISER DIAGRAM
NO SCALE

NOTES:

- PROVIDE EXTENDER/BOOSTER PANEL IF NEEDED FOR ADDITIONAL STROBE CIRCUITS. PROVIDE 120 VOLT POWER CONNECTION



FLOOR PLAN - FIRE PROTECTION

SIM LABS
SCALE: 1/4" = 1'-0"
0 1' 2' 4' 8'

GENERAL NOTES:

1. ALL FIRE PROTECTION EQUIPMENT AND DEVICES SHOWN ARE NEW UNLESS NOTED OTHERWISE.
2. ALL NEW FIRE PROTECTION EQUIPMENT AND DEVICE TO MATCH EXISTING.
3. EXISTING FIRE PROTECTION EQUIPMENT AND DEVICES ARE SHOWN FOR REFERENCE PURPOSES ONLY.

FIRE PROTECTION PLAN NOTES:

- (F1) PROVIDE NEW ADA APPROVED FIRE ALARM STROBE. MAKE CONNECTION TO EXISTING SYSTEMS AS REQUIRED.
- (F2) PROVIDE NEW ADA APPROVED COMBINATION FIRE ALARM HORN/STROBE. MAKE CONNECTION TO EXISTING SYSTEMS AS REQUIRED.
- (F3) EXISTING FIRE ALARM STROBE TO BE REMOVED. REMOVE ALL ASSOCIATED WIRING BACK TO SOURCE PANEL.
- (F4) EXISTING SMOKE DETECTOR TO BE REMOVED. REMOVE ALL ASSOCIATED WIRING BACK TO SOURCE PANEL.

EXISTING CONDITIONS

DESIGNATION	DESCRIPTION
(N)	NEW EQUIPMENT
(E)	EXISTING EQUIPMENT TO REMAIN
(R)	EXISTING EQUIPMENT RELOCATED
(X)	EXISTING EQUIPMENT TO BE REMOVED

CONSTRUCTION ISSUE 03/18/2013
SRBR No: 13039

Description
Date
No.

MEP ENGINEER:
Stapel, Rutherford, Braselton & Ridgway, Inc.
757 Frederick Road - Suite 302
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(410) 688-7292

SEAL:
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SIGNATURE:

DRAWING TITLE:
FLOOR PLAN
FIRE PROTECTION
SIM LABS
SCALE: As indicated

MEDVANCE INSTITUTE
PORT ST. LUCIE
ADMIN/FAC. AREA & SIM SUITE
9164 US Highway 1 South
Port St. Lucie, FL 34928
EDUCATION AFFILIATES

PROJECT NO:
1225
DATE: 03/18/2013
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FP1.1
SHEET: ___ OF: ___