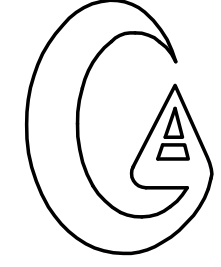


birse design inc + architecture + interior design + planning

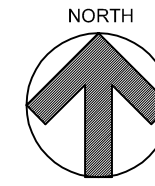
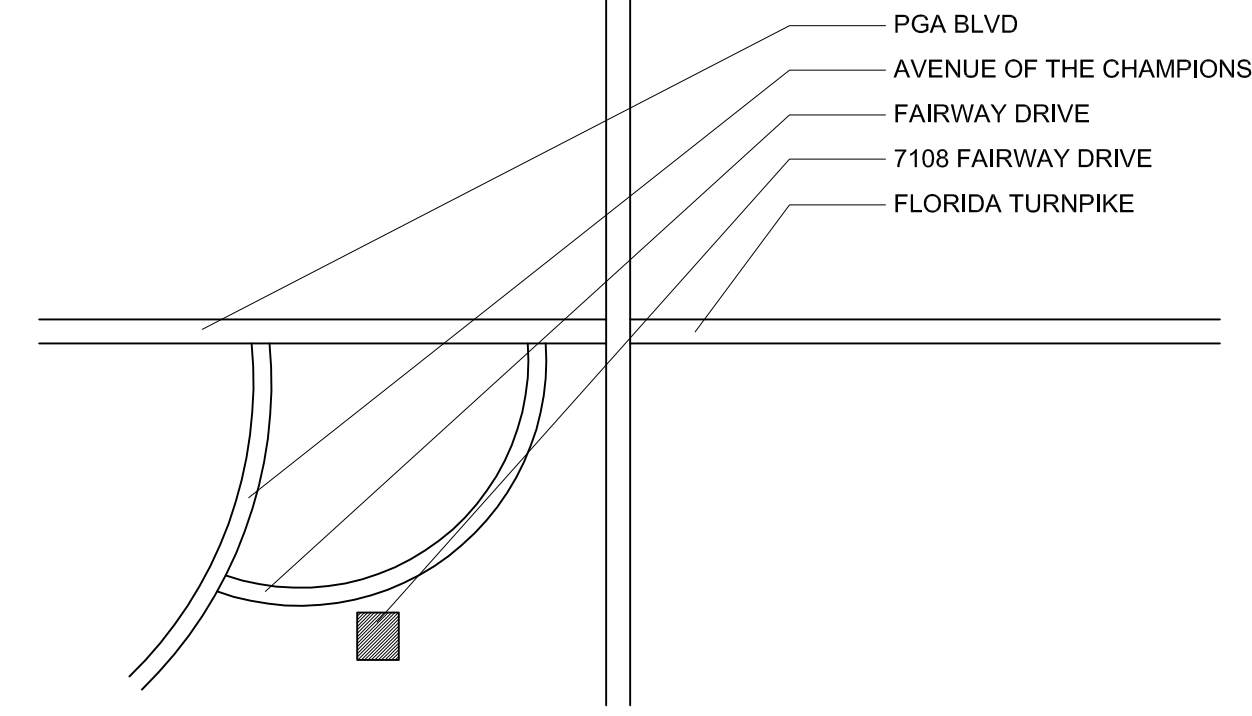
5300 woodland lakes drive
palm beach gardens, fl 33418
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fax 772-409-8684
AA26001615

MECHANICAL ENGINEER / ELECTRICAL / PLUMBING



Gilman & Associates
MECHANICAL & ELECTRICAL ENGINEERS

129 N. FEDERAL HWY.
SUITE 211
LAKE WORTH, FL 33460
(561) 582-0210
P.E. 37933



1 LOCATION MAP
NOT TO SCALE

INDEX OF SHEETS:

T	TITLE SHEET
ARCHITECTURAL SHEETS	
A-1	EXISTING PLANS
A-2	PROPOSED PLANS
A-3	LIFE SAFETY/FINISHES
A-4	DETAILS/ELEVATIONS
MECHANICAL/ELECTRICAL/PLUMBING SHEETS	
M-1	MECHANICAL PIPING PLANS
M-2	MECHANICAL DUCT PLANS
M-3	MECHANICAL NOTES
P-1	PLUMBING
E-1	PROPOSED ELECTRICAL
E-2	PROPOSED LIGHTING
E-3	ELECTRICAL RISER

