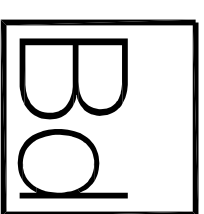
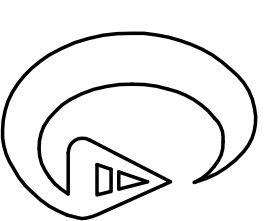


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MECHANICAL ENGINEER / ELECTRICAL / PLUMBING

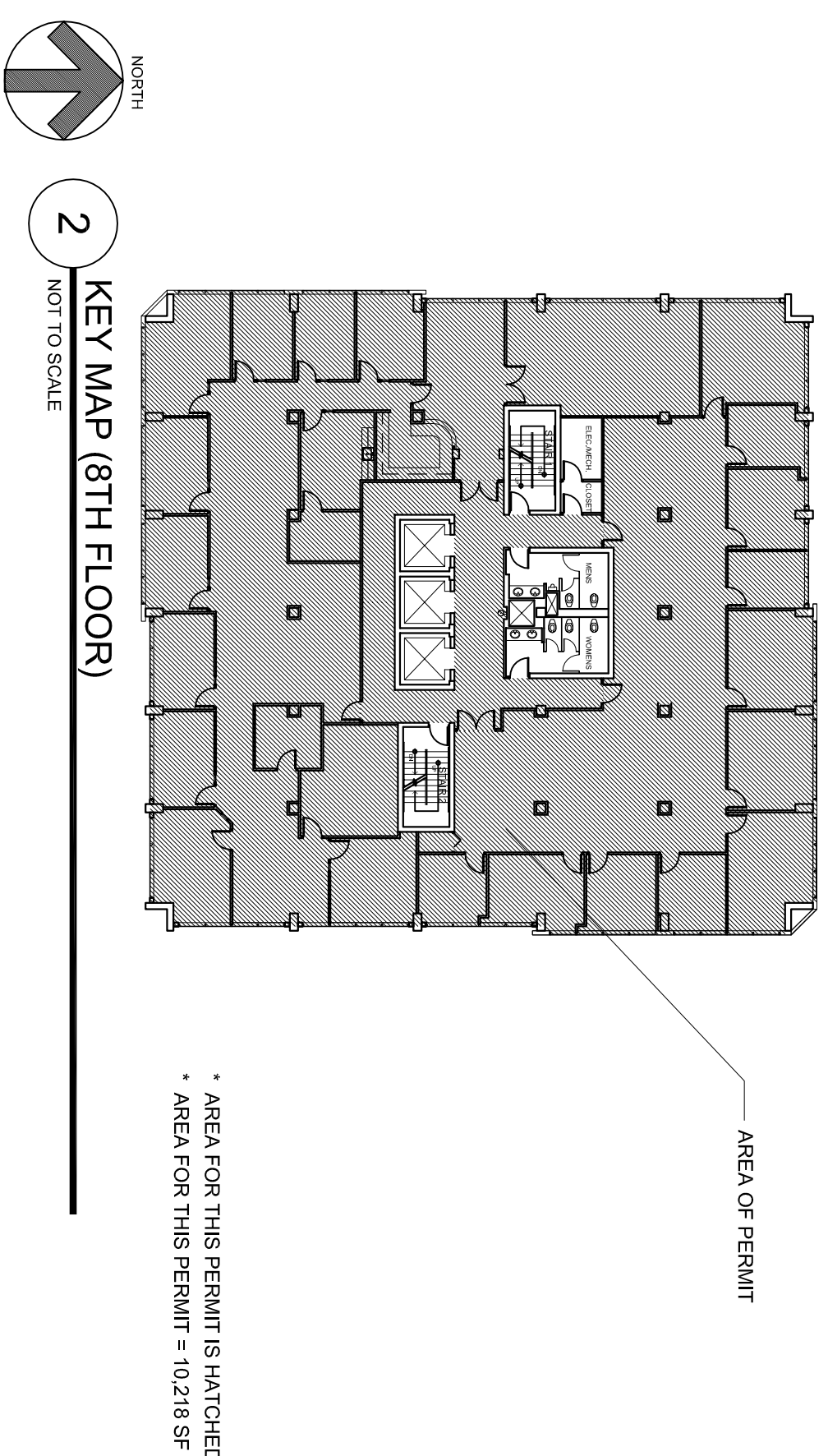
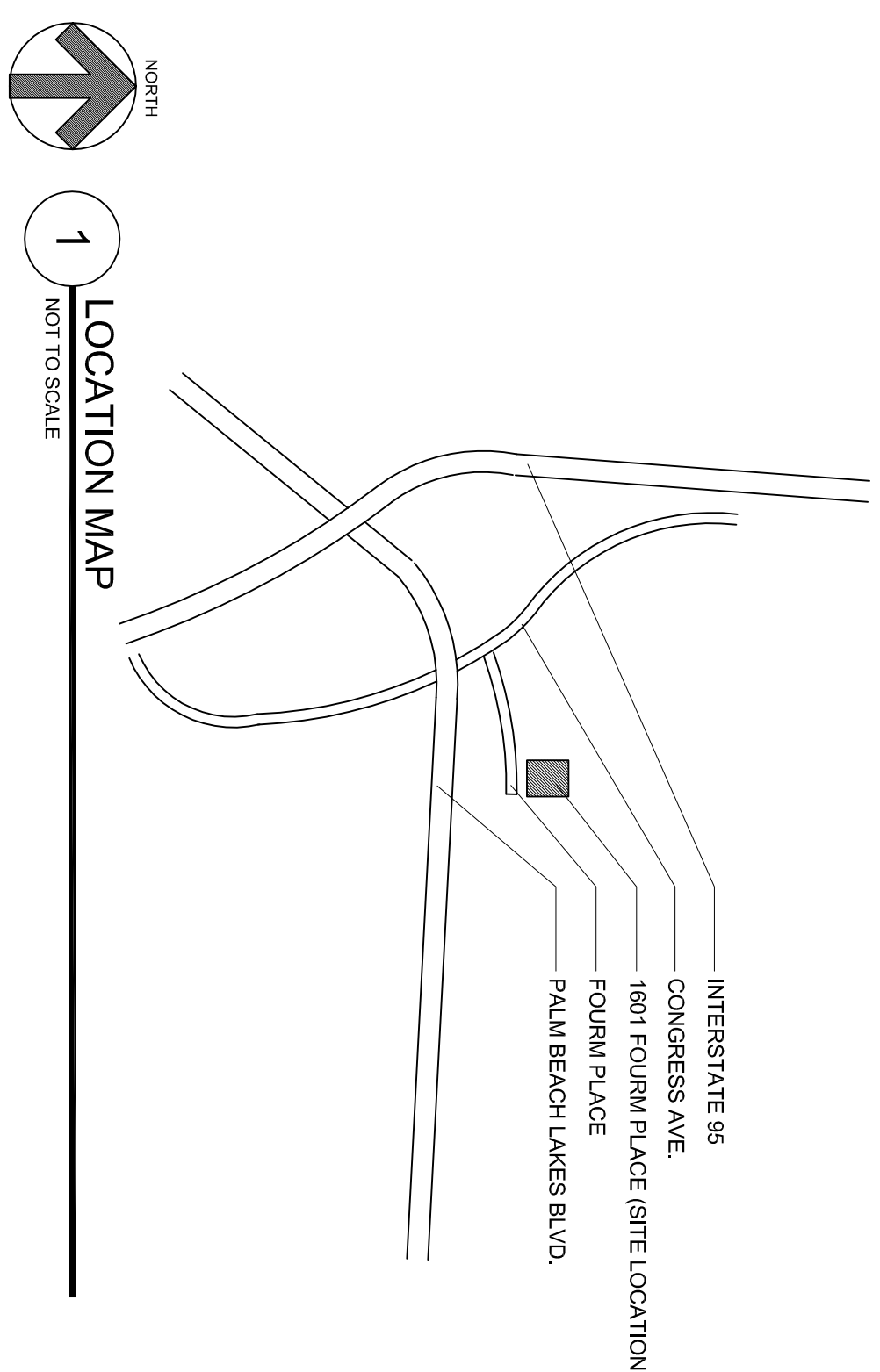


Gilman & Associates
MECHANICAL & ELECTRICAL ENGINEERS

129 N. FEDERAL HWY.
SUITE 211
LAKE WORTH, FL 33460
(561) 582-2020
P. E. 37933

INDEX OF SHEETS:

T	TITLE SHEET
A	ARCHITECTURAL SHEETS
A-1	EXISTING PLANS
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A-3	LIFE SAFETY PLANS
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M	MECHANICAL/ELECTRICAL/PLUMBING SHEETS
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E-3	PANEL SCHEDULE



PROJECT DATA:

- PROJECT ADDRESS: CENTURION TOWER
1601 FORUM PLACE #801
WEST PALM BEACH, FL
- EXISTING BUILDING IS TYPE 'A'
- EXISTING BUILDING IS A 14 STORY BUILDING
- EXISTING BUILDING CLASSIFICATION IS GROUP 'B'
- LEVEL 2 ALTERATION PER EXISTING BUILDING CODE 2007
- 8TH FLOOR IS A MULTI TENANT FLOOR
- SUITE #801 = 7,104 SF
- SUITE #801 = 7,104 SF/100 = 71 OCCUPANTS
- DESIGN OCCUPANT LOAD = 71 OCCUPANTS
- SUITE #805 = 2,293 SF
- SUITE #805 = 2,293 SF/100 = 23 OCCUPANTS
- DESIGN OCCUPANT LOAD = 23 OCCUPANTS
- SUITE #805 TO BE BUILT-OUT UNDER SEPARATE PERMIT

PROJECT NOTES:

- ALL PERMITS AND FEES FOR ALL
- BUILDING AND TRADE PERMITS
- ALL ACCESSORY AND SITE IMPROVEMENT PERMITS
- ALL FILL REQUIRED TO MEET MINIMUM FINISHED FLOOR SLAB ELEVATION
- WATER METER KICK-UP AND METER DEPOSITS - OWNER RESPONSIBILITY
- WATER METER AND METER DEPOSITS - OWNER RESPONSIBILITY
- LOCAL PHONE & CABLE TV - OWNER RESPONSIBILITY
- SOIL, CONCRETE AND ANY OTHER NECESSARY TESTING
- ENGINEERING STAKE OUTS AND SURVEY'S INCLUDING FINAL, TIE-IN SURVEY, CLEARING, GRUB, AND SITE PREPARATION, INCLUDING GRADING
- ALL BIDDERS AND THEIR SUBCONTRACTORS SHALL BE CURRENTLY LICENSED IN THE STATE OF FLORIDA
- THE OWNER RESERVES THE RIGHT TO REJECT ANY BIDS
- THE G.C. SHALL PROVIDE AN ESTIMATE OF TIME FOR COMPLETION
- THE GENERAL CONTRACTOR SHALL PROVIDE PROOF OF INSURANCE FOR THE WORK AND THE CONTRACTOR SHALL PROVIDE PROOF OF INSURANCE FOR THE OWNER FOR ALL EMPLOYEES EITHER DIRECTLY EMPLOYED BY THE GENERAL CONTRACTOR OR BY HIS SUBCONTRACTORS
- THE CONTRACTOR SHALL CLEARLY LIST ANY WORK NOT INCLUDED IN HIS BID
- PROVIDE FIRE DEPARTMENT KNOX BOX ADJACENT TO FRONT DOOR OF BLDG. OF PERMIT SET TO OWNER
- BASE BID SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
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REFERENCE STANDARDS:

- THIS PROJECT IS DESIGNED IN ACCORDANCE WITH THE FOLLOWING CODES:
- THE FLORIDA BUILDING CODE (FBC), 2007 EDITION WITH 2009 SUPPLEMENTS (BUILDING, MECHANICAL, PLUMBING, FUEL GAS, EXISTING BUILDING).
 - NATIONAL ELECTRIC CODE (NEC), 2008 EDITION.
 - FLORIDA FIRE PREVENTION CODE 2007 EDITION.
 - NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 101, LIFE SAFETY CODE, 2006 EDITION.
 - NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 1, UNIFORM FIRE CODE, 2006 EDITION.

GENERAL NOTES:

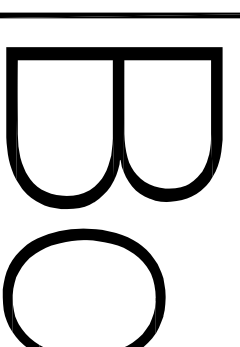
- THE CONTRACTOR SHALL AS A PART OF THIS CONTRACT FURNISH ALL MATERIALS, LABOR, TOOLS, EQUIPMENT, TRANSPORTATION, AND INSURANCE NECESSARY TO PROPERLY EXECUTE AND COMPLETE THE WORK ACCORDING TO THE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR IN THE WORK OF ALL TRADES SHALL PROTECT ALL EXISTING BUILDING AND PROPERTY FROM DAMAGE CAUSED BY THE ACTIVITIES OF THE CONTRACTOR AND SUBCONTRACTORS. THE CONTRACTOR SHALL REPAIR AND RESTORE THE JOB SITE AND SURROUNDING AREAS TO ITS ORIGINAL CONDITION. OWNER TO VERIFY SATISFACTION.
- THE CONTRACTOR SHALL VISIT THE JOB SITE TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BID. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES/INCONSISTENCIES OR OMISSIONS BEFORE PROCEEDING WITH ANY WORK.
- THE CONTRACTOR SHALL MAKE NO CHANGES TO THE CONSTRUCTION DRAWINGS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.
- ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST CODES AND ORDINANCES.
- THESE CONSTRUCTION DOCUMENTS ARE DIAGNOSTIC AND ARE TO CONVEY DESIGN INTENT. IT IS NOT THE INTENT OF THESE CONSTRUCTION DRAWINGS TO SHOW ALL DETAILS OF THE EXISTING CONDITIONS. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
- EACH CONTRACTOR SHALL ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR MECHANICAL, ELECTRICAL, AND PLUMBING WITH THE APPROPRIATE TRADES.
- ALL INDICATED UTILITY AND STUB-UP LOCATIONS ARE FOR REFERENCE ONLY. THE EXACT LOCATIONS SHALL BE VERIFIED ON THE JOB SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ENGINEERING AND THE ARCHITECTURAL DRAWINGS FOR THE ACTUAL PLACEMENT OF THE WORK RELATIVE TO FIELD CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OBTAINING INSTALLATION REQUIREMENTS FOR ALL BUILT-IN APPLIANCES, FIXTURES, AND EQUIPMENT. VERIFY EXACT ROUGH-IN DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO ROUGH-IN FRAME.
- THE COST OF ADDITIONAL DESIGN WORK DUE TO ERRORS OR OMISSIONS IN CONSTRUCTION SHALL BE BORNE BY THE RESPECTIVE CONTRACTOR.
- DETAILS ON THE STRUCTURAL DRAWINGS (IF PROVIDED) ARE TYPICAL. VERIFY ALL DIMENSIONS WITH THE STRUCTURAL DRAWINGS. CONTRACTOR.
- CONTRACTOR TO BE RESPONSIBLE FOR CHECKING STRUCTURAL CALCULATIONS FOR SPECIFIC REQUIREMENTS OF STRUCTURAL CONNECTIONS. SUBMIT STEEL TRUSS CALCULATIONS AND SHOP DRAWINGS OF ALL STRUCTURAL STEEL AND MISCELLANEOUS METAL FABRICATION BEFORE COMMENCING FABRICATION.
- BIRSE DESIGN, INC. SHALL IN NO WAY BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNOLOGIES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THESE ARE SOLELY THE CONTRACTORS RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION.
- EACH CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BRACING, SHORING, GUYING, OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS ASSOCIATED WITH WORK IN PLACE DURING CONSTRUCTION.
- PROVIDE PORTABLE FIRE EXTINGUISHERS DURING CONSTRUCTION AS REQUIRED BY LOCAL CODES.
- SPRINKLER SYSTEM: INSTALL FULL BUILDING SPRINKLER SYSTEM IN COMPLIANCE WITH THE REQUIREMENTS OF NFPA 13. SHOP DRAWINGS MUST BE APPROVED BEFORE INSTALLATIONS. PROVIDE OWNER WITH 2 COPIES OF PERMIT SETS.
- ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR MEETING THE REQUIREMENTS OF ALL CURRENT APPLICABLE BUILDING CODES AND ENFORCEMENT AGENCIES. FIRE MARSHALL, OR ANY OTHER BUILDING CODE ENFORCEMENT OFFICER AT NO EXTRA COST TO THE OWNER. NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO SUBMITTING A BID FOR THE PROJECT.
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SYMBOL INDEX:

- ADMIN. ROOM NAME
- ROOM NUMBER
- DOOR MARKNUMBER
- WINDOW MARKNUMBER
- WALL SECTIONSHEET NUMBER
- BUILDING SECTIONSHEET NUMBER
- ELEVATION TARGET/SHEET NUMBER
- DETAIL NUMBER/SHEET NUMBER
- CEILING HEIGHT
- FIRE EXTINGUISHER
- 2x4 FLUORESCENT LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- RECESSED LIGHT DOWN FIXTURE

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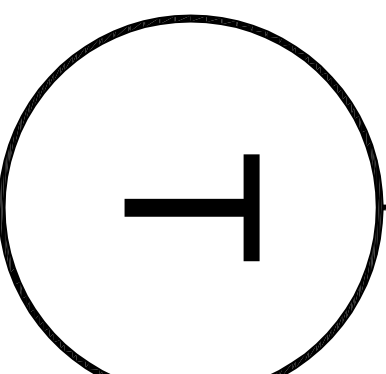
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ALEX'S BIRSE
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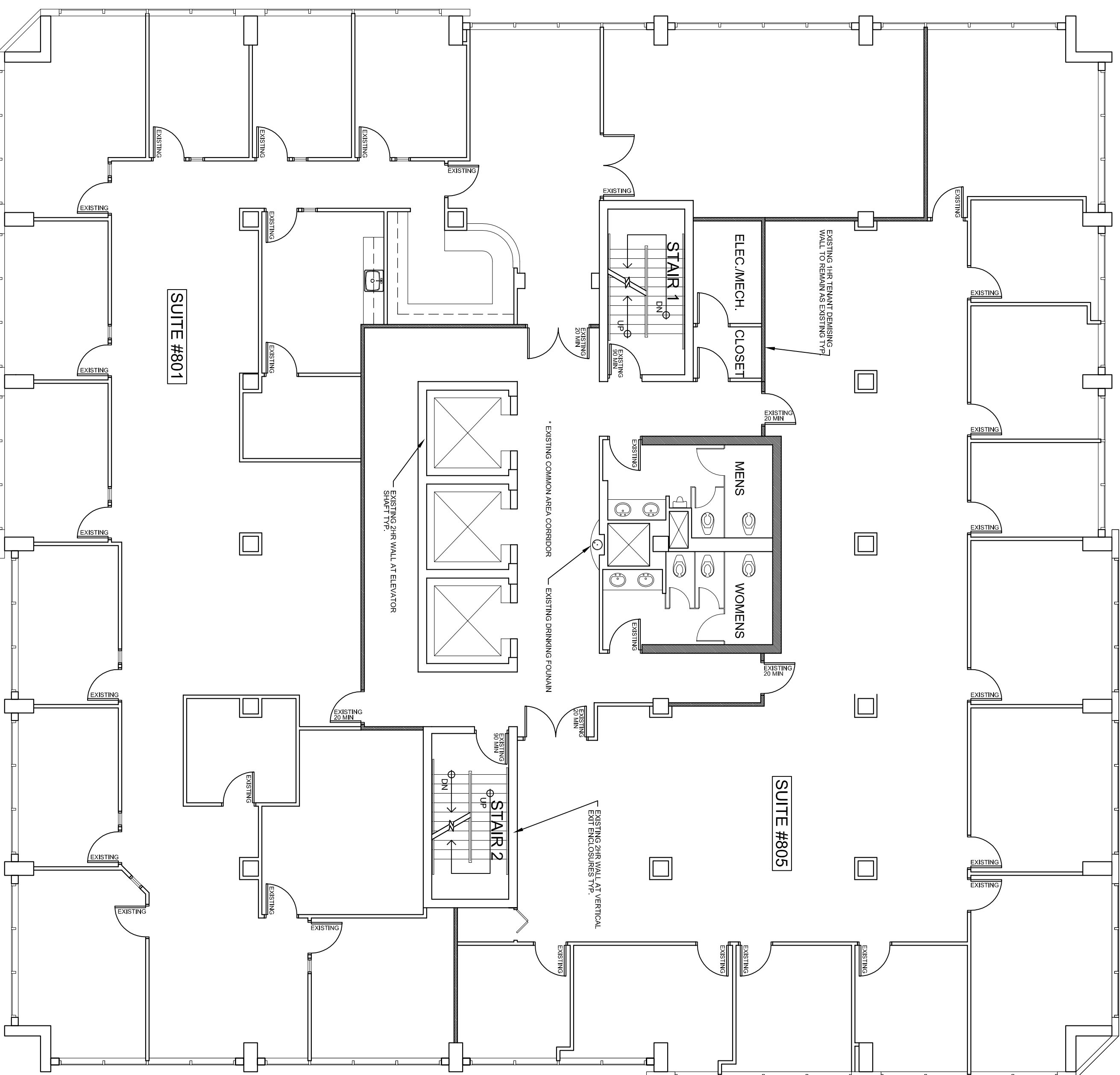
OXBOW #801
CENTURION TOWER
1601 FORUM PLACE
WEST PALM BEACH, FL
PROJECT NUMBER CT18

REVISIONS	11/01/11	TENANT
2		
3		
4		
5		

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EXIST PARTITION
EXIST 1 AND WALL



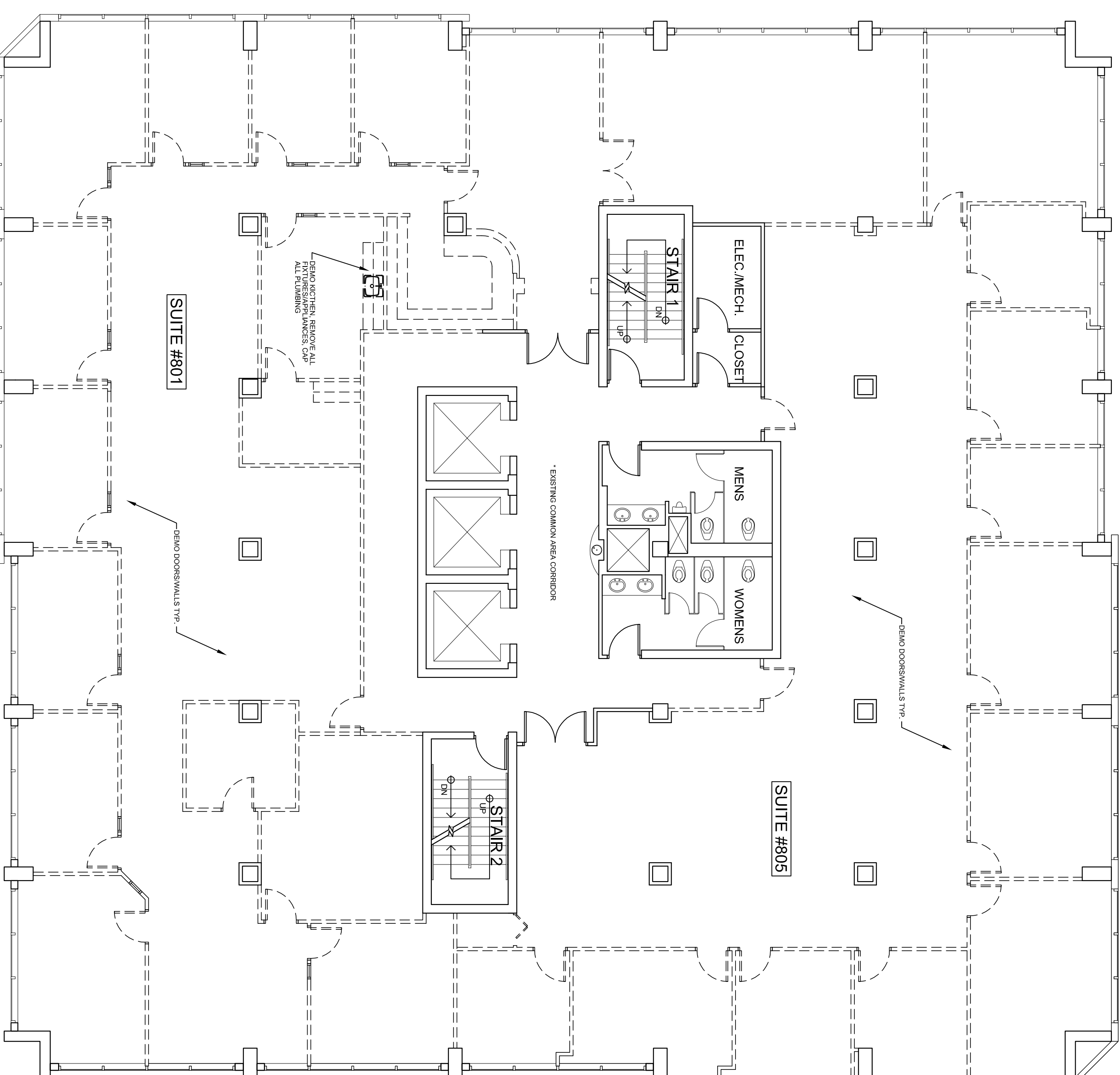
1 (EXISTING) FLOOR PLAN

1/8" = 1'-0"

1. ALL WALLS/DOORS/WINDOWS ARE EXISTING AS PER EXISTING FLOOR PLAN 1/A-1
2. TOILET ROOMS ARE EXISTING IN COMMON AREA, CORRIDORS AS PER FLOOR PLAN 1/A-1
3. DRINKING FOUNTAINS EXISTING IN COMMON AREA CORRIDOR AS PER FLOOR PLAN 1/A-1

3 EXISTING NOTES

EXIST PARTITION TO REMAIN
EXIST WALLS TO BE DEMO'D



2 (DEMO) FLOOR PLAN

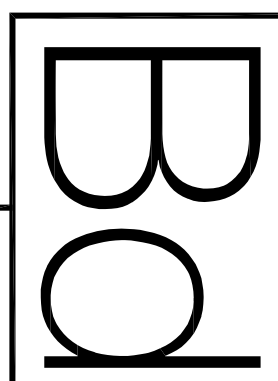
1/8" = 1'-0"

1. REMOVE ALL DASHED WALLS, DOORS (INCLUDING AND HARDWARE), REMOVE ALL WALL COVERING MATERIALS FROM EXTERIOR AND DEMOLISH WALLS AND WINDOW MULLIONS. WINDOW MULLIONS TO BE RESTORED TO ORIGINAL CONDITION. PAINT AS REQUIRED. THE EXTERIOR AND INTERIOR WALLS SHALL BE DEMOLISHED TO THE EXISTING FINISH LINE. ALL EXISTING METAL WALLS SHALL BE DEMOLISHED TO THE EXISTING FINISH LINE. REMOVE ALL FLOORING MATERIALS DOWN TO THE STRUCTURAL SLAB. PATCH AND REPAIR SLABS AS REQUIRED.
2. REMOVE ALL CEILING TILE, LIGHT FIXTURES AND GRILL. ALL HEAT PIPES ARE TO REMAIN IN CEILING AS EXISTING. REMOVE ALL BRANCH TO REMAIN AS EXISTING. ALL DUCTWORK ATTACHED TO CEILING TO REMAIN. ALL FIRE SPRINKLER PIPES TO REMAIN AS EXISTING.
3. REMOVE ALL ELECTRICAL WIRING FROM DEMO'D WALLS AND CEILING. ALL SECURITY ALARM COMPONENTS TO BE SAVED FOR POSSIBLE REUSE. REMOVE ALL DATA/ELECTRICAL WIRING FROM DEMO'D WALLS AND CEILING. ALL SECURITY ALARM COMPONENTS TO BE SAVED FOR POSSIBLE REUSE. REMOVE ALL REMOVE POWER STRIP FROM UNDER EXTERIOR WINDOWS. ELECTRICAL PANELS AND TRANSFORMERS TO REMAIN AS EXISTING. TRANSFORMER TO REMAIN AS EXISTING.
4. ALL FIRE ALARM AND FIRE PROTECTION SYSTEMS TO REMAIN AS EXISTING. RELOCATE FIRE ALARM DEVICES AS REQUIRED BY THE DEMO.

4 DEMO NOTES

EXIST PARTITION TO REMAIN
EXIST WALLS TO BE DEMO'D

- STRUCTURES UNDERGOING CONSTRUCTION ALTERATION OR DEMOLITION SHALL COMPLY WITH NFPA 241
- ACCUMULATIONS OF COMBUSTIBLE WASTE AND DUST DEBRIS SHALL BE REMOVED FROM FREQUENTLY AS NECESSARY FOR SAFE OPERATIONS
- EXIT AND ACCESS CORRIDORS ARE TO BE MAINTAINED AND REMAIN CLEAR AND UNOBSTRUCTED
- THE MAIN BUILDING FIRE PROTECTION SYSTEMS SHALL BE MAINTAINED AND OPERATIONAL AT ALL TIMES
- IN THE EVENT THAT THE FIRE PROTECTION SYSTEM IS OUT OF SERVICE FOR MORE THAN 4 HOURS IN A 24 HOUR PERIOD, THE BUILDING SHALL BE PLACED ON A FIRE WATCH

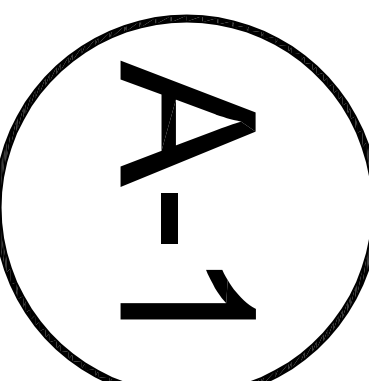


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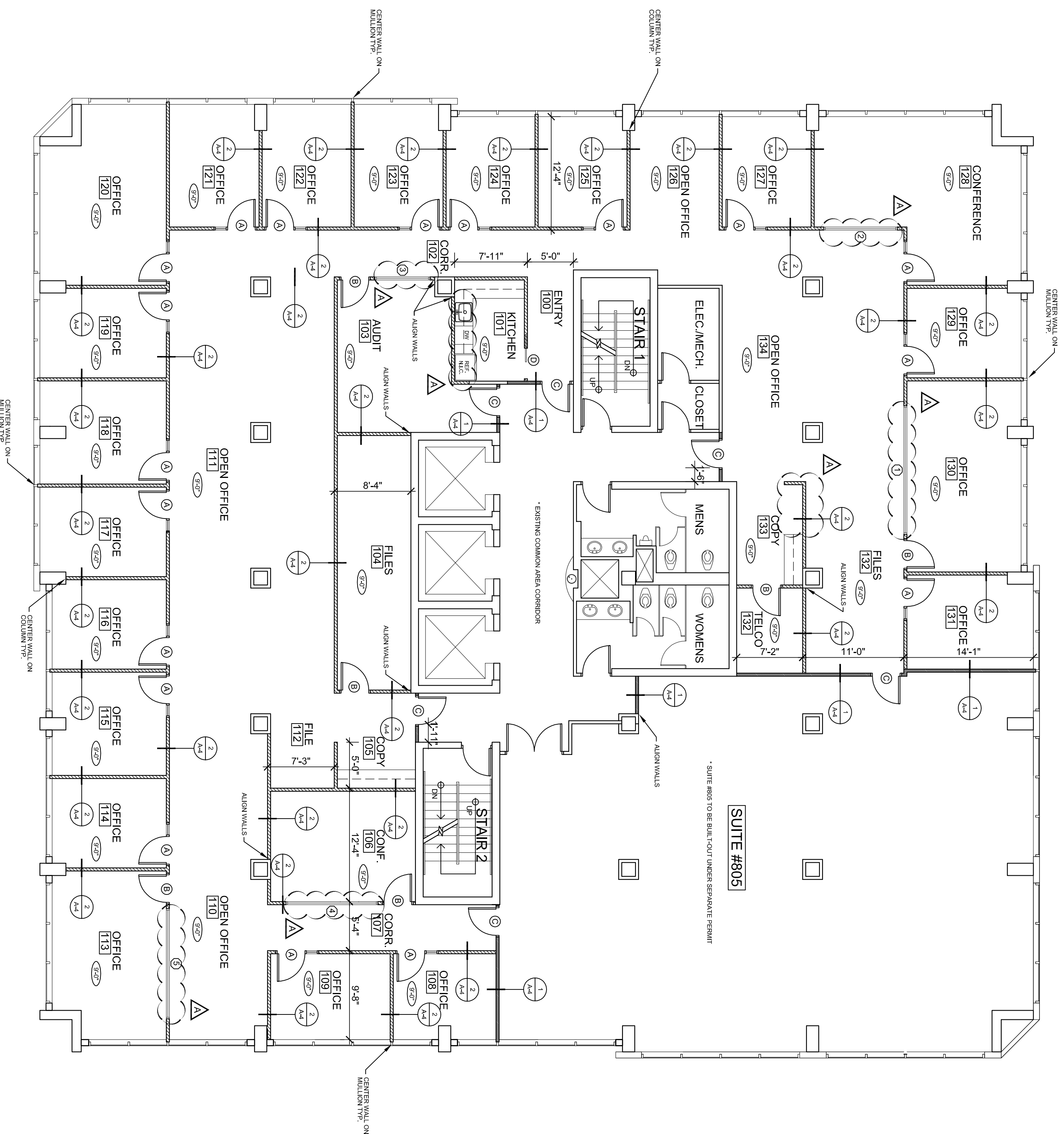
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REVISIONS
1 11/01/11 TENANT
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3
4
5

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WALL LEGEND	
	EXIST PARTITION TO REMAIN
	NEW METAL STUD PARTITION
	NEW 1 1/2" WALL



1 (PROPOSED) FLOOR PLAN
1/8" = 1'-0"

DEMISING PARTITION
SHALL BE CONSTRUCTED OF 2-SAP METAL STUDS @ 12" O.C. WITH ONE LAYER EACH SIDE OF 5/8" GYPSUM TYPE X WALLBOARD, AND R-11 ACOUSTICAL INSULATION BETWEEN PARTITIONS SHALL EXTEND FROM THE FLOOR SLAB TO THE STRUCTURAL DECK ABOVE.

INTERIOR TENANT PARTITIONS
SHALL BE CONSTRUCTED OF 2-SAP METAL STUDS @ 12" O.C. WITH ONE LAYER OF 5/8" TYPE X WALLBOARD ON EACH SIDE. DIMENSIONS SHALL START FROM THE CORNER OF THE STUDS TO THE STUDS. CONTRACTOR TO VERIFY DIMENSIONS TO THE STRUCTURAL DECK.

COLUMNS
ALL COLUMNS TO BE FINISHED WITH 1/2" TYPE X WALLBOARD FROM FLOOR TO CEILING. CEILING FINISH TO THE FLOOR. FACE FINISHED SMOOTH TO RECEIVE PAINT OR WALL COVERING. MATCH EXISTING STUD SIZE.

INTERIOR TENANT DOORS
SHALL BE 2'-0" x 6'-0" SOLID CORE FLUSH VENEER MATCH EXISTING STRUCTURE PERMITTING HARDWARE PACKAGE. SHALL BE FINISHED WITH POLISHED CHERRY FINISHES. DOORS TO HAVE GLASS SIDE LIGHTS AS PER 1/4-2 DOOR STAIN TO MATCH EXISTING TENANT DOORS ON 17TH FLOOR. CONTRACTOR TO CONTACT BUILDING ENGINEER TO VISIT THE 17TH FLOOR SPACE AND DETERMINE STANDARDS.

SUSPENDED ACOUSTICAL CEILING
CEILING TILE FINE RESINER OPEN RA 4 # 129 BY ARMSTRONG, 2'-0" x 2'-0" ACOUSTICAL PANELS WITH SERIAL EDGES AND A WHITE FACTORY FINISH. CEILING GRID SHALL BE AN EXPOSED 9/16" WIDE FINE-LINE GRID IN MATCHING WHITE FACTORY FINISH. CEILING HEIGHTS ARE AS INDICATED ON FLOOR PLAN 1/4-2 OR AS HIGH AS BUILDING INFRASTRUCTURE PERMITS.

PAINTING
SHALL BE TWO COATS OF FLAT FINISH LATEX PAINT ON ALL GYPSUM WALLBOARD WALLS, SOFFITS AND SIMILAR SURFACES. DOOR FRAMES AND OTHER METAL SURFACES TO BE PAINTED SHALL RECEIVE TWO COATS OF SEMI-LATEX ENAMEL.

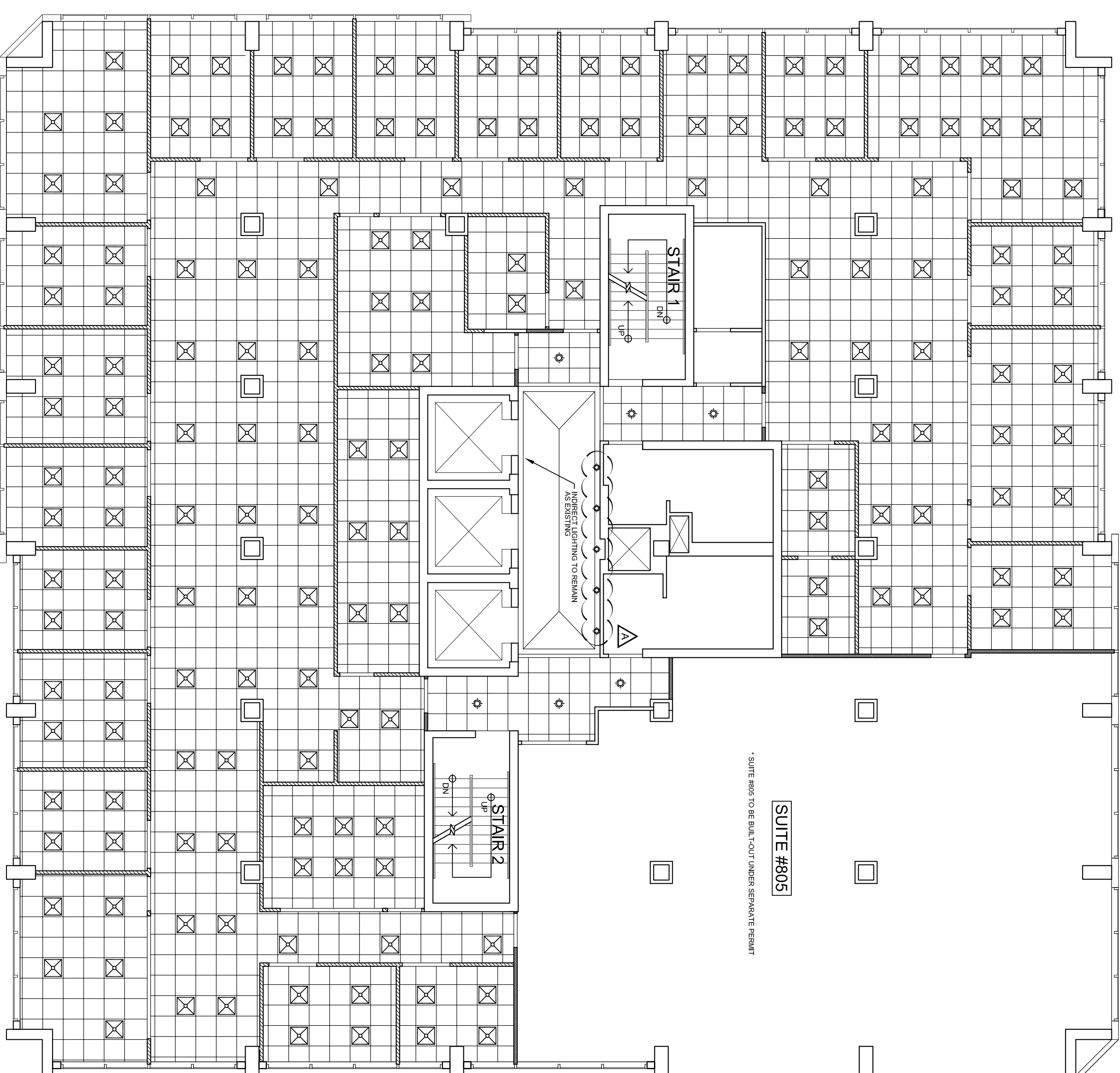
WINDOW TREATMENT
SHALL BE 1" WIDE HORIZONTAL ALUMINUM BLINDS IN THE STANDARD BUILDING COLOR WITH MATCHING HOUSING AND FINISH SPRINKLERS.

FIRE SPRINKLERS
SHALL BE CONCEALED HEAD UNITS WITH WHITE FACTORY FINISHED COVERS AND CENTERED IN THE CEILING GRID. HEADS SHALL BE PROVIDED TO MEET CODE AND BUILDING INSURANCE REQUIREMENTS.

MILKWORK
PROVIDE MILKWORK IN KITCHEN #101, COPY #105 AND COPY #133, AS PER INTERIOR ELEVATIONS.

3 PROPOSED NOTES

NEW LIGHT



2 (PROPOSED) CEILING PLAN
1/8" = 1'-0"

1. PROVIDE NEW CEILING GRID LIGHTS AS PER PROPOSED CEILING PLAN 2/4-2

4 CEILING NOTES

BD

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ALLEN'S BIRSE
ARCHITECTS

OXBOW #801
CENTURION TOWER
1601 FORUM PLACE
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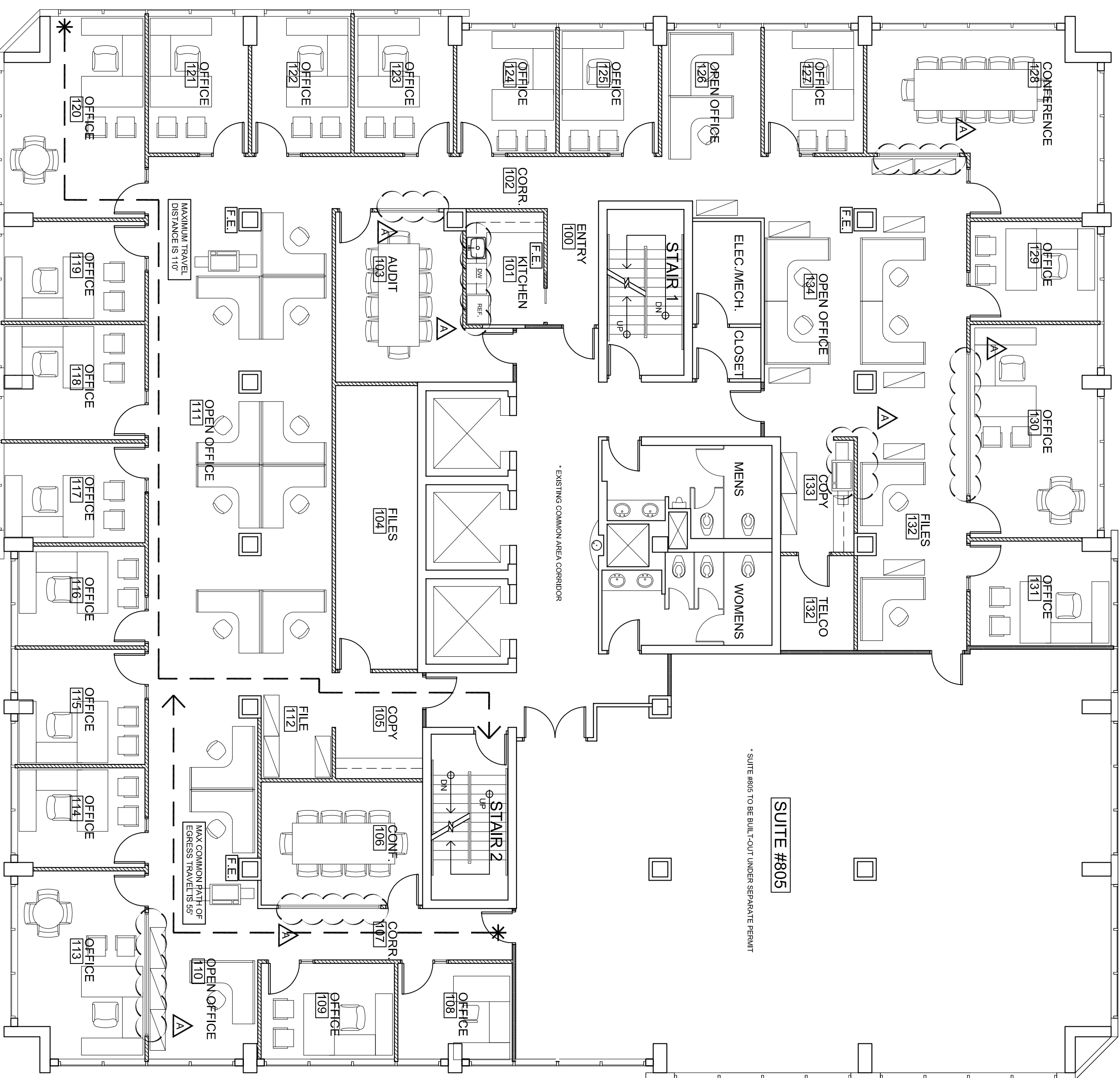
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A-2