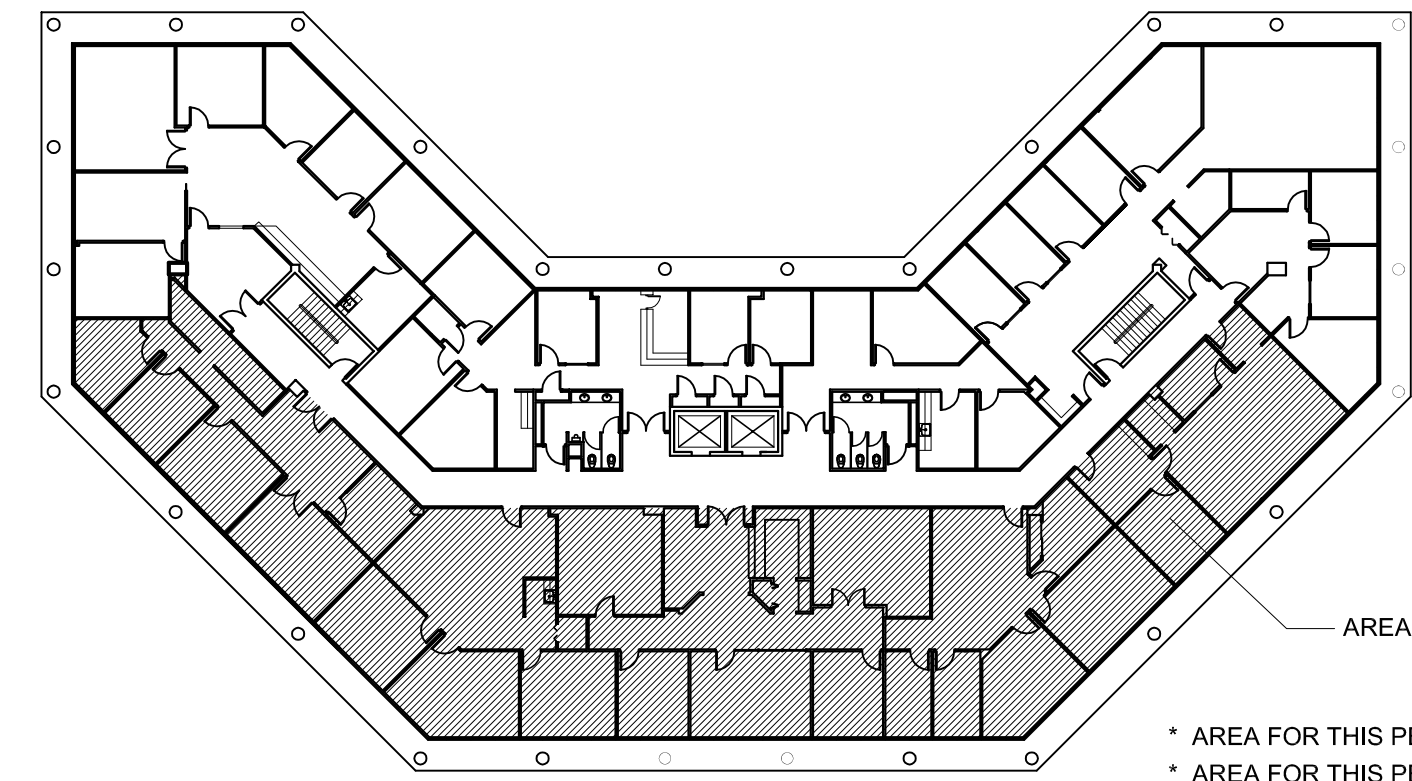
REFERENCE STANDARDS:

- THIS PROJECT IS DESIGNED IN ACCORDANCE WITH THE FOLLOWING CODES:
1. THE FLORIDA BUILDING CODE (FBC), 2007 EDITION WITH 2009 SUPPLEMENTS (BUILDING, MECHANICAL, PLUMBING, FUEL GAS, EXISTING BUILDING).
 2. NATIONAL ELECTRIC CODE (NEC), 2008 EDITION.
 3. FLORIDA FIRE PREVENTION CODE, 2007 EDITION.
 4. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 101, LIFE SAFETY CODE, 2006 EDITION.
 5. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 1, UNIFORM FIRE CODE, 2006 EDITION.

GENERAL NOTES:

1. THE CONTRACTOR SHALL AS A PART OF THIS CONTRACT FURNISH ALL MATERIALS, LABOR, TOOLS, EQUIPMENT, TRANSPORTATION, AND INSURANCE NECESSARY TO PROPERLY EXECUTE AND COMPLETE THE WORK ACCORDING TO THE PLANS AND SPECIFICATIONS.
2. THE CONTRACTOR IN THE WORK OF ALL TRADES SHALL PROTECT ALL EXISTING BUILDING AND PROPERTY FROM DAMAGE CAUSED BY THE ACTIVITIES OF THE CONTRACTOR AND SUBCONTRACTORS. THE CONTRACTOR SHALL REPAIR AND RESTORE THE JOB SITE AND SURROUNDING AREAS TO ITS ORIGINAL CONDITION. OWNER TO VERIFY SATISFACTION.
3. THE CONTRACTOR SHALL VISIT THE JOB SITE TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BID. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS BEFORE PROCEEDING WITH ANY WORK.
4. THE CONTRACTOR SHALL MAKE NO CHANGES TO THE CONSTRUCTION DRAWINGS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.
5. ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST CODES AND ORDINANCES.
6. THESE CONSTRUCTION DOCUMENTS ARE DIAGRAMATIC AND ARE TO CONVEY DESIGN INTENT. IT IS NOT THE INTENT OF THESE CONSTRUCTION DRAWINGS TO SHOW ALL DETAILS OF THE EXISTING CONDITIONS. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
7. EACH CONTRACTOR SHALL ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR MECHANICAL, ELECTRICAL, AND PLUMBING WITH THE APPROPRIATE TRADES.
8. ALL INDICATED UTILITY AND STUB-IN LOCATIONS ARE FOR REFERENCE ONLY. THE EXACT LOCATIONS SHALL BE VERIFIED ON THE JOB SITE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ENGINEERING AND THE ARCHITECTURAL DRAWINGS FOR THE ACTUAL PLACEMENT OF THE WORK RELATIVE TO FIELD CONDITIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OBTAINING INSTALLATION REQUIREMENTS FOR ALL BUILT-IN APPLIANCES, FIXTURES, AND EQUIPMENT. VERIFY EXACT ROUGH-IN DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO ROUGH-IN FRAME.
11. THE COST OF ADDITIONAL DESIGN WORK DUE TO ERRORS OR OMISSIONS IN CONSTRUCTION SHALL BE BORNE BY THE RESPECTIVE CONTRACTOR.
12. DETAILS ON THE STRUCTURAL DRAWINGS (IF PROVIDED) ARE TYPICAL. VERIFY ALL DIMENSIONS WITH THE STRUCTURAL DRAWINGS.
13. BIRSE DESIGN, INC. SHALL IN NO WAY BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNOLOGIES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. (THESE ARE SOLELY THE CONTRACTORS RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION).
14. EACH CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BRACING, SHORING, GUYING, OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS ASSOCIATED WITH WORK IN PLACE DURING CONSTRUCTION.
15. PROVIDE PORTABLE FIRE EXTINGUISHERS DURING CONSTRUCTION AS REQUIRED BY LOCAL CODES.
16. SPRINKLER SYSTEM: INSTALL FULL BUILDING SPRINKLER SYSTEM IN COMPLIANCE WITH THE REQUIREMENTS OF NFPA 13. SHOP DRAWINGS MUST BE APPROVED BEFORE INSTALLATIONS. PROVIDE OWNER WITH 2 COPIES OF PERMIT SETS.
17. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR MEETING THE REQUIREMENTS OF ALL CURRENT APPLICABLE BUILDING CODES AND ENFORCEMENT AGENCIES, FIRE MARSHALL, OR ANY OTHER BUILDING CODE ENFORCEMENT OFFICER AT NO EXTRA COST TO THE OWNER. NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO SUBMITTING A BID FOR THE PROJECT.
18. BASE BID SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