WALL LEGEND
 DASHED PARTITION TO REMAIN
 NEW METAL STUD PARTITION
 NEW 1 1/2" HI WALL

[E.E.] INDICATES NEW 1015 ABC TYPE FIRE EXTINGUISHER WITH HANGER BRACKET



1 (LIFE SAFETY) FLOOR PLAN
 1/8" = 1'-0"

- * ALL INTERIOR WALL AND CEILING FINISHERS TO HAVE A MIN CLASS "C" FLAME SPREAD CLASSIFICATION
- * ALL INTERIOR FLOOR FINISH SHALL BE NOT LESS THAN CLASS III
- * ALL FURNITURE TO BE PROVIDED BY TENANT
- * PROVIDE TACTILE SIGNAGE AT ALL REQUIRED EXIT DOORS WITH EXIT SIGNS

3 LIFE SAFETY NOTES

NEW LIGHT



2 FIRE PROTECTION PLAN
 1/8" = 1'-0"

- * FIRE SPRINKLER SHOP DRAWINGS ARE TO BE QUANTIFIED UNDER A SEPARATE FIRE SPRINKLER PERMIT
- * COMPLY WITH NFPA 13 2010 EDITION

4 FIRE PROTECTION NOTES

BD

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AILEEN S BIRSE
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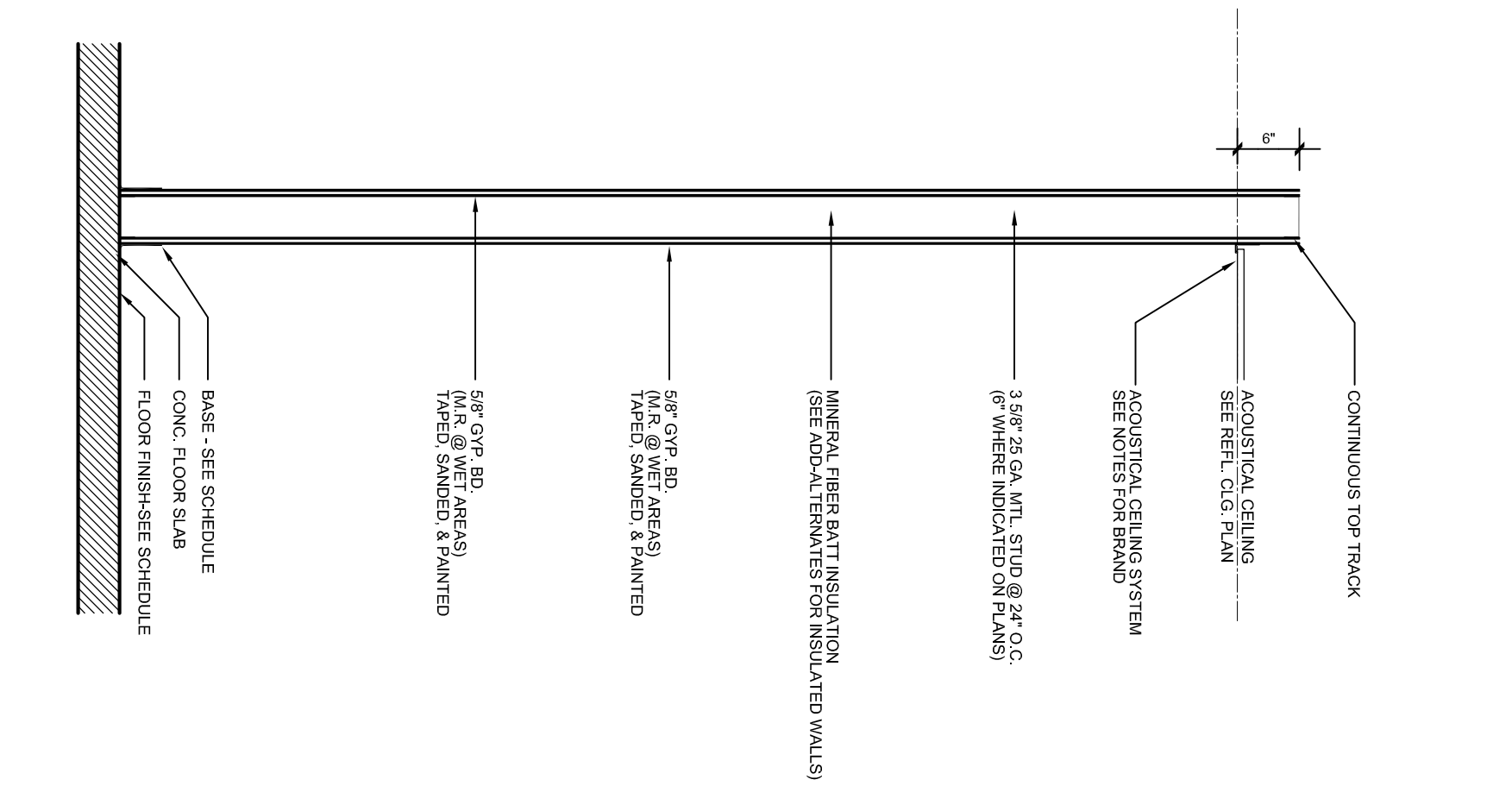
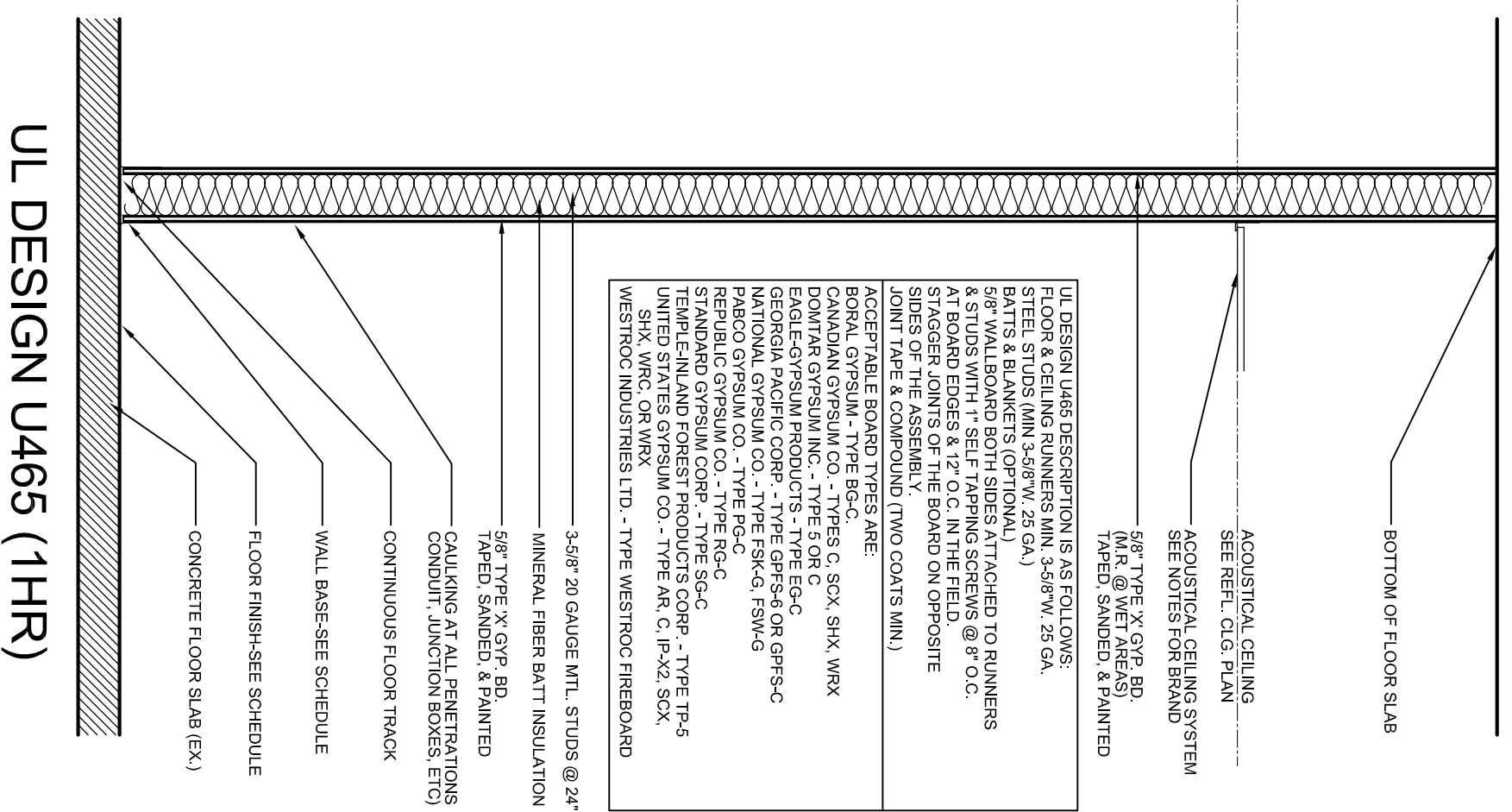
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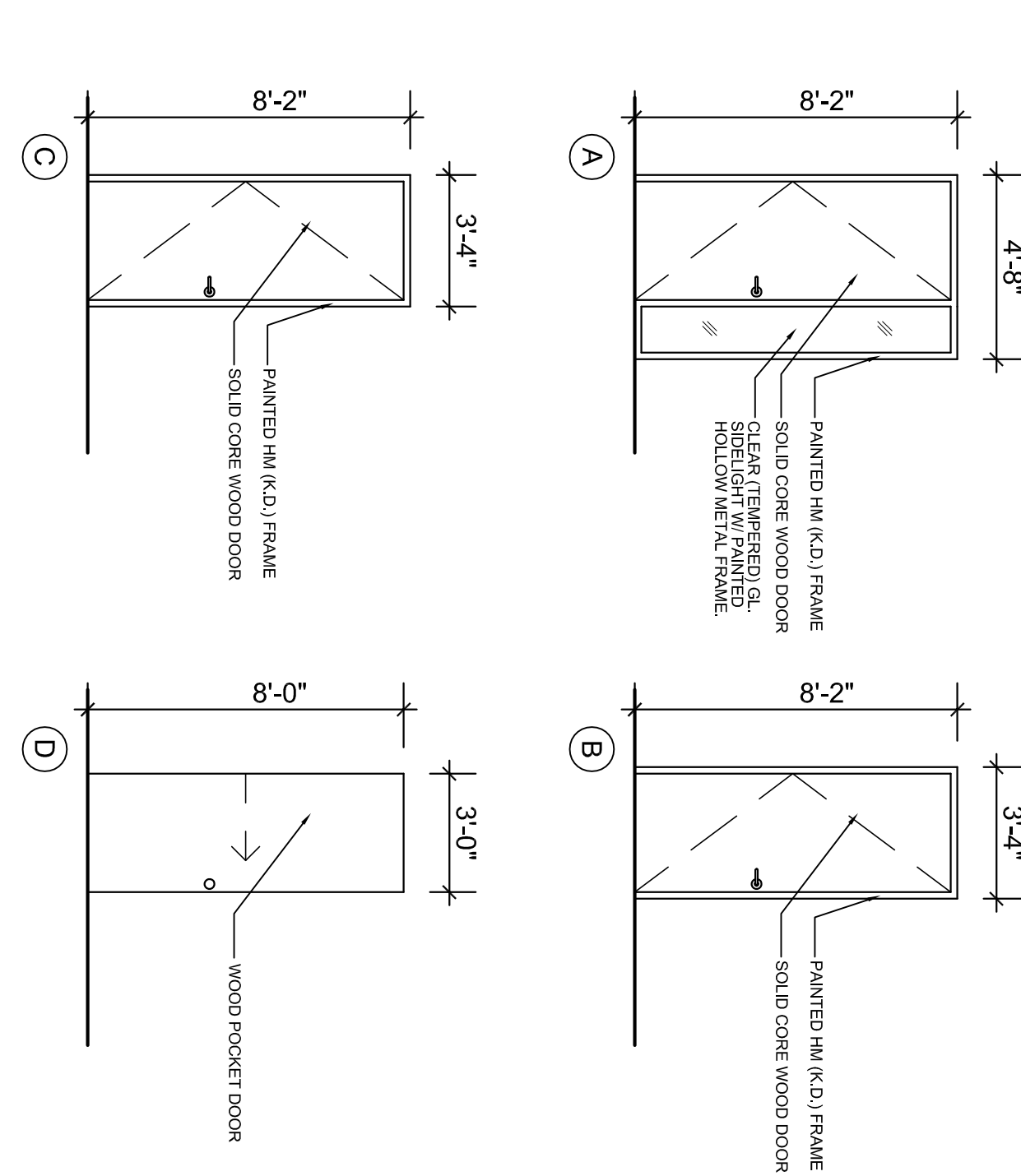
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A-3

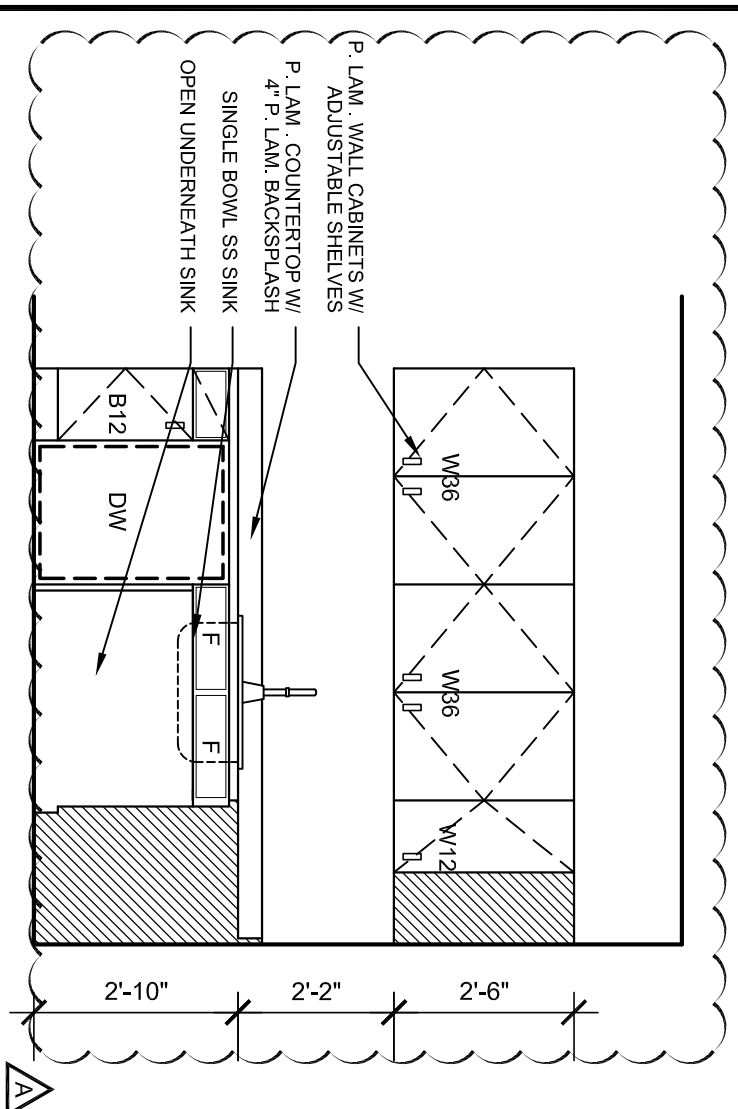
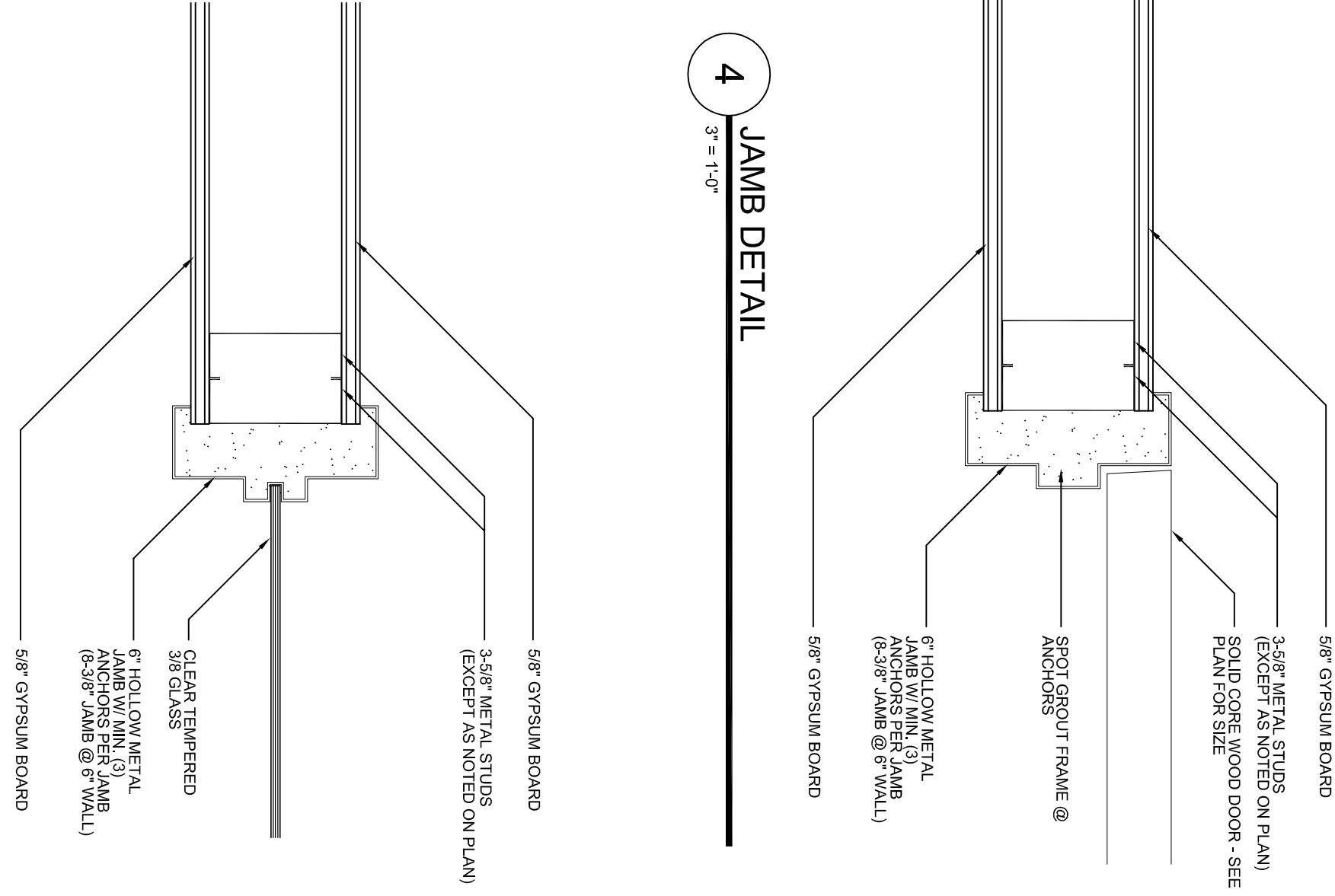


DOOR SCHEDULE

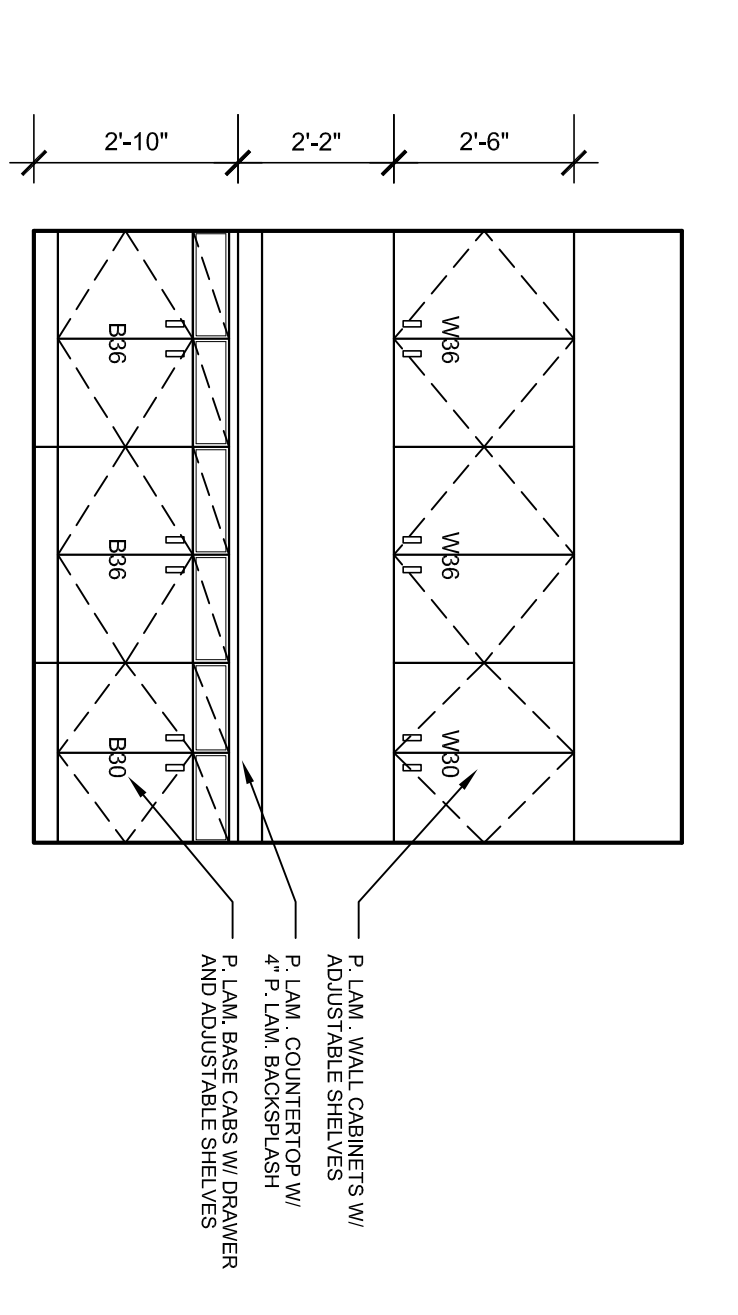
MARK	LABEL	DOOR				FRAME	REMARKS
		MAT	TYPE	W	H		
A		WD	FLUSH	30"	80"	1-3/4"	GLASS SIDE LIGHT
B		WD	FLUSH	30"	80"	1-3/4"	NEW TENANT INTERIOR DOOR HARDWARE TO MATCH EXISTING STANDARDO HARDWARE
C	20 MINUTE RATED	WD	FLUSH	30"	80"	2" WD	ALL EXTERIOR TENANT DOORS TO HAVE 2" SOLID TOP RAIL (NO THROUGH BOLTING)
D		WD	FLUSH	30"	80"	1-3/4"	ALL DOOR STOPS ARE TO BE FLOOR MOUNTED (NOT WALL MOUNTED)



- NEW TENANT ENTRY DOOR TO MATCH EXISTING BUILDING STANDARD
- ALL CLOSERS TO BE ON THE INSIDE OF TENANT SPACE
- NEW DOORS TO MATCH EXISTING STANDARDO DOORS (GLASS AND STAIN)
- NEW TENANT INTERIOR DOOR HARDWARE TO MATCH EXISTING STANDARDO HARDWARE
- ALL EXTERIOR TENANT DOORS TO HAVE 2" SOLID TOP RAIL (NO THROUGH BOLTING)
- ALL DOOR STOPS ARE TO BE FLOOR MOUNTED (NOT WALL MOUNTED)
- DOOR HARDWARE IS REQUIRED TO COMPLY WITH FBC 1-14.13.9 FOR ACCESSIBILITY
- CONTRACTION TO VISIT SLUTE #1202 TO DETERMINE EXISTING STANDARDS

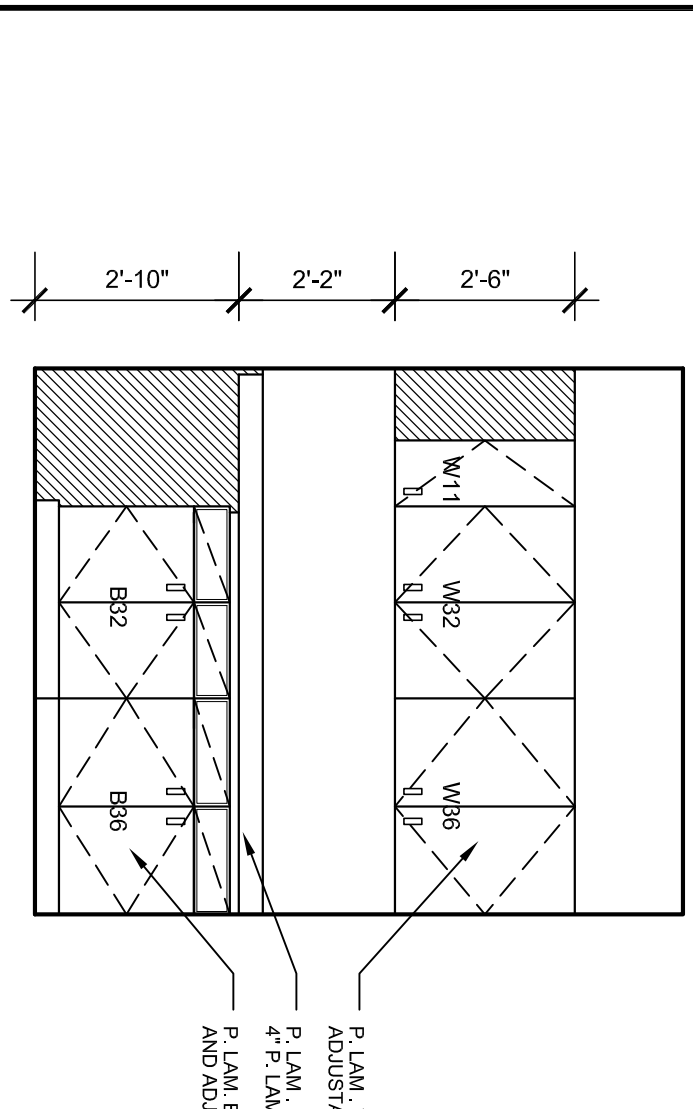


- * SINKS SHALL BE MOUNTED WITH THE COUNTER OR MAX NO HIGHER THAN 3/4" ABOVE THE FINISH FLOOR
- * KNEE CLEARANCE OF AT LEAST 27" HIGH, 30" WIDE AND 10" DEEP IS PROVIDED UNDERNEATH
- * EACH SINK SHALL BE A MAXIMUM OF 6 1/2" DEEP
- * HOT WATER AND DRAIN PIPES UNDER THE SINK SHALL BE INSULATED OR OTHERWISE CONFIGURED SO AS TO PROTECT AGAINST ANY CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER THE SINK
- * A CLEAR FLOOR SPACE OF AT LEAST 36" BY 48" SHALL BE PROVIDED IN FRONT OF THE SINK TO ALLOW FOR ACCESSIBLE FOOT AND KNEE CLEARANCE
- * 1" MAX CLEAR AREA SHALL BE PROVIDED UNDERNEATH THE SINK
- * ALL FAUCETS TO BE LEVER OPERATED

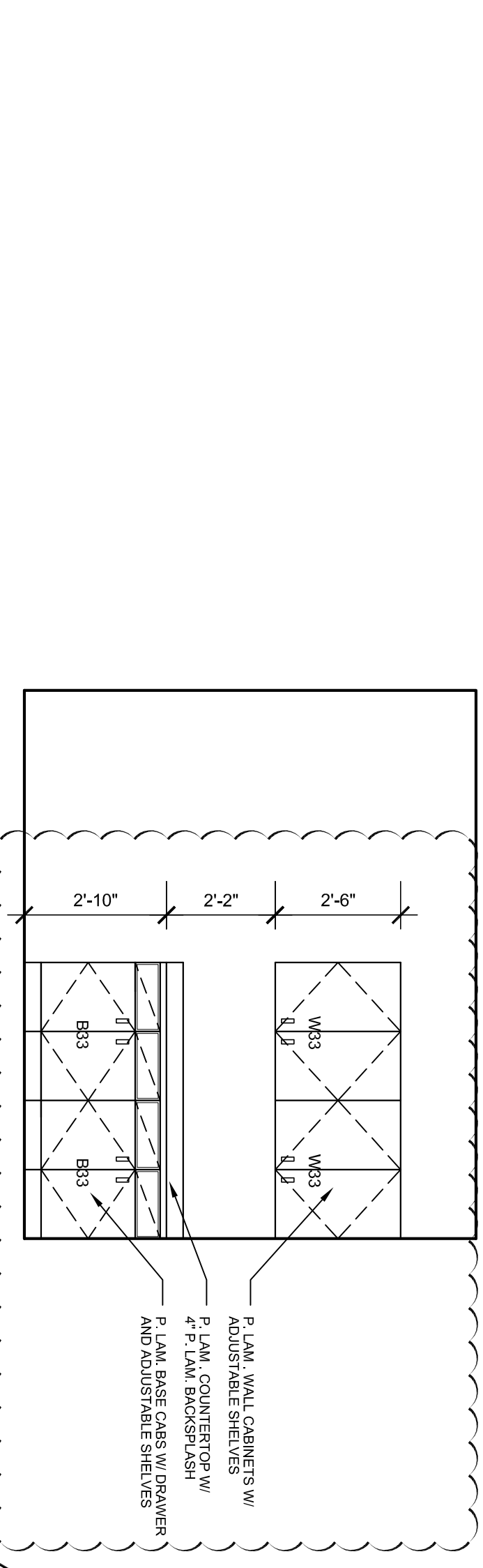


6 KITCHEN (#101) ELEVATION
3/8" = 1'-0"

8 COPY (#101) ELEVATION
3/8" = 1'-0"

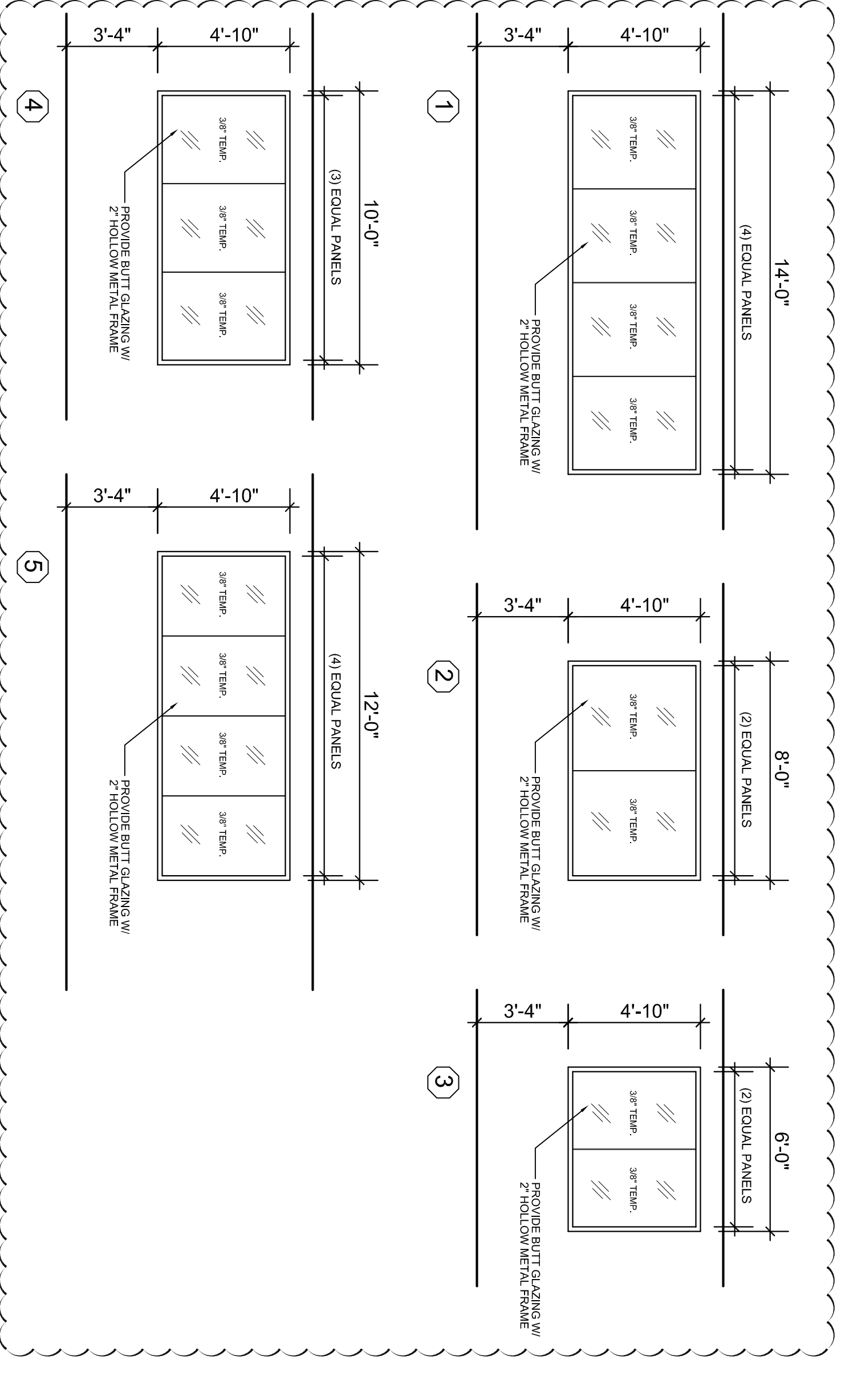


- * SINKS SHALL BE MOUNTED WITH THE COUNTER OR MAX NO HIGHER THAN 3/4" ABOVE THE FINISH FLOOR
- * KNEE CLEARANCE OF AT LEAST 27" HIGH, 30" WIDE AND 10" DEEP IS PROVIDED UNDERNEATH
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- * HOT WATER AND DRAIN PIPES UNDER THE SINK SHALL BE INSULATED OR OTHERWISE CONFIGURED SO AS TO PROTECT AGAINST ANY CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER THE SINK
- * A CLEAR FLOOR SPACE OF AT LEAST 36" BY 48" SHALL BE PROVIDED IN FRONT OF THE SINK TO ALLOW FOR ACCESSIBLE FOOT AND KNEE CLEARANCE
- * 1" MAX CLEAR AREA SHALL BE PROVIDED UNDERNEATH THE SINK
- * ALL FAUCETS TO BE LEVER OPERATED



7 KITCHEN (#101) ELEVATION
3/8" = 1'-0"

9 COPY (#101) ELEVATION
3/8" = 1'-0"



5 GLAZING DETAIL
3/8" = 1'-0"

4 JAMB DETAIL
3/8" = 1'-0"

REVISIONS

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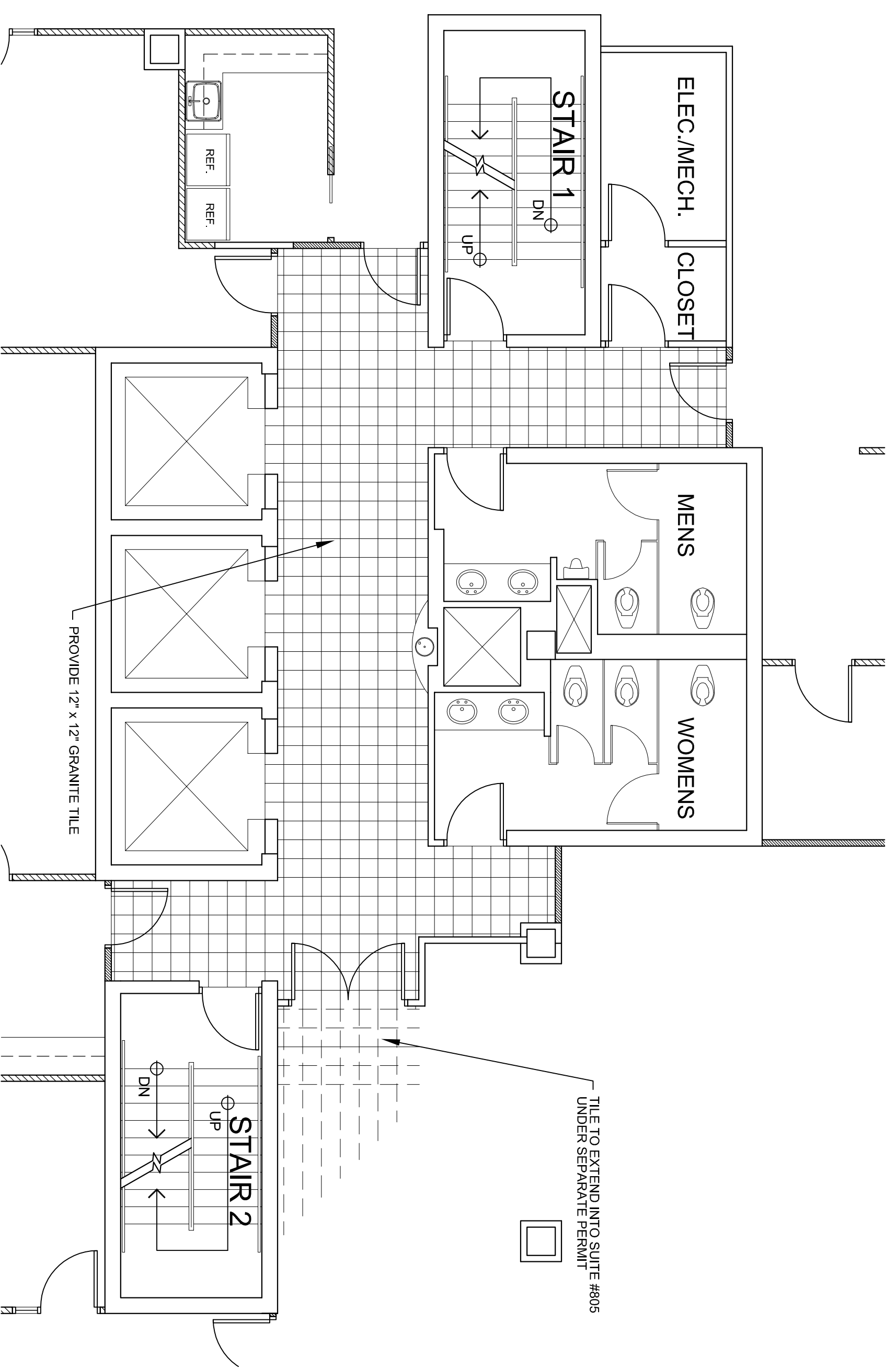
OXBOW #801
CENTURION TOWER
1601 FORUM PLACE
WEST PALM BEACH, FL
PROJECT NUMBER CT18

DRAWN BY ASB
CD
11/05/11

A-4

birse design inc.
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AA26001615

BD



1 FLOOR COVERING PLAN
3/16" = 1'-0"

MK	ROOM NAME	FLOOR		BASE		WALLS		CEILING		REMARKS
		MAT	HT	MAT	HT	MAT	FIN	MAT	FIN	
100	ENTRY	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
101	KITCHEN	VC1	VA	4"	GWB	PT	ACT1		9'-0"	
102	CORRIDOR	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
103	AUDIT	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
104	FILES	VC1	VA	4"	GWB	PT	ACT1		9'-0"	
105	COPY	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
106	CONFERENCE	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
107	CORRIDOR	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
108	OFFICE	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
109	OFFICE	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
110	OPEN OFFICE	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
111	OPEN OFFICE	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
112	FILE	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
113	OFFICE	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
114	OFFICE	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
116	OFFICE	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
117	OFFICE	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
118	OFFICE	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
119	OFFICE	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
120	OFFICE	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
121	OFFICE	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
122	OFFICE	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
123	OFFICE	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
124	OFFICE	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
125	OFFICE	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
126	OFFICE	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
127	OFFICE	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
128	OFFICE	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
129	OFFICE	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
130	OFFICE	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
131	OFFICE	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
132	OFFICE	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
133	HELLO	VC1	VA	4"	GWB	PT	ACT1		9'-0"	
134	COPY	CP11	VA	4"	GWB	PT	ACT1		9'-0"	
134	OPEN OFFICE	CP11	VA	4"	GWB	PT	ACT1		9'-0"	

FINISH SELECTIONS:
 CARPET TILE (CP11)
 MANUFACTURER: ALLEN'S BIRSE
 COLLECTION: #1008 TYPED MODULAR
 COLOR: #89101 ETRICK
 VINYL COMPOSITION TILE (MCI)
 MANUFACTURER: AMSTRONG
 COLLECTION: STANBRO EXCELON
 COLOR: BRUSHED SAND #55753
 VINYL BASE (V1)
 MANUFACTURER: JOHNSONITE
 COLOR: SANDWOOD #45
 PAINT (P1)
 MANUFACTURER: SEE TENANT
 COLOR: OXBOW BEIGE
 PLASTIC LAMINATE (CABINETRY)
 MANUFACTURER: FORMICA
 COLOR: HORN BRUSHING #780548
 PLASTIC LAMINATE (COUNTERTOP/BACKSPLASH)
 MANUFACTURER: FORMICA
 COLOR: BELLOA BEIGE #859/58
 ACOUSTICAL CEILING TILE (CP11)
 MANUFACTURER: AMSTRONG
 ITEM # #178 FINE INSURED OPENPLAN
 GRID: 9/16" FINE LINE WHITE

* ALL NEW FINISHES ARE TO MATCH SUITE #102 EXISTING FINISHES (CONTRACTOR TO VISIT SUITE #102)
 * ALL INTERIOR WALL AND CEILING FINISHES TO HAVE A MIN CLASS "C" FLAME SPREAD CLASSIFICATION
 * ALL INTERIOR FLOOR FINISH SHALL BE NOT LESS THAN CLASS II
 * SAMPLES ARE REQUIRED TO BE APPROVED BY TENANT PRIOR TO ORDERING

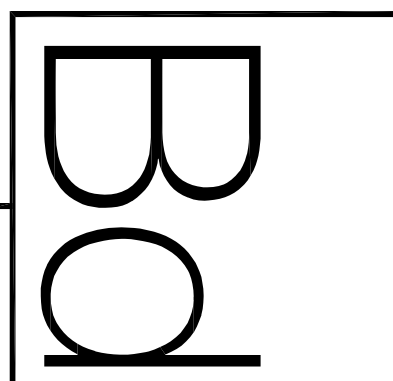
3 FINISHES

1. REMOVE ALL EXISTING WALL COVERING INCLUDING WOOD PANELS, COLUMNS, Limestone TILES AND MIRRORS
2. PATCH AND REPAIR WALLS AS REQUIRED TO RECEIVE NEW WALL COVERING
3. REMOVE ALL WALL SCONES AND CAP ELECTRICAL
4. REMOVE ALL EXISTING FLOOR COVERING AND REPLACE WITH GRANITE TILE AS PER 10-A-5
5. HARD CEILING IN FRONT OF ELEVATORS TO REMAIN AS EXISTING AND TO BE PAINTED
6. ADD NEW DIRECTIONAL LIGHTS TO HARD CEILING AS PER 20-A-2
7. PROVIDE NEW SUSPENDED CEILING LIGHTS AS PER 20-A-2
8. 4" WOOD BASE TO REMAIN AS EXISTING AND TO BE PAINTED
9. CORK UNDERLAYMENT REQUIRED UNDER ALL TILE SURFACES
10. GRANITE TILE TO BE 12" x 12" GRANITE GALLOWEN (AND PROVIDE SAMPLE FOR APPROVAL)

2 COMMON AREA NOTES

ALLEN'S BIRSE
 #890279

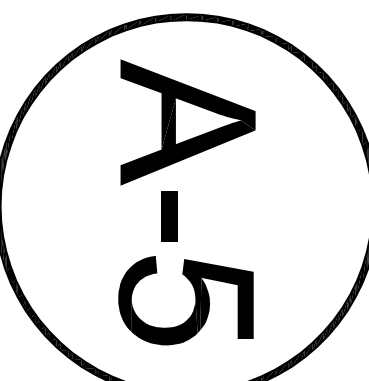
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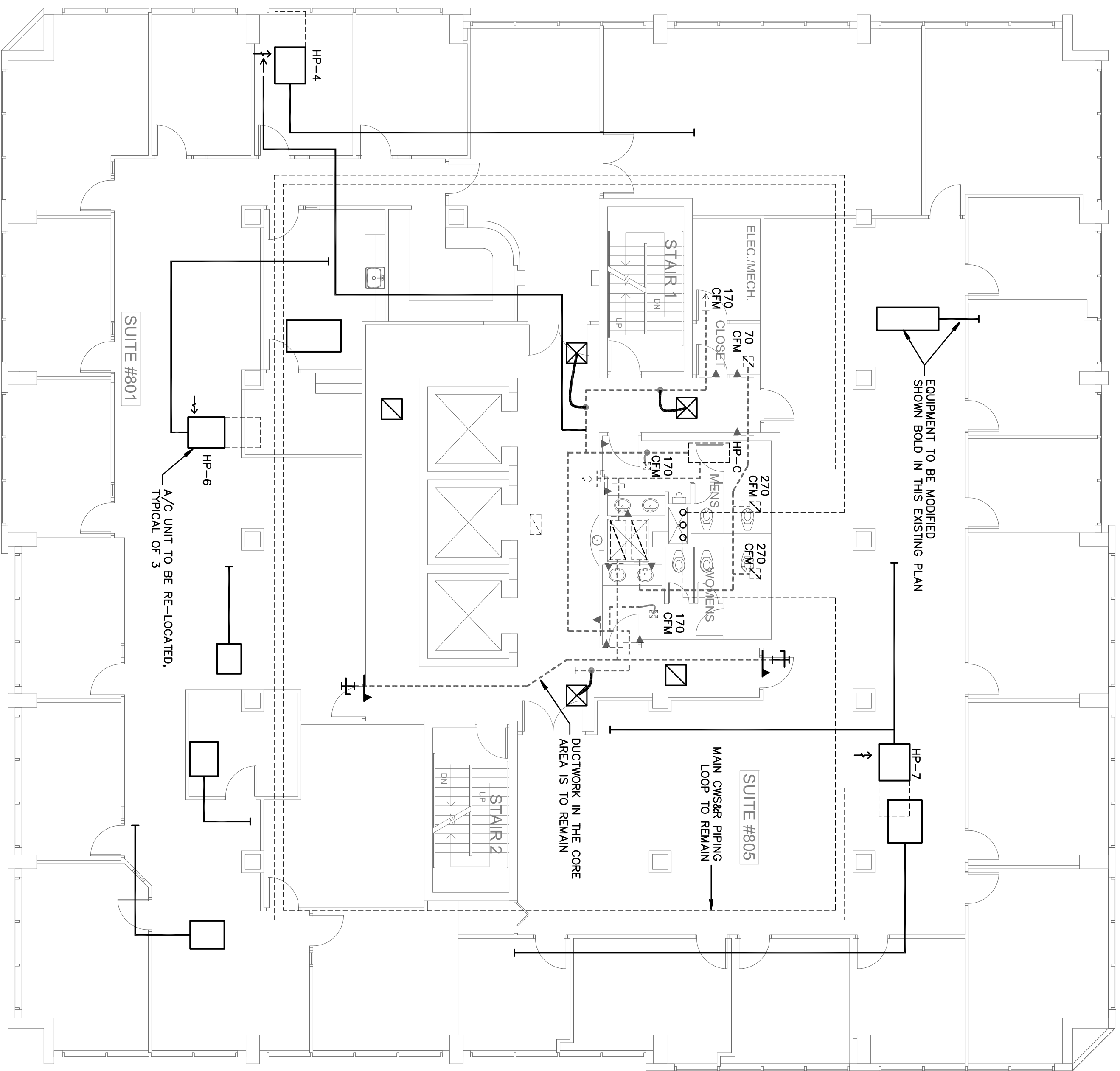


OXBOW #801
 CENTURION TOWER
 1601 FORUM PLACE
 WEST PALM BEACH, FL
 PROJECT NUMBER CT18

REVISIONS
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 CD
 11/05/11

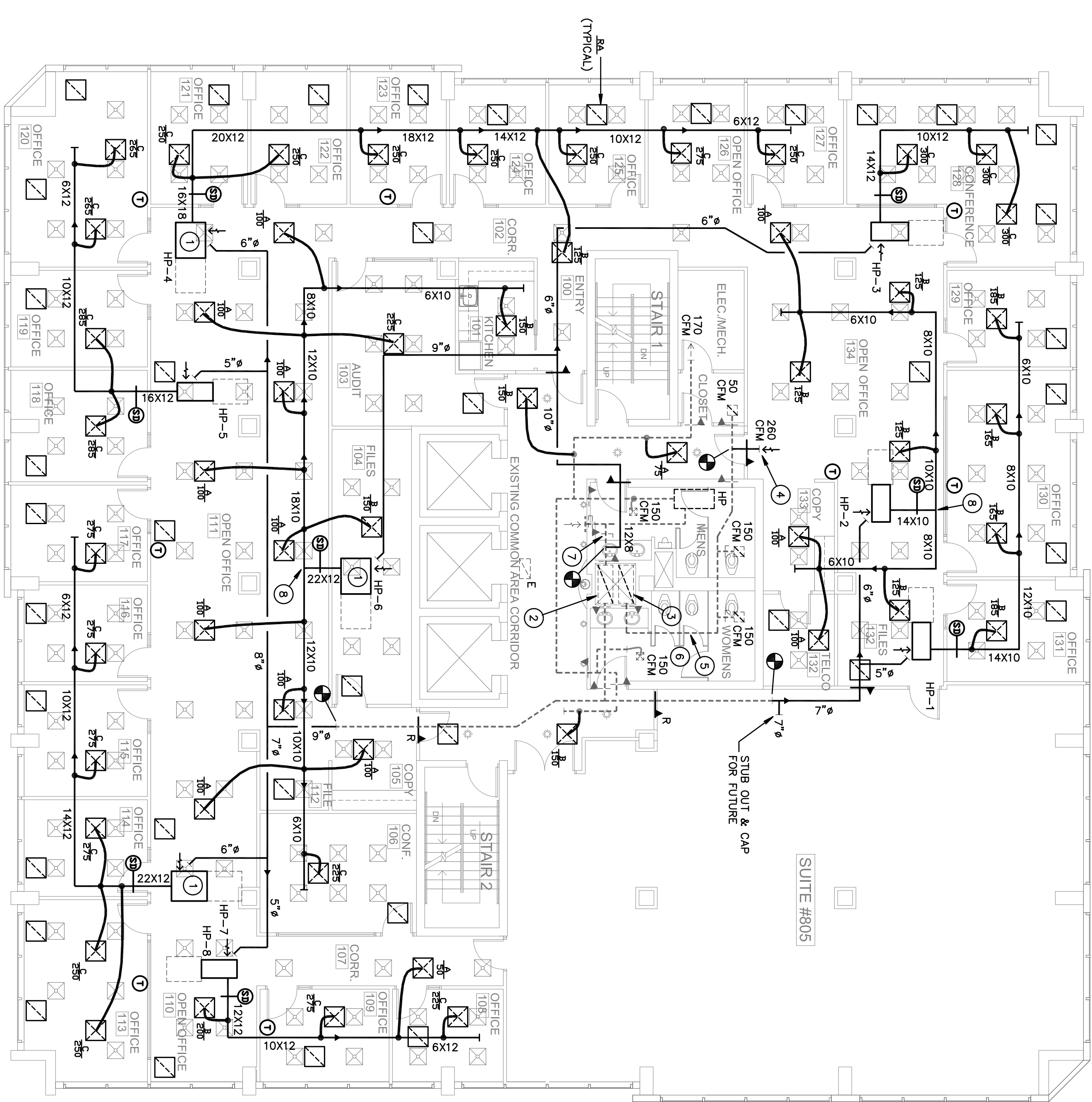




ABBREVIATIONS	
HP	HEAT PUMP
S/A	SUPPLY AIR
R/A	RETURN AIR
O/A	OUTSIDE AIR
E/A	EXHAUST AIR
CFM	CUBIC FEET PER MINUTE
MWD	MANUAL VOLUME DAMPER (OPPOSED BLADE TYPE)
FD	FIRE DAMPER
AHU	AIR HANDLING UNIT
CD	CONDENSATE DRAIN
CWS	CONDENSER WATER SUPPLY
CWR	CONDENSER WATER RETURN
E	EXISTING
R	RE-LOCATED

LEGEND	
	EXISTING EQUIPMENT TO REMAIN
	SUPPLY AIR DIFFUSER AS NOTED
	RETURN/TRANSFER GRILLE AS NOTED
	EXISTING SUPPLY AIR DIFFUSER
	EXISTING EXHAUST/RETURN GRILLE
	DUCTWORK AS NOTED
	EXISTING DUCTWORK TO REMAIN
	TYPE B FIRE DAMPER W/ACCESS DOOR
	MANUAL VOLUME DAMPER
	PROGRAMMABLE THERMOSTAT
	FLEXIBLE DUCT, UL CLASS 1
	DUCT TRANSITION
	FLEXIBLE DUCT TAKE-OFF WITH MWD
	CONNECTION TO EXISTING

EXISTING HVAC FLOOR PLAN
SCALE: 1/8" = 1'-0"



HVAC CONTROLS NOTE

AIR CONDITIONING CONTRACTOR SHALL PROVIDE OR CAUSE TO BE PROVIDED ALL CONTROLS, CONTROL WIRING & CONDUIT, POWER WIRING & CONDUIT, AND ALL OTHER ITEMS NECESSARY FOR INSTALLATION AND CONTROL OF HEAT PUMP AIR HANDLING UNITS. CONTRACTOR SHALL PROVIDE THE MECHANICAL LAYOUT WITH ON SCREEN DISPLAYS THAT ARE CONTROLLED BY THE EXISTING ENERGY MANAGEMENT SYSTEM (EMS). A COMPLETE AND OPERATIONAL CONTROL SYSTEM IS TO BE PROVIDED. VERIFY ALL DETAILS AND REQUIREMENTS WITH THE BUILDING EMS PROVIDER PRIOR TO BID.

- DRAWING KEYNOTES:**
- EXISTING HEAT PUMP A/C UNIT TO BE RE-LOCATED AS SHOWN. SEE SCHEDULE FOR ADDITIONAL NOTES.
 - OUTSIDE AIR DUCT UP TO ROOF FAN. TO REMAIN AS IS
 - EXHAUST AIR DUCT UP TO ROOF FAN. TO REMAIN AS IS
 - OPEN ENDED 6X6 EXHAUST DUCT STUBBED THRU WALL ABOVE CEILING, WITH FIRE DAMPER AND VOLUME DAMPER.
 - RE-BALANCE EXISTING EXHAUST AIR SYSTEM AS SHOWN.
 - ADJUST EXISTING SUPPLY AIR QUANTITY IN CORE AREA AS SHOWN. TO MATCH EXHAUST AIR QUANTITY.
 - ADJUST EXISTING VOLUME DAMPER TO PROVIDE 350 CFM OUTSIDE AIR TO HP-4.
 - PROVIDE SPLITTER DAMPER

PROPOSED HVAC FLOOR PLAN
SCALE: 1/8" = 1'-0"

Gilman & Associates, Inc.
MECHANICAL & ELECTRICAL ENGINEERS
129 N. FEDERAL HIGHWAY SUITE 302
Lake Worth, FL 33460 CA. 009078
(561) 582-0210 Fax (561) 582-8212
RONALD D. GILMAN P.E. *37933

PROJ. - 11-0385

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11/4/11

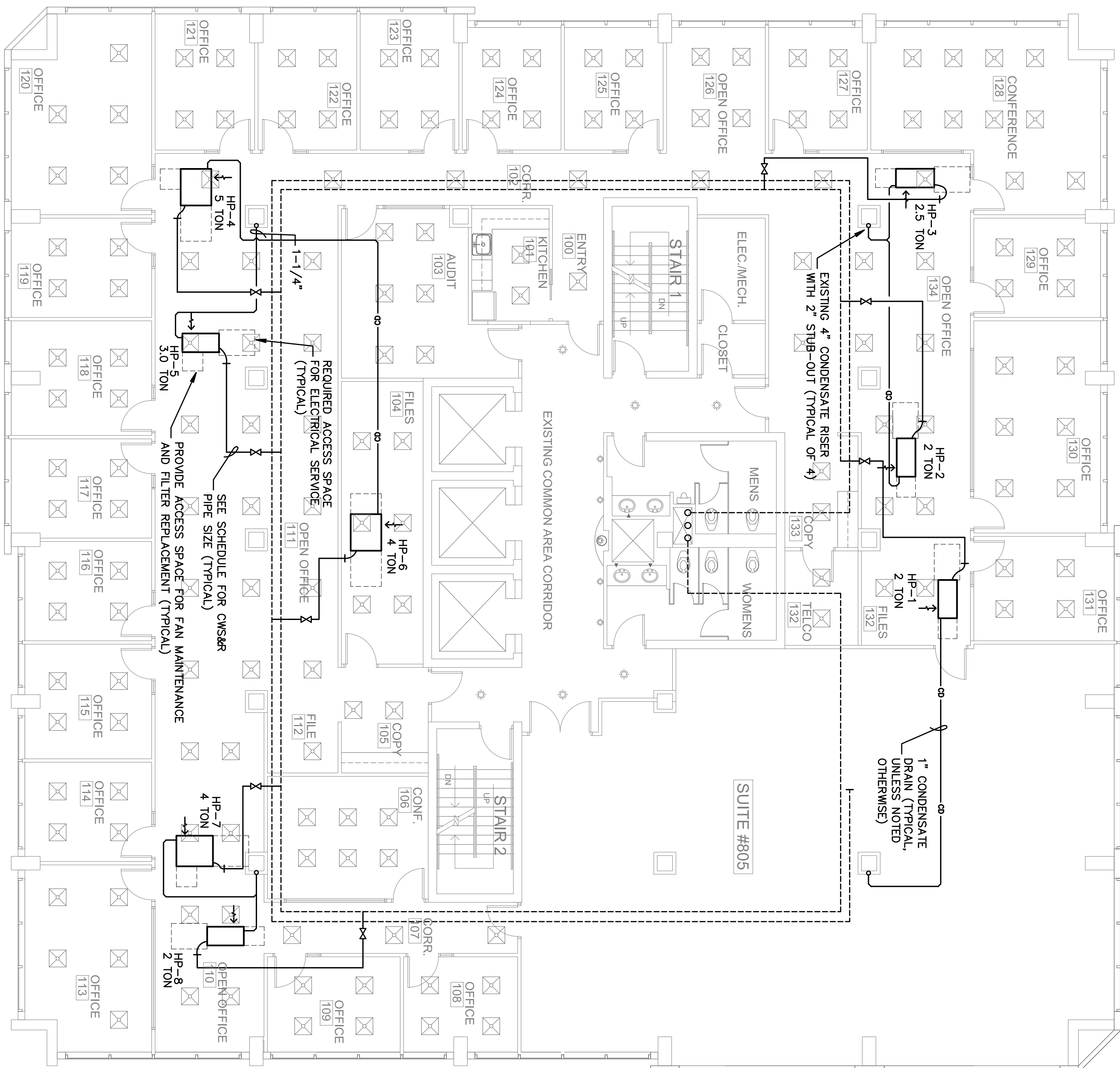
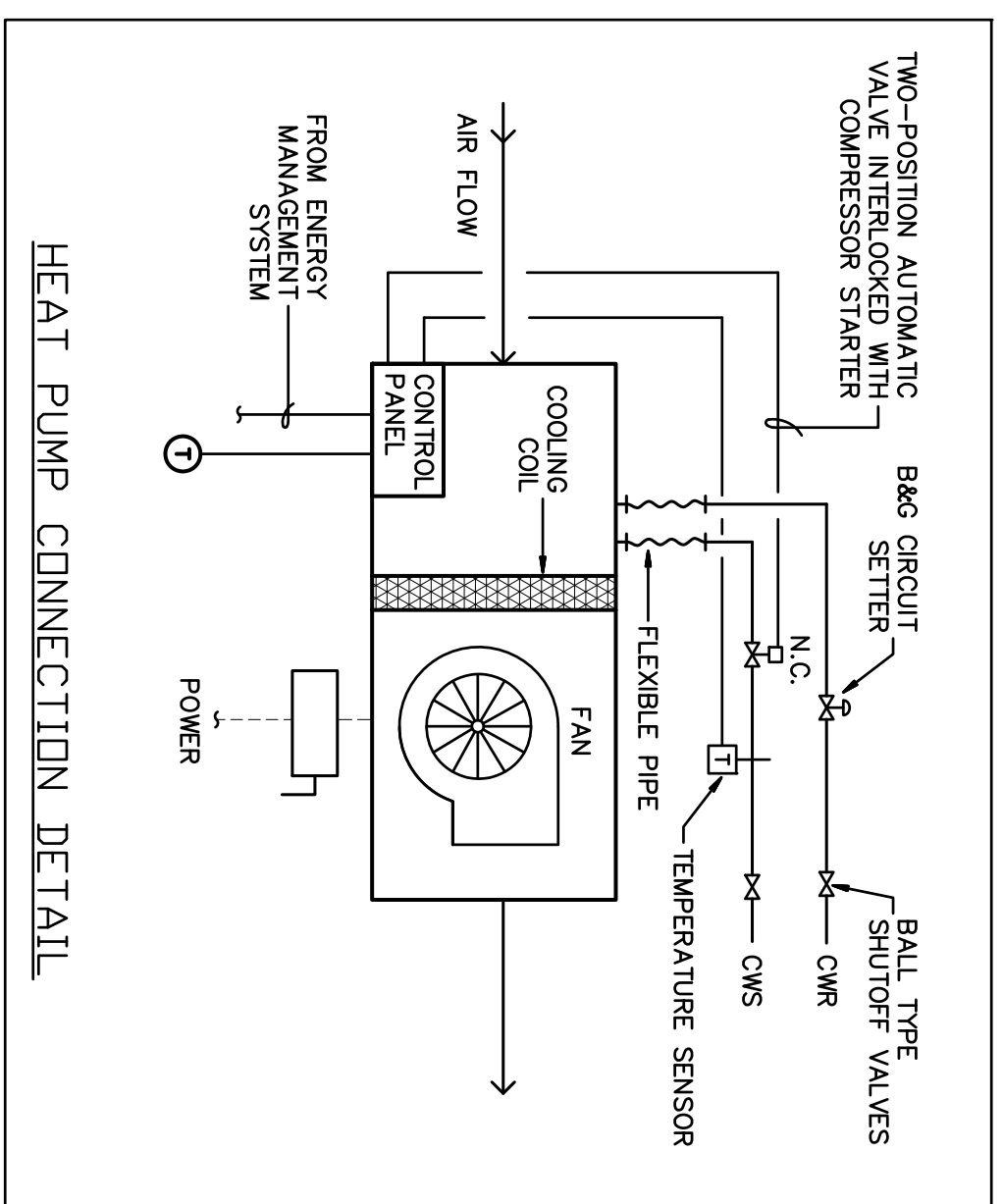
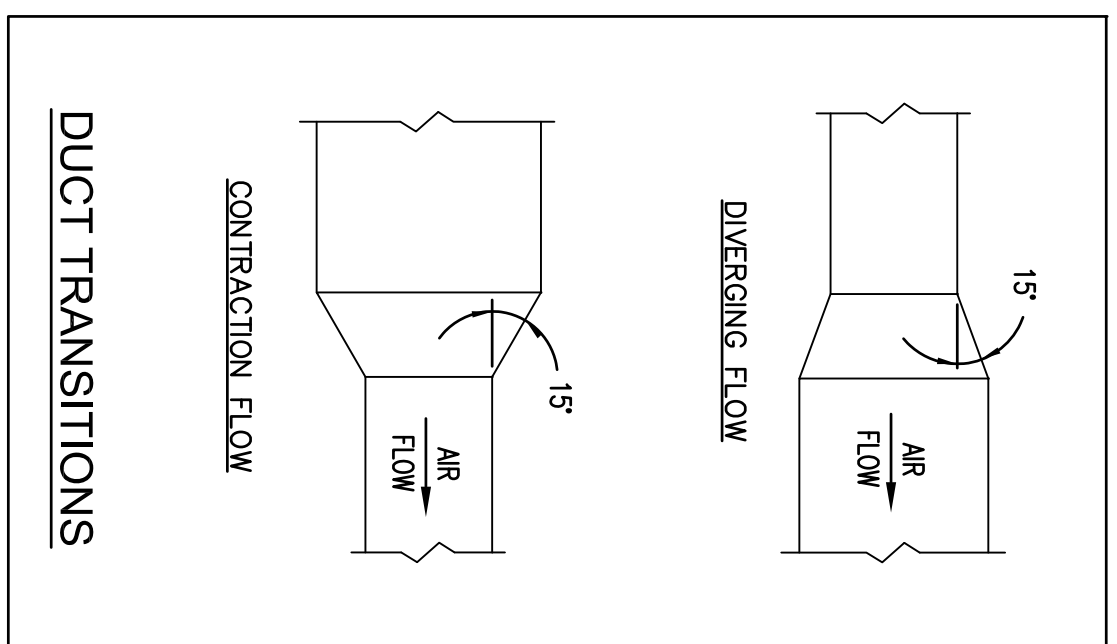
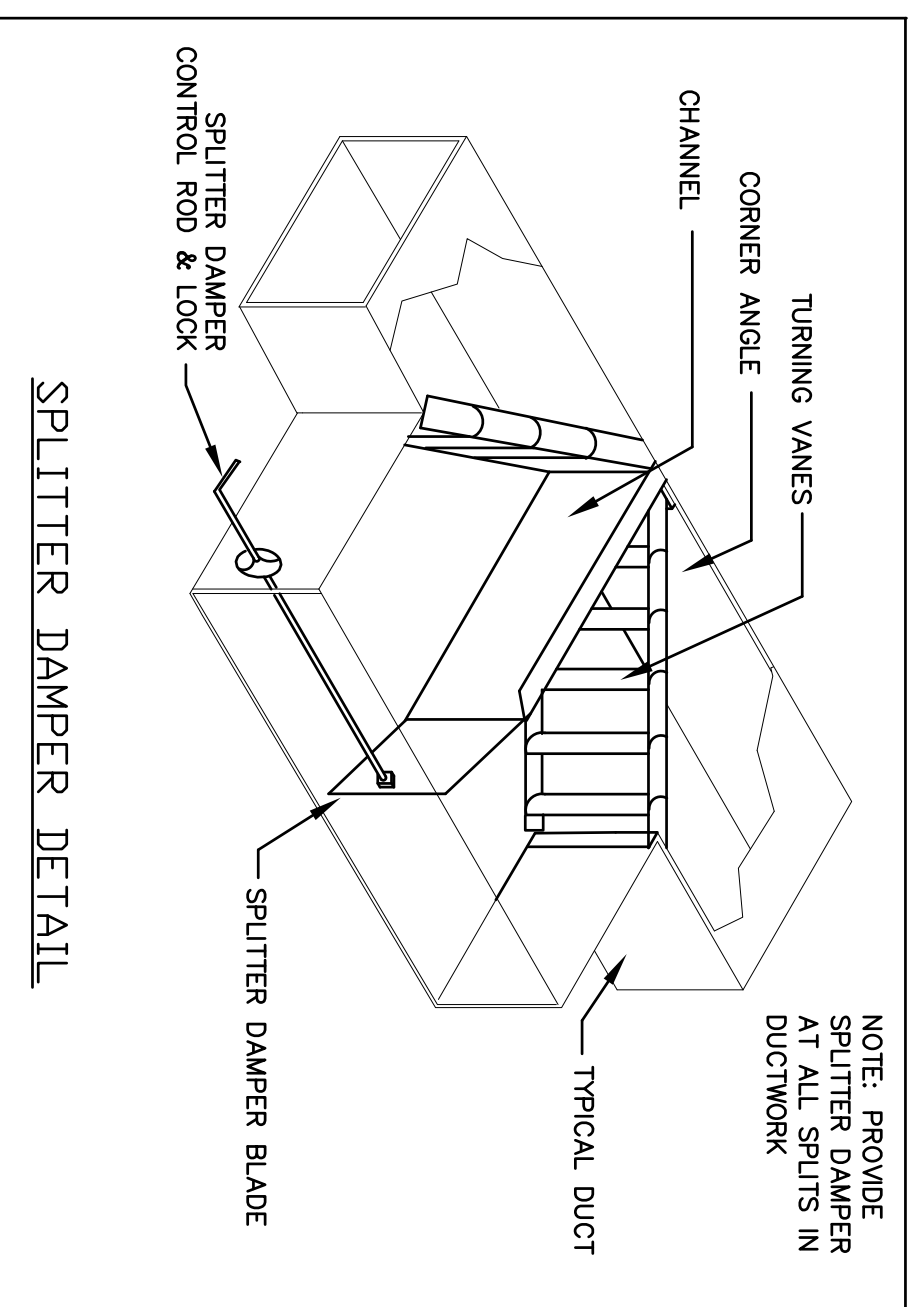
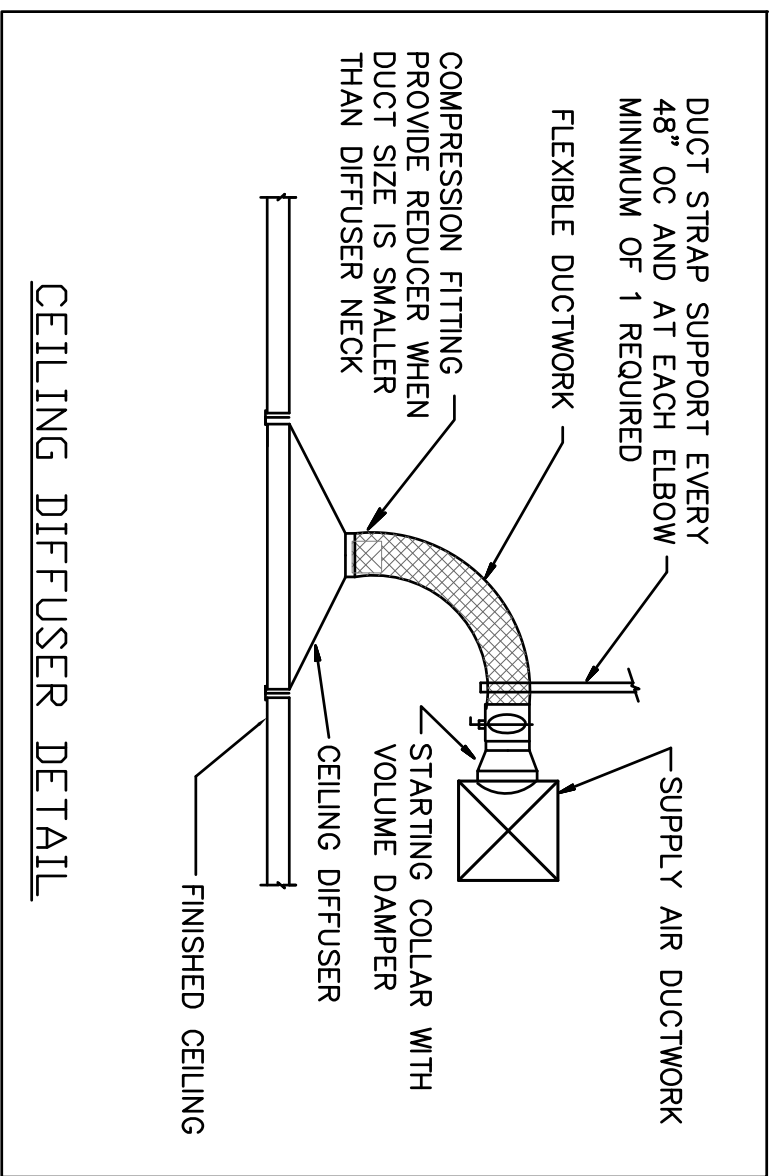
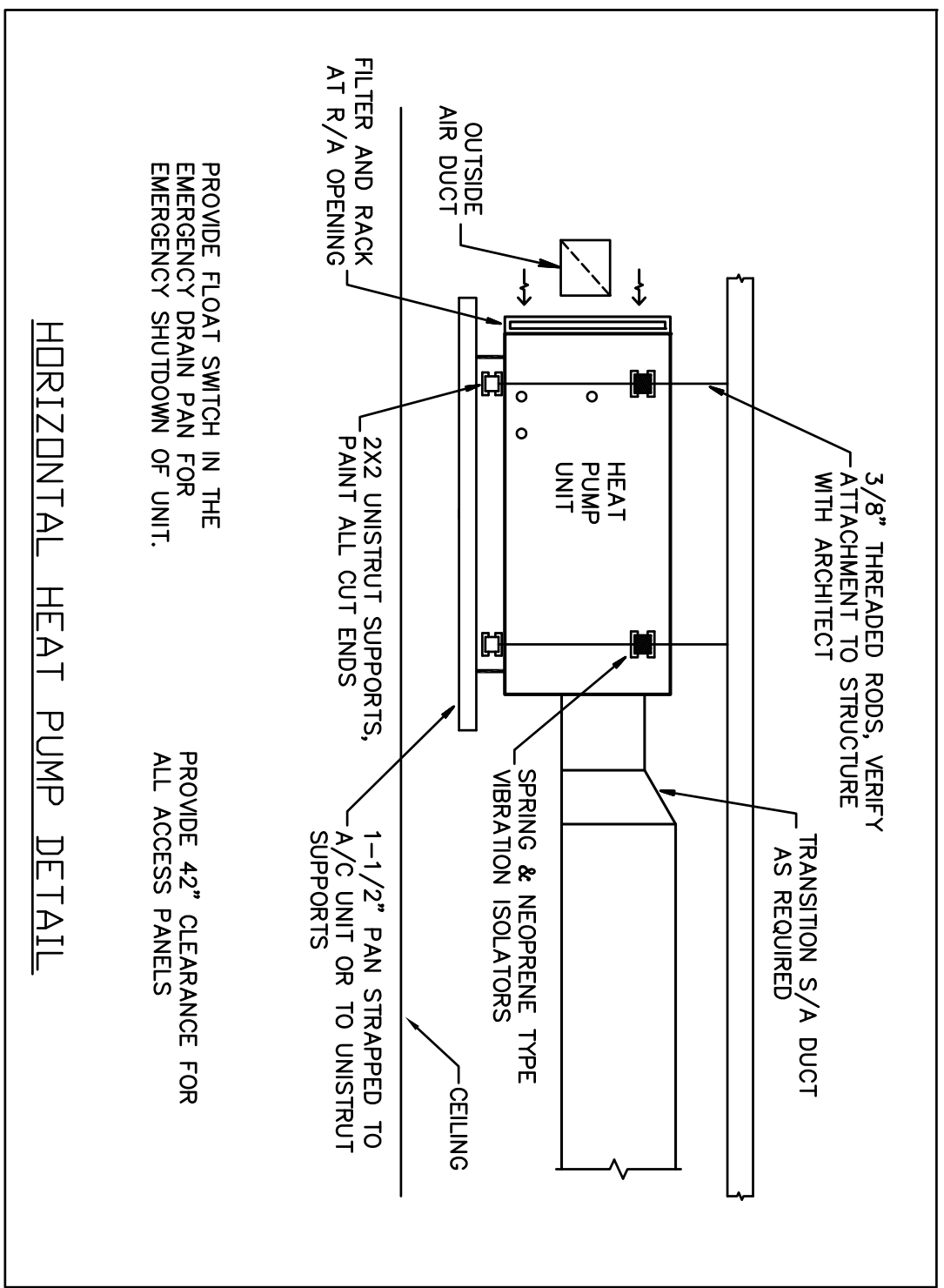
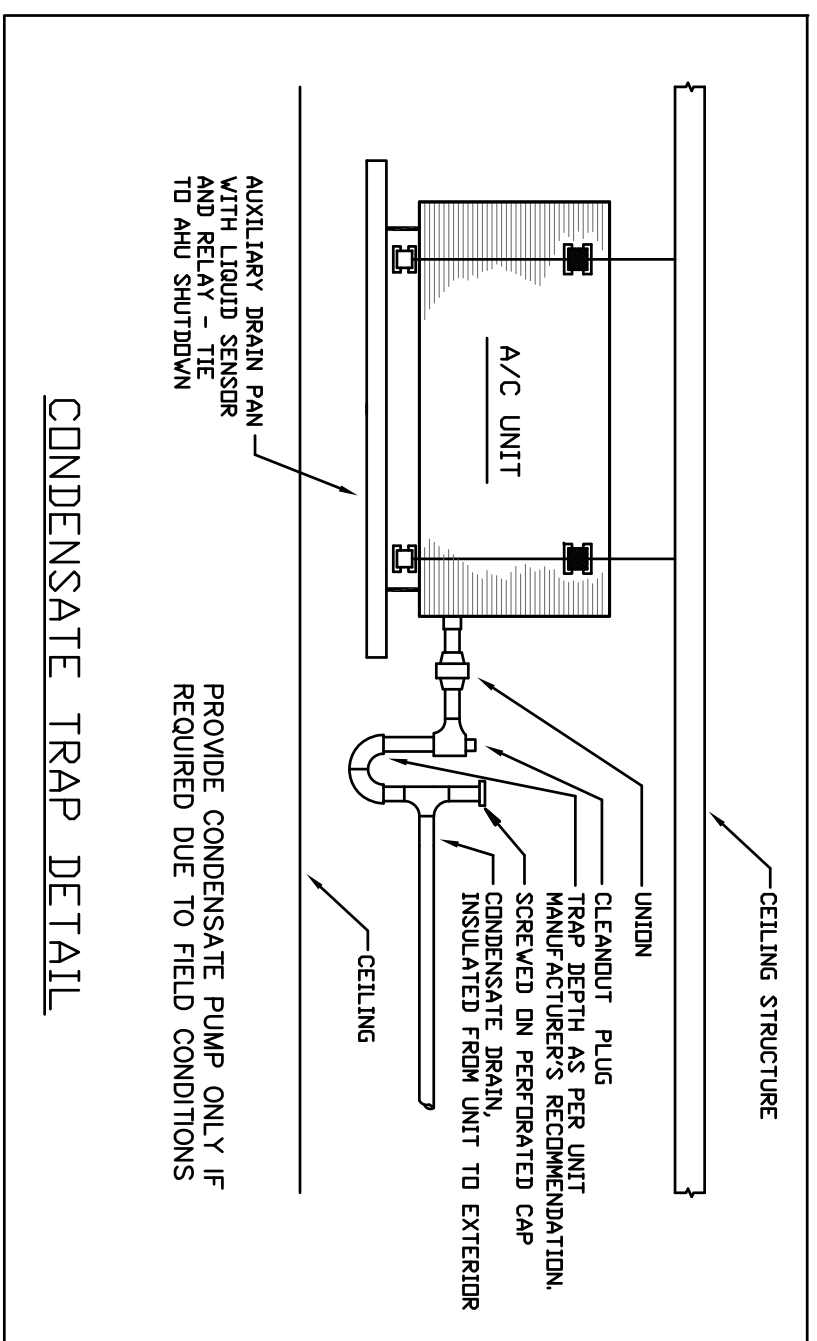
REVISIONS
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OXBOW #801
CENTURION TOWER
1601 FORUM PLACE
WEST PALM BEACH, FL
PROJECT NUMBER CT18

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birse design inc.
5300 woodland lakes drive
palm beach gardens, fl 33418

BOD



HVAC PIPING PLAN
 SCALE: 1/8" = 1'-0"

Gilman & Associates, Inc.
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 129 N. FEDERAL HIGHWAY SUITE 202
 Lake Worth, FL 33460 CA.#009078
 (561) 582-0210 Fax (561) 582-8212
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PROJ. - 11-4385

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 11/4/11
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OXBOW #801
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 5300 woodland lakes drive
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 AA26001615

BOD

- GENERAL DEMOLITION NOTES**
- UNLESS OTHERWISE NOTED, ALL EQUIPMENT AND DUCTWORK IN THE PROJECT AREA WHICH IS NOT INDICATED TO REMAIN, IS TO BE REMOVED. THE CONTRACTOR SHALL INVESTIGATE THE PROJECT AREA PRIOR TO BID TO DETERMINE ALL REQUIRED DEMOLITION.
 - EXISTING CONDITIONS SHOWN ON THIS DRAWING ARE TAKEN FROM ORIGINAL DRAWINGS AND FIELD INVESTIGATION. ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO BID. FIELD CONDITIONS SHALL GOVERN.
 - DEMOLITION WORK IS NOT SPECIFICALLY IDENTIFIED ON THESE PLANS, AND MAY BE DESCRIBED ON THE ARCHITECT'S PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED DEMOLITION WHETHER SHOWN ON THE PLANS OR NOT.
 - ALL MECHANICAL SYSTEMS SERVING OTHER SPACES OR FLOORS THAT RUN THROUGH THE PROJECT AREA SHALL REMAIN ACTIVE DURING CONSTRUCTION, SO AS NOT TO CAUSE ANY DISRUPTION TO THESE OTHER SPACES.
 - ALL ITEMS REMOVED UNDER THIS PROJECT SHALL BE DISPOSED OF OR TURNED OVER TO THE OWNER AT THE OWNER'S DISCRETION.
 - PROPERLY REMOVE AND DISPOSE OF ALL HVAC DUCTWORK AND AIR DISTRIBUTION DEVICES WHICH ARE TO BE REMOVED. CONSULT WITH OWNER AND OBTAIN THE OWNER'S APPROVAL PRIOR TO DISPOSAL OF REMOVED MATERIAL.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL PIPING AND DUCTS, NEW OR EXISTING, WITHIN THE PROJECT AREA, ARE PROPERLY SUPPORTED.
 - ALL OCCUPIED SPACES ARE TO REMAIN OPERATIONAL DURING BUSINESS HOURS THROUGHOUT THE DEMOLITION AND CONSTRUCTION PERIOD. COORDINATE ALL WORK AS DESCRIBED IN THE ARCHITECT'S DOCUMENTS.

- MECHANICAL GENERAL NOTES:**
- THESE DRAWINGS ARE DIAGRAMMATIC. ALL OFFSETS, FITTINGS, TRANSITIONS AND ACCESSORIES ARE TO BE SHOWN ON THE CONTRACTOR'S SHOP DRAWINGS. THIS BID IS TO BE BASED ON THE CONTRACTOR'S SHOP DRAWINGS. THE CONTRACTOR SHALL INCLUDE HIS BID DO NOT SCALE DRAWINGS FOR INSTALLATION.
 - ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER BY LICENSED CONTRACTORS.
 - THE CONTRACTOR SHALL OBTAIN AT HIS EXPENSE ALL NECESSARY FEES PERMITS, AND TESTS.
 - ALL WORK SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES. NO CONTRACTOR SHALL BID UNLESS FAMILIAR WITH THESE CODES.
 - CORRECTION OF DEFECTS TO THIS WORK SHALL BE MADE PROMPTLY WITHOUT DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF CORRECTING THIS WORK. THE CONTRACTOR SHALL MAKE PROMPTLY WITHOUT DELAY TO THE OWNER ALL WORK OF THIS TRADE SHALL BE COORDINATED WITH ALL OTHER TRADES TO AVOID ANY INTERFERENCES THAT MAY DELAY PROGRESS OF CONSTRUCTION.
 - THE CONTRACTOR SHALL INCLUDE THE WORK OF ALL REQUIRED SUB-CONTRACTORS, SUCH AS ELECTRICAL, INSULATING, TEST & BALANCE, ETC., AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM.
 - EQUIPMENT SHALL BEAR A U.L. OR OTHER RECOGNIZED LABEL. NAMEPLATES, WIRING DIAGRAMS, AND ENERGY RATINGS AS APPLICABLE.
 - THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND ACCESSORIES TO BE READY ACCESSIBLE FOR SERVICING, TESTING, BALANCING, AND REPLACEMENT.
 - THE CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE AGAINST DEFECTS IN ALL COMPONENTS IN THE SYSTEMS INSTALLED WITHIN THIS PROJECT WITHIN FOUR ADDITIONAL YEARS OF WARRANTY ON COMPRESSORS.
 - THE CONTRACTOR SHALL PROVIDE THREE COPIES OF SUBMITTAL DATA, SHOP DRAWINGS, AND AT COMPLETION OF THE PROJECT TWO SETS OF OPERATION AND MAINTENANCE MANUALS FOR ALL PROJECT ITEMS.
 - PROVIDE ALL CONTROLS, STARTERS, CONTROL WIRING, DISCONNECTS, AND OTHER ELECTRICAL EQUIPMENT AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM.
 - THE HVAC CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, ON SITE, A DETAILED AS-BUILT PLAN SHOWING ACTUAL INSTALLATIONS. THE CONTRACTOR IS TO PROVIDE A NEATLY DRAWN COMPREHENSIVE AS-BUILT SET OF PLANS FOR THE CONTRACTOR, WHICH ARE SUBJECT FOR SUBMISSION TO THE BUILDING DEPARTMENT AND TO THE OWNER.
 - THE HVAC CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, ON SITE, A DETAILED AS-BUILT PLAN SHOWING ACTUAL INSTALLATIONS. THE CONTRACTOR IS TO PROVIDE A NEATLY DRAWN COMPREHENSIVE AS-BUILT SET OF PLANS FOR THE CONTRACTOR, WHICH ARE SUBJECT FOR SUBMISSION TO THE BUILDING DEPARTMENT AND TO THE OWNER.
 - PRIOR TO ACCEPTANCE BY THE OWNER THE SYSTEMS SHALL BE TESTED AND BALANCED BY AN INDEPENDENT AABC OR NEBB CERTIFIED TEST & BALANCE FIRM, AND A TYPED REPORT SUBMITTED.
 - SUPPLY AND INSTALL DUCT MOUNTED SMOKE DETECTORS AS REQUIRED.
 - COORDINATE LOCATION OF CEILING DIFFUSERS, GRILLES AND REGISTERS IN THE FIELD WITH LIGHTS AND ARCHITECTURAL ELEMENTS.
 - ALL GRILLES TO BE TITUS OR METALARE UNLESS OTHERWISE NOTED. SIZES AS SHOWN ON PLANS, ALUMINUM CONSTRUCTION.
 - ALL DUCT WORK SHALL BE BUILT AND INSTALLED IN ACCORDANCE WITH SMACKA STANDARDS AND LOCAL BUILDING CODES.
 - ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS.
 - ALL OUTSIDE AIR DUCTWORK SHALL BE SHEETMETAL WITH EXTERIOR R-6 INSULATION AND INTERIOR R-6 INSULATION. INSULATION IN CONDENSED SPACES, AND BOARD TYPE IN EXPOSED AREAS.
 - ALL EXHAUST AIR DUCT SHALL BE GALVANIZED SHEET METAL CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH ASHRAE AND SMACKA STANDARDS.
 - FLEXIBLE DUCT, WHERE SHOWN, SHALL BE UL CLASS 1, R-6 INSULATION.
 - LOW PRESSURE SUPPLY AND RETURN RECTANGULAR DUCTWORK IS RIGID DUCTBOARD, 1" IN. THICK, R-4.2 INSULATION.
 - PROVIDE ELBOW TURNING VANES IN ALL RECTANGULAR DUCTS WHERE TURNS ARE GREATER THAN 45 DEGREES.
 - PROVIDE BACKDRAFT DAMPERS FOR ALL EXHAUST FANS.
 - VERIFY ALL THERMOSTAT LOCATIONS WITH THE LANDLORD.
 - CONDENSATE DRAIN PIPING SHALL BE ABOVE GRADE COPPER DRAIN, WASTE AND VENT FITTINGS. INSULATE ALL CONDENSATE PIPING W/3/4" MOCA IMCOLOCK PIPE INSULATION.
 - CONDENSER WATER SUPPLY AND RETURN PIPING SHALL BE TYPE "1" COPPER. PROVIDE DIELECTRIC COUPLINGS FOR ALL CONNECTIONS BETWEEN DISSIMILAR MATERIALS. PROVIDE ISOLATOR PADS AT ALL HANGERS AND SUPPORTS.

AIR DISTRIBUTION SCHEDULE

MARK	MAKE	MODEL	SIZE	NECK	MATERIAL	BORGES TYPE	BORGES TYPE	MOUNTING TYPE	DAMPER	THROW	FINISH
A	TITUS	PAS-AA	24X24	6"	ALUMINUM	3	LAV-IN	AG-85	4 WAY	WHITE	
B	TITUS	PAS-AA	24X24	8"	ALUMINUM	3	LAV-IN	AG-85	4 WAY	WHITE	
C	TITUS	PAS-AA	24X24	10"	ALUMINUM	3	LAV-IN	AG-85	4 WAY	WHITE	
RA	TITUS	PAS-AA	24X24	22X22	ALUMINUM	3	LAV-IN	-	-	WHITE	

FOR ROUND NECK GRILLES, PROVIDE ROUND FLEXIBLE DUCT TO MATCH GRILLE NECK, UNLESS SHOWN OTHERWISE. PROVIDE TYPICAL CONNECTIONS TO THE SHOWN PLAN WHERE DAMPER IN 5/8" DUCTWORK IS NOT ACCESSIBLE ABOVE CEILING. FIELD VERIFY ALL CONNECTIONS AND PROVIDE SHOP DRAWINGS FOR ALL CONNECTIONS. PROVIDE SURFACE MOUNT GRILLES WHERE REQUIRED DUE TO FIELD CONDITIONS.

**HORIZONTAL HEAT PUMP
A/C UNIT SCHEDULE**

A/C UNIT TAG NO.	HP-1	HP-2	HP-3	HP-4	HP-5	HP-6	HP-7	HP-8
MANUFACTURER	FHP	FHP	FHP	FHP	FHP	FHP	FHP	FHP
MODEL NO.	ECQ24	ECQ24	ECQ30	EMQ60	ECQ36	EMQ48	EMQ48	ECQ24
TOTAL SENSIBLE M.B.H.	19.6	19.6	22.4	45.8	27.6	37.2	37.2	19.6
TOTAL COOLING M.B.H.	25.5	25.5	29.3	59.8	36.1	48.6	48.6	25.5
HEATING CAPACITY M.B.H.	30.0	30.0	35.0	77.0	46.0	61.0	61.0	30.0
SUPPLY AIR CFM/EXT. S.P.	700/0.5	800/0.3	900/0.5	1900/0.4	1100/0.6	1700/0.6	1600/0.8	700/0.5
OUTSIDE AIR CFM	SEE CALCULATIONS	SEE CALCULATIONS	SEE CALCULATIONS	SEE CALCULATIONS	SEE CALCULATIONS	SEE CALCULATIONS	SEE CALCULATIONS	SEE CALCULATIONS
EER	13.8	13.8	13.0	12.5	13.8	12.2	12.2	13.8
COP	4.5	4.5	4.3	4.6	4.5	4.6	4.6	4.5
GPM	6.0	6.0	7.5	15.0	9.0	12.0	12.0	6.0
PIPE SIZE	3/4" FPT	3/4" FPT	1" FPT	1" FPT	3/4" FPT	1" FPT	1" FPT	3/4" FPT
UNIT SIZE (MkLh)	22X43X19	22X43X19	22X45X19	36X43X21	22X35X19	36X43X21	36X43X21	22X43X19
OPERATING WEIGHT LBS.	205	205	230	363	269	290	290	205
MCA	10.0	10.0	12.2	13.8	6.9	10.5	10.5	10.0
MAX. FUSE SIZE	15	15	20	20	15	15	15	15
POWER VOLT-PH-HZ	277-1-60	277-1-60	277-1-60	480-3-60	480-3-60	480-3-60	480-3-60	277-1-60
COMPRESSORS	1	1	1	1	1	1	1	1
NO. OF STEPS	1	1	1	1	1	1	1	1
NOMINAL TONS	2.0	2.0	2.5	5.0	3.0	4.0	4.0	2.0
R.L.A. EACH	6.7	6.7	8.5	9.0	3.9	6.4	6.4	6.7
JUDGEE ENDS	1	1	1	1	1	1	1	1
NO. OF FAN(S)/MOTORS	1/4	1/4	1/4	3/4	1/2	3/4	3/4	1/4
FAN MOTOR H.P. EACH	1.6	1.6	1.6	2.5	2.0	2.5	2.5	1.6
FAN MOTOR F.L.A. EACH	1.6	1.6	1.6	2.5	2.0	2.5	2.5	1.6

ACCESSORIES AND NOTES:

1. EXISTING A/C UNIT TO REMAIN. PROVIDE ANY REQUIRED INSULATION THROUGHOUT THE UNIT INSIDE AND OUT. PROVIDE HIGH TEMPERATURE & PRESSURE NYLON HOSE KIT WITH BALL VALVES, STAINLESS STEEL CLAMPS AND BRASS FITTINGS FOR ALL UNITS.

RATINGS SHOWN ARE AT 80DB, 67MB EAT AND 95' ENT

VENTILATION CALCULATIONS

SYSTEM	HP-1	HP-2	HP-3	HP-4	HP-5	HP-6	HP-7	HP-8
AREA TYPE	OFFICE	OFFICE	CONFERENCE	OFFICE	OFFICE	VARIABLES	OFFICE	OFFICE
SQUARE FEET OF AREA	534	974	344	890	560	2,500	760	340
CFM/SQ.FT. REQUIRED	0.06	0.06	0.06	0.06	0.06	0.06	0.06	0.06
TOTAL OCCUPANTS	3	6	12	7	5	13	5	3
CFM/PERSON REQUIRED	5	5	5	5	5	5	5	5
ZONE CFM REQUIRED	47	88	80	88	49	215	71	35
TOTAL SYSTEM CFM								

NOTES

1. ABOVE CALCULATIONS AND OCCUPANCY RATES PER ASHRAE 62.1, 2007

Birse design inc.

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 palm beach gardens, fl 33415

phone 561-249-4001
 fax 772-409-8684
 AA26001615

OXBOW #801

CENTURION TOWER
 1601 FORUM PLACE
 WEST PALM BEACH, FL

PROJECT NUMBER CT18

REVISIONS

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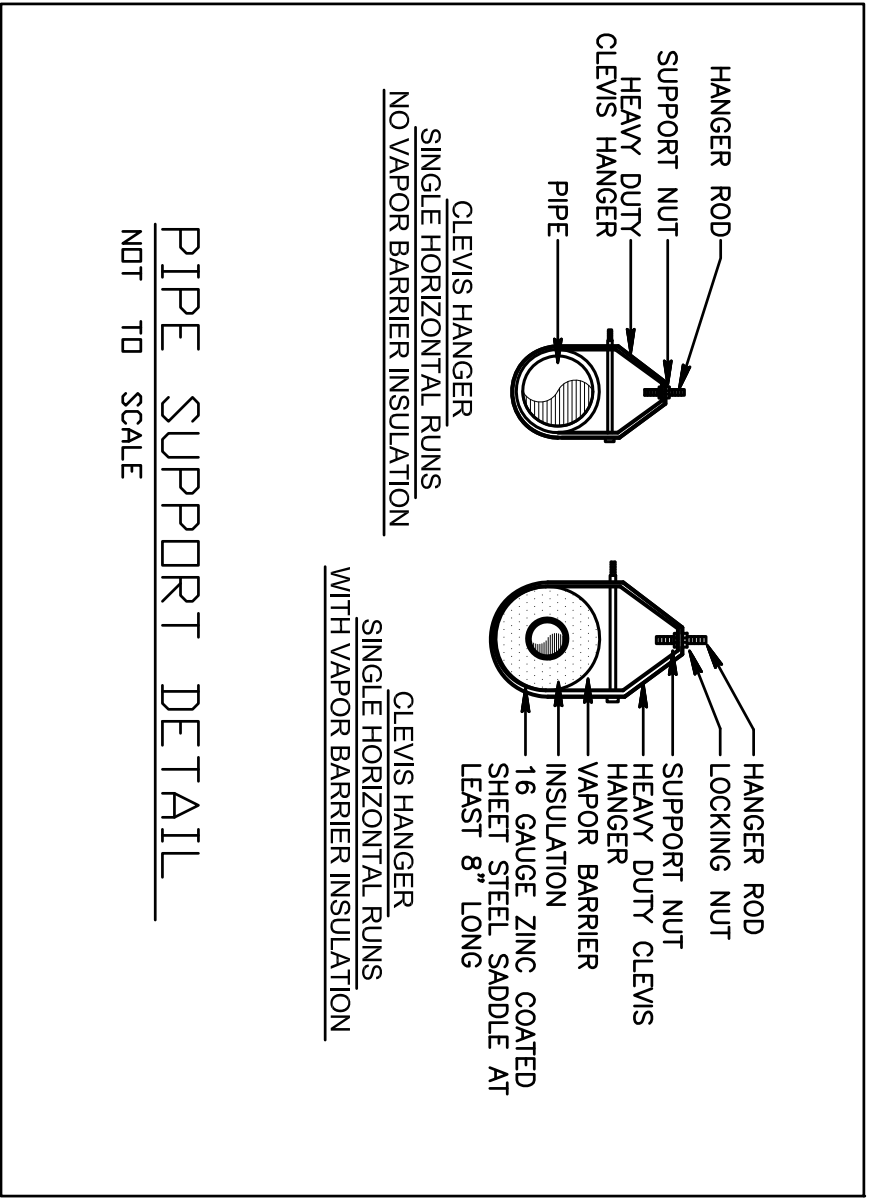
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M-3

Gilman & Associates, Inc.
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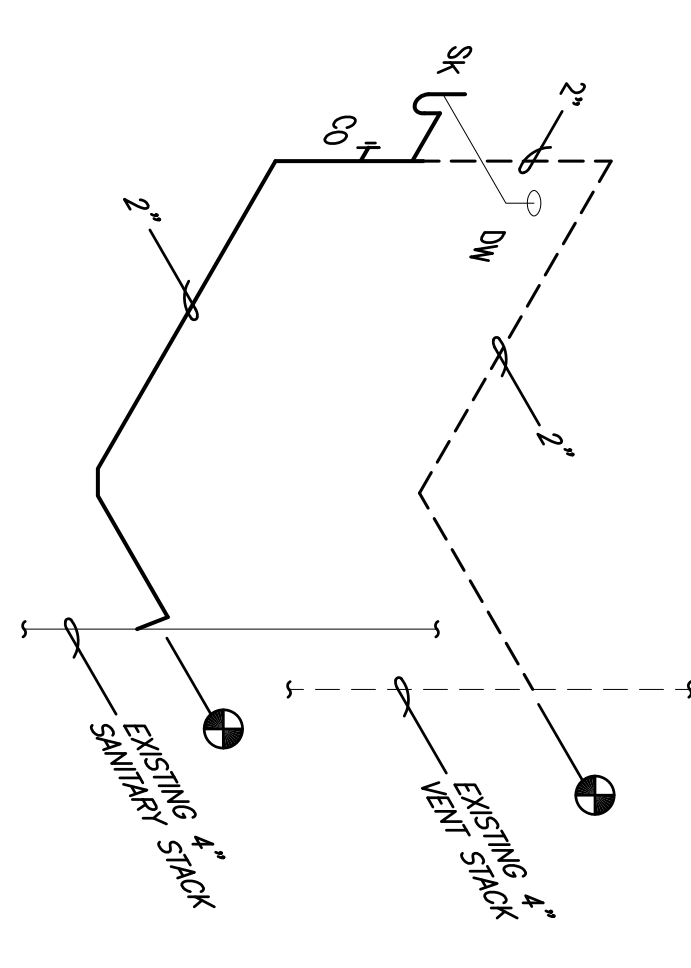
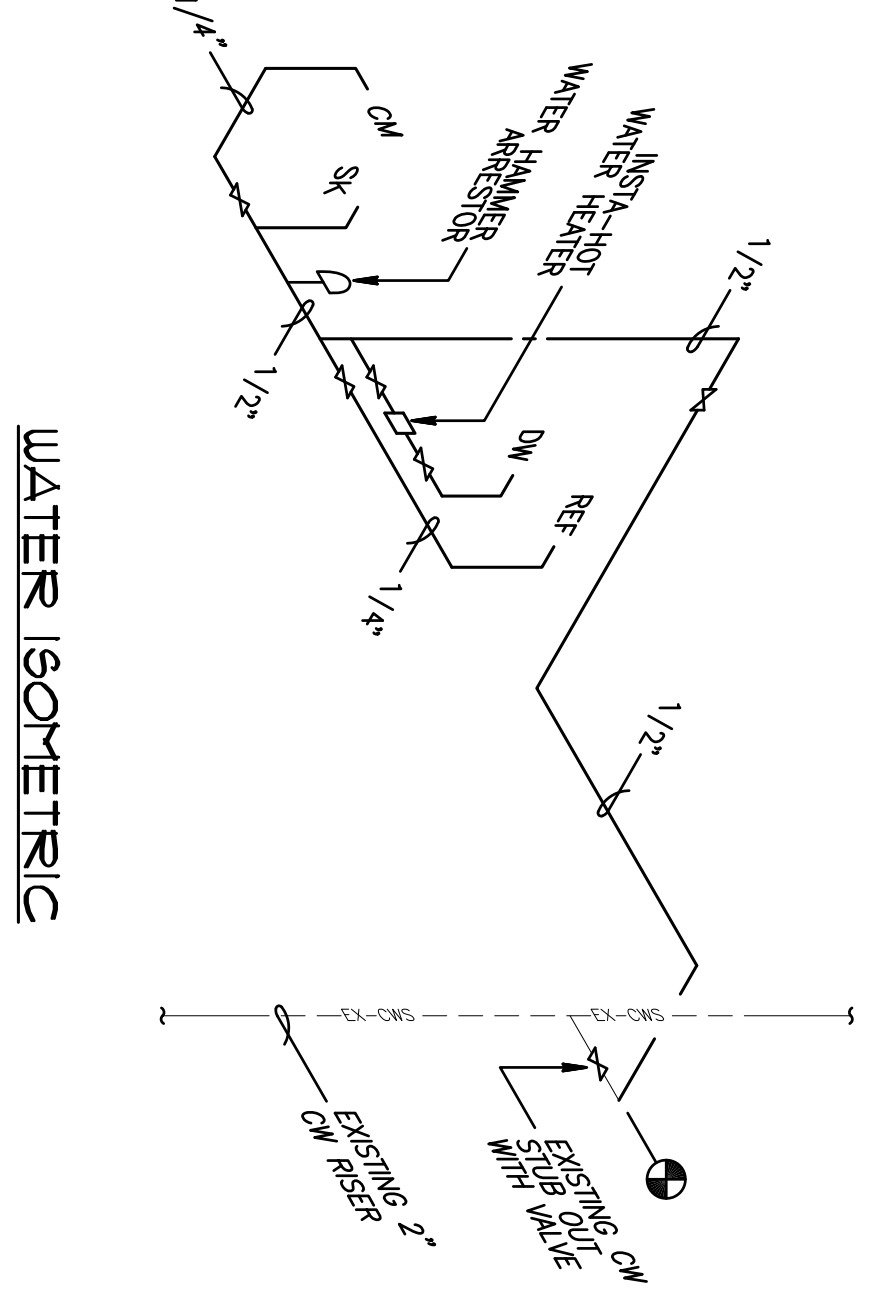
PROJECT - 11-0385



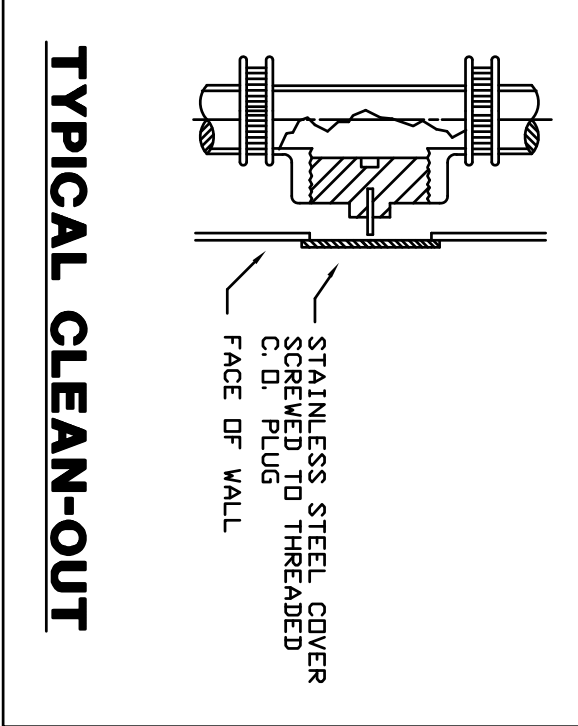
- PLUMBING GENERAL NOTES:**
1. ALL WORKMANSHIP AND MATERIAL SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE LOCAL CODES, RULES AND ORDINANCES.
 2. ALL MATERIAL SHALL BE NEW, UNLESS OTHERWISE SPECIFIED.
 3. ALL MATERIAL SHALL BE NEW.
 4. ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR IN A FULLY RESPONSIBLE MANNER. THE COMPLETED SYSTEM SHALL BE IN FULL COMPLIANCE WITH ALL APPLICABLE LOCAL CODES.
 5. ALL EXCAVATION AND BACKFILL AS REQUIRED FOR THIS PHASE OF CONSTRUCTION SHALL BE A PART OF THIS CONTRACT.
 6. REQUIRED INSURANCE SHALL BE PROVIDED BY THE CONTRACTOR FOR PROTECTION OF EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTION & TESTS. DRAWINGS ARE DIAGNOSTIC. DO NOT SCALE FOR THE EXACT LOCATION OF UTILITIES, PIPING, EQUIPMENT, ETC.
 7. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE.
 8. VERIFY LOCATION, SIZE, INVERTS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ADVISE ENGINEER OF ANY DISCREPANCIES TO ENGINEER/ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.
 9. ALL WORK SHALL BE IDENTIFIED WITH OTHER TRADES TO AVOID INTERFERENCE.
 10. CONSTRUCTION SHALL BE IDENTIFIED WITH OTHER TRADES TO AVOID INTERFERENCE.
 11. COVER FOR SOIL, BE TYPED "COPPER", "TYPE 2" & WATER PIPING SHALL BE TYPE "K" COPPER, AND ABOVE. ALL UNDERGROUND AND WATER PIPING SHALL BE SOLI, WASTE, VENT AND STORM DRAIN PIPING SHALL BE CAST IRON NO HUB.
 12. SOI, WASTE, VENT AND STORM DRAIN PIPING SHALL BE CAST IRON NO HUB.
 13. SOI, WASTE, VENT AND STORM DRAIN PIPING SHALL BE CAST IRON NO HUB.
 14. INSULATE PER A.D.A. ALL EXPOSED HANDICAP LAVATORIES DRAIN PIPING AND HOT & COLD STOP AND SUPPLIES. COVERS SHALL BE SOFT, REMOVABLE AND UPC APPROVED MANUFACTURE. PLUMBEREX HANDY-SHIELD, TRU-BRO OR PRO-SERIES.
 15. ALL FITTINGS MUST BE PROVIDED WITH READILY ACCESSIBLE STOPS & APPROPRIATELY TO REMAIN ACCESSIBLE PANELS. COORDINATE LOCATIONS WITH GENERAL CONTRACTOR PRIOR TO INSTALLATION.
 16. ALL FITTINGS MUST BE PROVIDED WITH READILY ACCESSIBLE STOPS & APPROPRIATELY TO REMAIN ACCESSIBLE PANELS. COORDINATE LOCATIONS WITH GENERAL CONTRACTOR PRIOR TO INSTALLATION.
 17. DIELECTRIC COUPLINGS ARE REQUIRED BETWEEN ALL DISSIMILAR METAL IN PIPING AND EQUIPMENT CONNECTIONS.
 18. ALL PENETRATIONS THROUGH ROOFING SHALL BE PROTECTED WITH A MINIMUM OF (4) FEET LUNING).
 19. ALL FIRE RATED FLOOR AND WALL PENETRATIONS SHALL BE PROPERLY PROTECTED FROM FIRE, SMOKE AND WATER PENETRATION BY FILLING VOIDS BETWEEN PIPE & WALL/FLOOR SLEEVES WITH AN APPROVED FIRE, SMOKE/WATER RESISTANT MATERIAL. APPROVED MATERIALS SHALL BE APPROVED BY THE ENGINEER. DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE BY OWNER. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE, AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ALL DAMAGED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE NEAREST PLUMBING FIXTURE OR PROVIDE SIXX CHIEF 6995 TRAP PRIMER.
 20. PROVIDE 1/2\"/>

SYMBOLS & ABBREVIATIONS

CONDENSATE LINE	CD
HOT WATER PIPE	HW
COLD WATER PIPE	CW
GATE VALVE (SHUT-OFF VALVE)	SOV
SAINTARY LINE	SN
VENT LINE	VL
EXISTING SAINTARY LINE	EX-SN
EXISTING COLD WATER SUPPLY LINE	EX-CW
SINK	SK
REFRIGERATOR	REF
COFFEE MACHINE	CM
WATER HAMMER ARRESTOR	WHA
CONNECTION TO EXISTING SYSTEMS	9

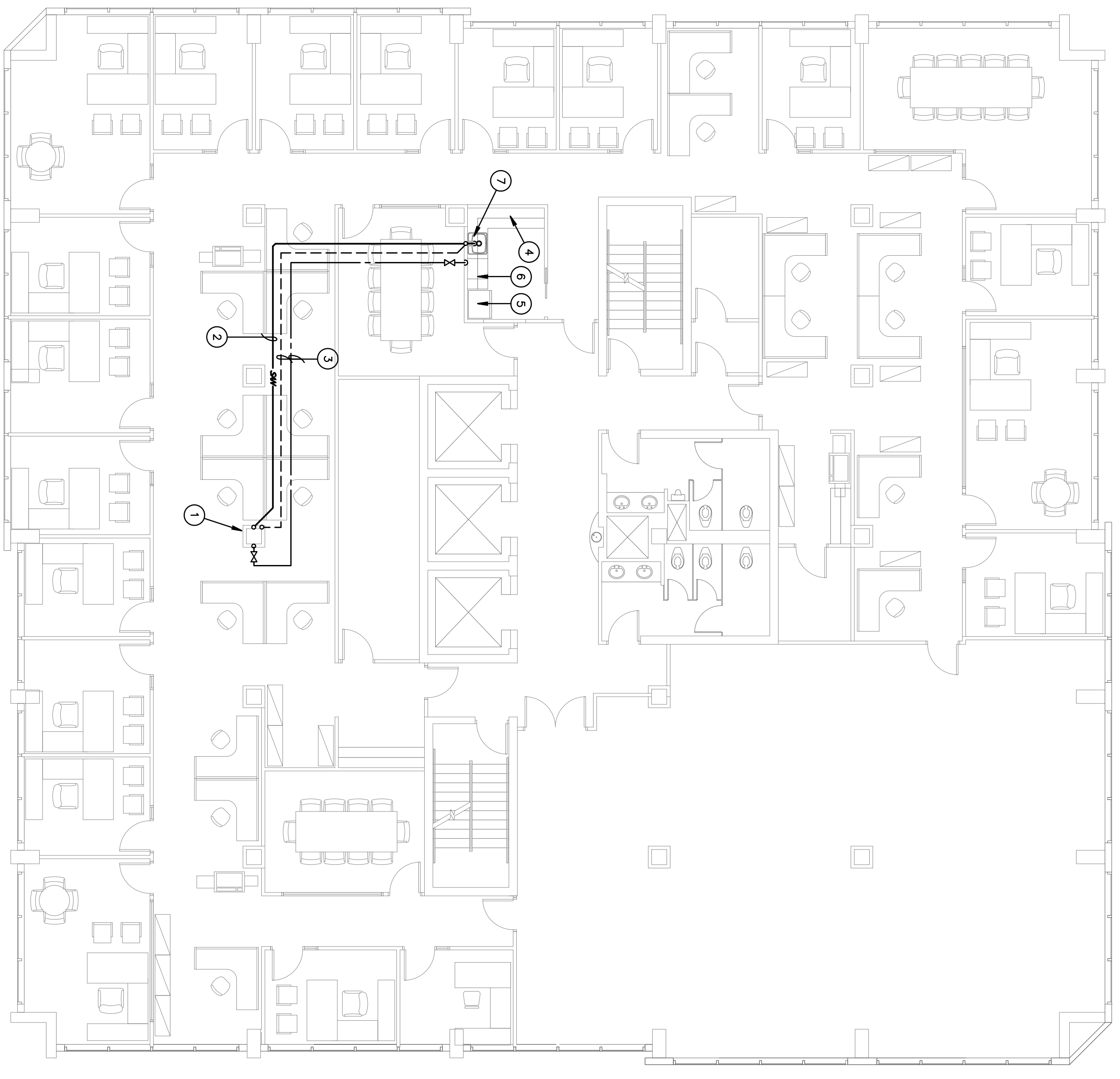


- DRAWING KEYNOTES:**
1. EXISTING WET COLUMN WITH STUB-OUTS FOR SAINTARY, VENT AND COLD WATER PIPING CONNECTIONS.
 2. COORDINATE ALL WORK ON OTHER FLOORS WITH LANDLORD.
 3. PIPING RUNS ABOVE DROPPED CEILING.
 4. PROVIDE 1/4\"/>



PLUMBING FIXTURE SCHEDULE (AMERICAN STANDARD OR EQUAL)

NAME	EXCURE	MODEL #	ACCESSORIES
SK	KITCHEN SINK	SINGLE BOWL - JUST ABOVE ADA COMPLIANCE 6.5\"/>	
EXCURE	WATER PIPE SIZE	NOMINAL SANI. SIZE	MAXIMUM FLOW RATES
SINK	1/2"	1 1/2"	2.0 GPM



PROPOSED PLUMBING FLOOR PLAN
 SCALE: 1/8" = 1'-0"

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PROJ. # 11-0385

P-1

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OXBOW #801
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BD

ELECTRICAL LEGEND

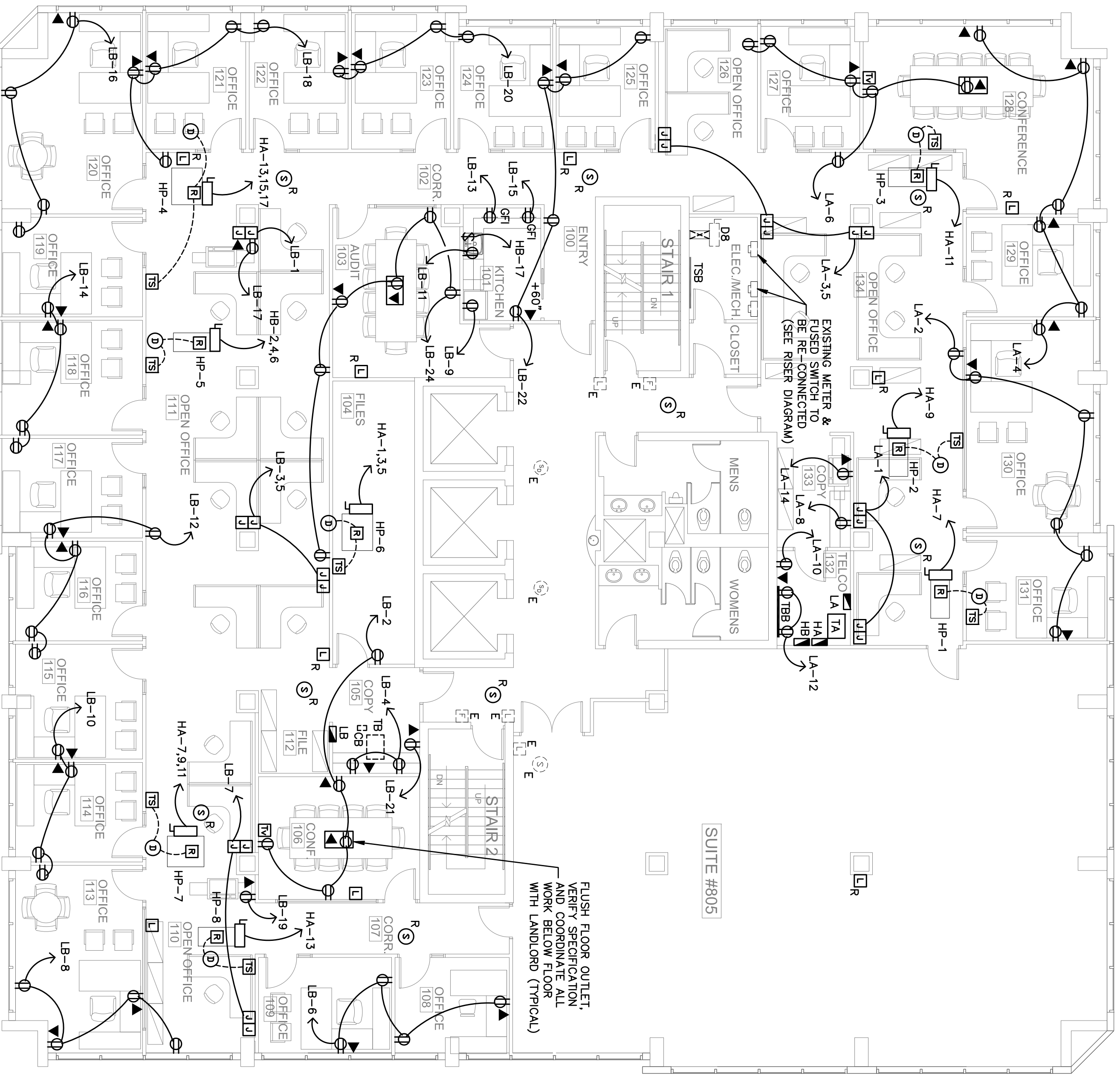
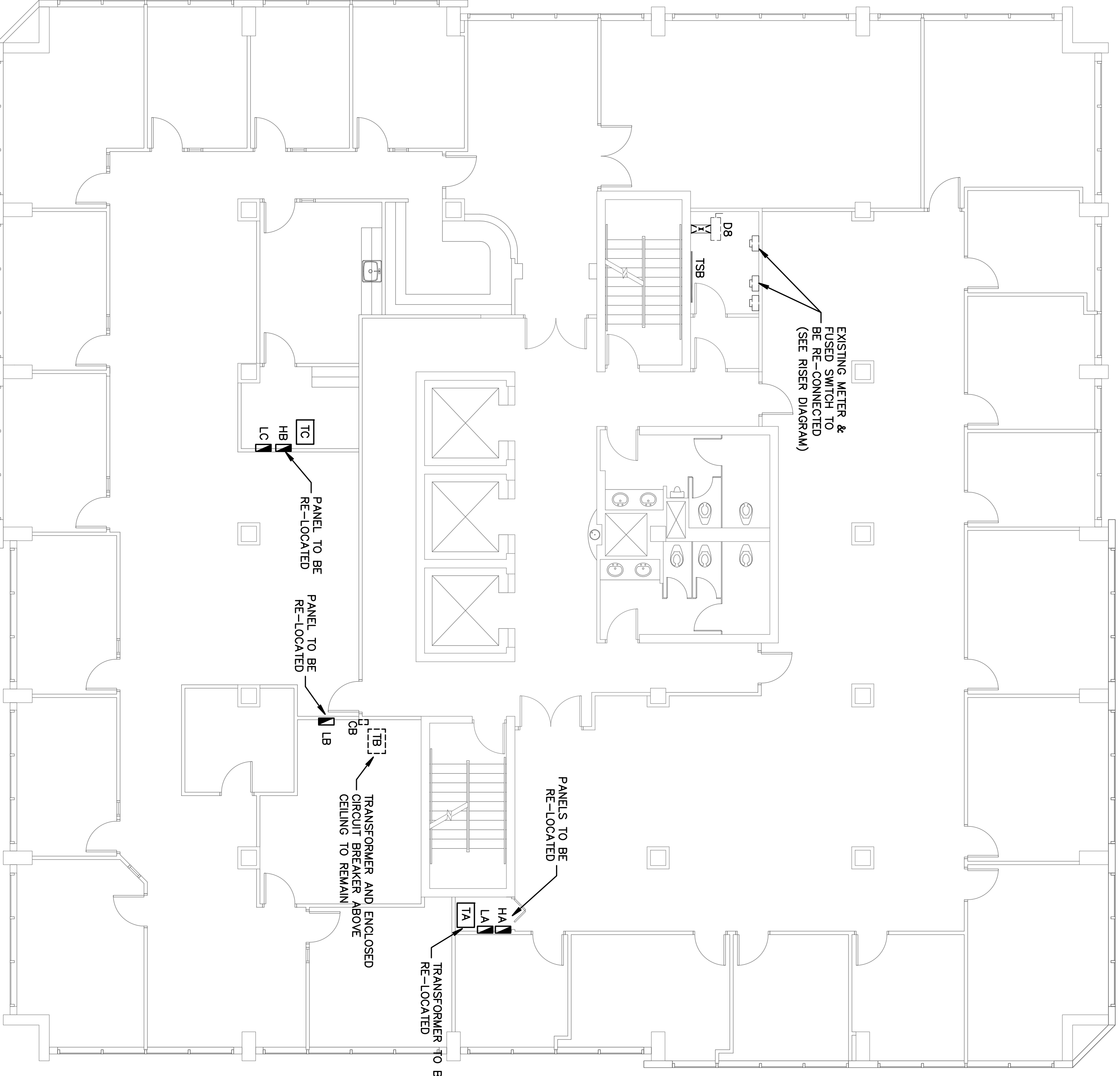
- LIGHTING FIXTURE IDENTIFICATION**
- ◻ RECTANGULAR LIGHTING FIXTURE - AS NOTED
 - ◻ RECTANGULAR LIGHTING FIXTURE - EXISTING AS NOTED
 - ROUND LIGHTING FIXTURE
 - ⊕ EXIT LIGHT WITH EMERGENCY BATTERY BACKUP
 - ⊕ EMERGENCY LIGHTING FIXTURE WITH BATTERY BACKUP
 - ⊕ RECTANGULAR LIGHTING FIXTURE ON EMERGENCY POWER CIRCUIT.
 - ⊕ ROUND LIGHTING FIXTURE ON EMERGENCY POWER CIRCUIT.
 - ⊕ DUPLEX RECEPT - 20 AMP (18" A.F.F.)
 - ⊕ SINGLE RECEPT - 20 AMP (18" A.F.F.)
 - ⊕ DUPLEX RECEPT MOUNTED ABOVE COUNTER - 20 AMP (42" A.F.F.)
 - ⊕ DUPLEX RECEPT FLUSH FLOOR MOUNTED - 20 AMP
 - ⊕ SPECIAL PURPOSE RECEPT (18" A.F.F. - MATCH EQUIPMENT PROVIDED)
 - ⊕ QUAD-PLEX RECEPT - 20 AMP (18" A.F.F.)
 - ⊕ SINGLE POLE TOGGLE SWITCH, 48" AFF
 - ⊕ 3-WAY TOGGLE SWITCH, 48" AFF
 - ⊕ SLIDE TYPE DIMMER SWITCH, VATTAGE AS REQUIRED, 48" AFF
- JUNCTION BOXES**
- ⊕ FUSIBLE DISCONNECT (SWITCH POLES, AMPS/FUSES AS SHOWN)
 - ⊕ MOTOR RATED SWITCH (WITH OVERLOADS)
 - ⊕ ELECTRICAL PANEL/BOARD
 - ⊕ MOTOR LOAD
 - ⊕ CIRCUIT HOME RUN TO PANELBOARD OR AS INDICATED
 - ⊕ CONCEALED CONCEALED
 - ⊕ CONCEALED CONCEALED
 - ⊕ TELEVISION OUTLET (18" A.F.F.)
 - ⊕ TELEPHONE/DATA OUTLET (18" A.F.F.)
 - ⊕ TEL/DATA OUTLET FLUSH FLOOR MOUNTED
 - ⊕ EXISTING DUPLEX RECEPTACLE OUTLET BOX TO REMAIN.
 - ⊕ EXISTING TELEPHONE/DATA OUTLET BOX TO REMAIN
 - ⊕ EXISTING DEVICE TO REMAIN, UNLESS NOTED OTHERWISE
 - ⊕ EXISTING DEVICE, RELOCATED AS SHOWN
 - ⊕ EXISTING DEVICE TO BE DEMOLISHED

FIRE ALARM LEGEND

- ⊕ MANUAL PULL STATION 48" AFF
 - ⊕ WALL MOUNT SPEAKER/STROBE 80" AFF TO BOTTOM
 - ⊕ ADA COMPLIANT STROBE LIGHT 80" AFF TO BOTTOM
 - ⊕ CEILING MOUNTED SPEAKER
 - ⊕ DUCT SMOKE DETECTOR W/O RELAY
 - ⊕ CONTROL MODULE OUTPUT RELAY
 - ⊕ REMOVE TEST & INDICATOR SWITCH FOR DUCT SMOKE DETECTOR
- AUDIBLE ALARMS SHALL HAVE A MINIMUM LEVEL OF 15 DBA IN EXCESS OF THE AMBIENT SOUND LEVEL OF THE ROOM, AND SHALL OTHERWISE BE IN ACCORDANCE WITH FBC 11-4.28.2.
- VISUAL ALARMS SHALL HAVE A MINIMUM LEVEL OF 75 CANDELA AND SHALL OTHERWISE BE IN ACCORDANCE WITH FBC 11-4.28.3.
- PROVIDE A RE-CERTIFICATION OF THE FIRE ALARM SYSTEM UPON COMPLETION OF WORK.

NEW FIRE ALARM DEVICES ARE TO BE COMPATIBLE WITH EXISTING SYSTEMS. PROVIDE ADDITIONAL WORKMAN STRIPS AS REQUIRED TO MEET AUDIBLE AND VISIBLE REQUIREMENTS OF NFPA 72, ADA, AND NFPA 101. VERIFY EXISTING POINT OF CONNECTION TO EXISTING SYSTEM.

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NEW AND EXISTING ELECTRICAL SYSTEMS, FIXTURES, DEVICES, AND OTHER EQUIPMENT RELATED REPAIR AS NEEDED, ARE IN GOOD WORKING ORDER.



EXISTING/PARTIAL ELECTRICAL FLOOR PLAN
 SCALE: 1/8" = 1'-0"

PROPOSED ELECTRICAL FLOOR PLAN
 SCALE: 1/8" = 1'-0"

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PROJ. 11-1038

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REVISIONS
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OXBOW #801
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birse design inc.

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B

EXISTING PANEL

PANEL LA

TYPE: CUTLER HAMMER CH				MAIN BUS: 100 AMP							
SERVICE: 120/208, 3Ø, 4W				NEUTRAL: FULL							
MOUNTING: FLUSH				MAINS: 100 AMP CB.							
P.O.L.S.: 30				A.I.C.: 10K							
DEK KVA	OTHER KVA	TRIP DUIT	CON- WIRE	REMARKS	CRT NO.	CRT NO.	REMARKS	WIRE DUIT	TRIP DUIT	OTHER KVA	DEK KVA
1.1	20-1	1/2	12	PARTITION REC. EAST	1	2	RECEPTACLES ROOM 130,131	12	1/2	20-1	1.1
1.1	20-1	1/2	12	PARTITION REC. WEST	3	4	RECEPTACLES ROOM 128,129,130	12	1/2	20-1	1.1
1.1	20-1	1/2	12	PARTITION REC. WEST	5	6	RECEPTACLES 126,127,128	12	1/2	20-1	1.1
2.0	20-1	1/2	12	SPARE	7	8	RECEPTACLES ROOM 133	12	1/2	20-1	0.4
2.0	20-1	1/2	12	SERVER	9	10	SERVER	12	1/2	20-1	0.4
2.0	20-1	1/2	12	TELEPHONE BOARD	11	12	TELEPHONE BOARD	12	1/2	20-1	0.4
2.0	20-1	1/2	12	ELEV. LOBBY LIGHTING	13	14	ELEV. LOBBY LIGHTING	12	1/2	20-1	1.0
2.0	20-1	1/2	12	SPARE	15	16	SPARE	12	1/2	20-1	0.3
2.0	20-1	1/2	12	SPARE	17	18	SPARE	12	1/2	20-1	0.3
2.0	20-1	1/2	12	SPARE	19	20	SPARE	12	1/2	20-1	0.3
2.0	20-1	1/2	12	SPARE	21	22	SPARE	12	1/2	20-1	0.3
2.0	20-1	1/2	12	SPARE	23	24	SPARE	12	1/2	20-1	0.3
2.0	20-1	1/2	12	SPARE	25	26	SPARE	12	1/2	20-1	0.3
2.0	20-1	1/2	12	SPARE	27	28	BACKFEED MAIN	12	1/2	20-1	0.3
2.0	20-1	1/2	12	SPARE	29	30	SPARE	12	1/2	20-1	0.3
TOTAL DEMAND LOAD: 9.1 KVA = 28 AMPS											

EXISTING PANEL

PANEL LB

TYPE: SQUARE D QD				MAIN BUS: 125 AMP							
SERVICE: 120/208, 3Ø, 4W				NEUTRAL: FULL							
MOUNTING: FLUSH				MAINS: LUGS ONLY							
P.O.L.S.: 30				A.I.C.: 10K							
DEK KVA	OTHER KVA	TRIP DUIT	CON- WIRE	REMARKS	CRT NO.	CRT NO.	REMARKS	WIRE DUIT	TRIP DUIT	OTHER KVA	DEK KVA
1.1	20-1	1/2	12	PARTITION REC. WEST	1	2	RECEPTACLES ROOM 104,106	12	1/2	20-1	0.9
1.1	20-1	1/2	12	PARTITION REC. CENTER	3	4	RECEPTACLES 105	12	1/2	20-1	0.4
1.1	20-1	1/2	12	PARTITION REC. CENTER	5	6	RECEPTACLES 108, 109	12	1/2	20-1	0.7
1.1	20-1	1/2	12	PARTITION REC. EAST	7	8	RECEPTACLES 110, 113	12	1/2	20-1	0.7
0.8	20-1	1/2	12	REFRIGERATOR	9	10	REFRIGERATOR	12	1/2	20-1	0.7
1.3	20-1	1/2	12	DISHWASHER	11	12	RECEPTACLES 113,114,115	12	1/2	20-1	0.7
1.5	20-1	1/2	12	APPLIANCE CIRCUIT	13	14	RECEPTACLES 117,118,119	12	1/2	20-1	0.7
1.5	20-1	1/2	12	APPLIANCE CIRCUIT	15	16	RECEPTACLES 119, 120	12	1/2	20-1	0.7
1.0	20-1	1/2	12	COPY MACHINE	17	18	RECEPTACLES 120,121,122	12	1/2	20-1	0.9
1.0	20-1	1/2	12	COPY MACHINE	19	20	RECEPTACLES 122,123,124	12	1/2	20-1	0.9
1.0	20-1	1/2	12	COPY MACHINE	21	22	RECEPTACLES 124,125,101	12	1/2	20-1	0.9
2.0	20-1	1/2	12	SPARE	23	24	RECEPTACLES 103, 111	12	1/2	20-1	1.1
2.0	20-1	1/2	12	SPARE	25	26	SPARE				
2.0	20-1	1/2	12	SPARE	27	28	SPARE				
2.0	20-1	1/2	12	SPARE	29	30	SPARE				
TOTAL DEMAND LOAD: 21.8 KVA = 61 AMPS											

EXISTING PANEL

PANEL HA

TYPE: CUTLER HAMMER CH				MAIN BUS: 225 AMP							
SERVICE: 277/480V, 3Ø, 4W				NEUTRAL: FULL							
MOUNTING: SURFACE				MAINS: LUGS ONLY							
P.O.L.S.: 18				A.I.C.: 14K							
DEK KVA	OTHER KVA	TRIP DUIT	CON- WIRE	REMARKS	CRT NO.	CRT NO.	REMARKS	WIRE DUIT	TRIP DUIT	OTHER KVA	DEK KVA
7.4	15-3	1/2	12	HEAT PUMP #6	1	2		30-3			
7.4	15-3	1/2	12	HEAT PUMP #6	3	4	SPARE				
7.4	15-3	1/2	12	HEAT PUMP #6	5	6					
7.4	15-3	1/2	12	HEAT PUMP #6	7	8	LIGHTING NORTH	12	1/2	20-1	2.2
7.4	15-3	1/2	12	HEAT PUMP #7	9	10	LIGHTING WEST/SOUTH	12	1/2	20-1	2.1
9.6	20-3	1/2	12	HEAT PUMP #4	11	12	LIGHTING CENTER/SOUTH	12	1/2	20-1	2.3
9.6	20-3	1/2	12	HEAT PUMP #4	13	14					
9.6	20-3	1/2	12	HEAT PUMP #4	15	16	TRANSFORMER/PANEL LA			40-3	9.1
9.6	20-3	1/2	12	HEAT PUMP #4	17	18					
TOTAL DEMAND LOAD: 41.8 KVA = 50 AMPS											

EXISTING PANEL

PANEL HB

TYPE: SQUARE D NEHB				MAIN BUS: 125 AMP							
SERVICE: 277/480V, 3Ø, 4W				NEUTRAL: FULL							
MOUNTING: SURFACE				MAINS: LUGS ONLY							
P.O.L.S.: 18				A.I.C.: 14K							
DEK KVA	OTHER KVA	TRIP DUIT	CON- WIRE	REMARKS	CRT NO.	CRT NO.	REMARKS	WIRE DUIT	TRIP DUIT	OTHER KVA	DEK KVA
2.3	15-1	1/2	12	HEAT PUMP #1	1	2		15-3			4.9
2.3	15-1	1/2	12	HEAT PUMP #2	3	4	HEAT PUMP #5	12	1/2	15-3	4.9
2.8	20-1	1/2	12	HEAT PUMP #3	5	6					
2.3	15-1	1/2	12	HEAT PUMP #3	7	8					
2.0	20-3			SPARE	9	10	SPARE			20-3	
2.0	20-3			SPARE	11	12					
2.0	20-3			SPARE	13	14					
2.0	20-1			SPARE	15	16	TRANSFORMER/PANEL LB			45-3	21.8
2.0	20-1	1/2	10	INSTA-HOT WATER HTR.	17	18					26.7
TOTAL DEMAND LOAD: 44.4 KVA = 53 AMPS											

- #### PANEL SCHEDULES KEYNOTES
- EXISTING CIRCUIT BREAKER TO REMAIN.
 - RE-LOCATE EXISTING BREAKER FROM MATCHING SPARE TO PANEL.
 - PROVIDE NEW CIRCUIT BREAKER, MATCH EXISTING BREAKERS.
 - LOAD SHOWN AT 125% OF CONNECTED LOAD. PROVIDE CONTACTOR AND INTERLOCK WITH EXISTING LOBBY AREA LIGHTING CONTROLS.