- A. ALL PERMITS AND FEES FOR ALL
 1. BUILDING AND TRADE PERMITS.
 2. ALL ACCESSORY AND SITE IMPROVEMENT PERMITS.
- B. ALL FILL REQUIRED TO MEET MINIMUM FINISHED FLOOR SLAB ELEVATION AND COMPACTION.
- C. WATER METER HOOK-UP AND METER DEPOSITS. - OWNER RESPONSIBILITY
- D. HOOK-UP AND FEES FOR UNDERGROUND SERVICE FROM FPL LOCAL PHONE & CABLE T.V. - OWNER RESPONSIBILITY
- E. SOIL, CONCRETE AND ANY OTHER NECESSARY TESTING.
- F. ENGINEERING STAKE OUTS AND SURVEYS INCLUDING FINAL TIE - IN SURVEY.
- G. CLEARING, GRUB, AND SITE PREPARATION, INCLUDING GRADING.
- H. ALL BIDDERS AND THEIR SUBCONTRACTORS SHALL BE CURRENTLY LICENSED IN THE STATE OF FLORIDA.
- I. THE OWNER RESERVES THE RIGHT TO REJECT ANY BIDS.
- J. THE G.C. SHALL PROVIDE AN ESTIMATE OF TIME FOR COMPLETION.
- K. THE GENERAL CONTRACTOR SHALL PROVIDE PROOF OF INSURANCE FOR WORKMANS' COMPENSATION AND ANY OTHER INSURANCES REQUIRED BY THE OWNER FOR ALL EMPLOYEES EITHER DIRECTLY EMPLOYED BY THE GENERAL CONTRACTOR OR BY HIS SUBCONTRACTORS.
- L. THE CONTRACTOR SHALL CLEARLY LIST ANY WORK NOT INCLUDED IN HIS BID.
- M. PROVIDE FIRE DEPARTMENT KNOX BOX ADJACENT TO FRONT DOOR OF BLDG.
- N. CONTRACTOR TO PROVIDE AS BUILT DRAWINGS. PROVIDE TWO COPIES OF PERMIT SET TO OWNER



2 KEY MAP (2ND FLOOR)
NOT TO SCALE

* AREA FOR THIS PERMIT IS HATCHED
* AREA FOR THIS PERMIT = 7,020 SF

PROJECT DATA:

- * PROJECT ADDRESS: FAIRWAY OFFICE CENTER
7108 FAIRWAY DRIVE (2ND FLOOR)
PALM BEACH GARDENS, FL 33418
- * EXISTING BUILDING IS TYPE II "B"
- * EXISTING BUILDING IS A 3 STORY BUILDING
- * EXISTING BUILDING CLASSIFICATION IS GROUP "B"
- * LEVEL 2 ALTERATION PER "EXISTING BUILDING CODE 2007"
- * 2ND FLOOR IS A MULTI TENANT FLOOR
- * SUITES #200, #205, #215, #290 AND A PORTION OF #285 WILL COMBINE TO CREATE ONE TENANT SPACE (NEW TENANT SPACE TO BE DESIGNATED SUITE #200)
- * SUITE #200 = 1,987 SF
- * SUITE #205 = 1,317 SF
- * SUITE #215 = 1,419 SF
- * SUITE #290 = 1,300 SF
- * SUITE #285 = 1,007 SF
- * PROPOSED SUITE #200 = 6,512 SF
- * TOTAL NEW SUITE = 6,512 SF/100 = 65 OCCUPANTS
- * PROPOSED SUITE #285 = 505 SF
- * TOTAL NEW SUITE = 505 SF/100 = 6 OCCUPANTS

PROJECT NOTES:

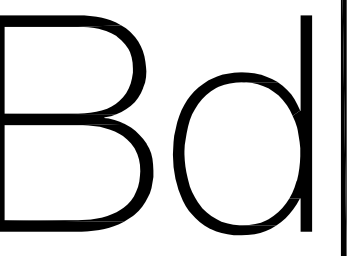
Blank lines for project notes.

SYMBOL INDEX:

- | | | |
|------------|--------------------------------|-------------|
| ADMIN. 108 | ROOM NAME | ROOM NUMBER |
| (A) | DOOR MARK/NUMBER | |
| (1) | WINDOW MARK/NUMBER | |
| (1/UA2) | WALL SECTION/SHEET NUMBER | |
| (4/UA2) | BUILDING SECTION/SHEET NUMBER | |
| (1/UA2) | ELEVATION TARGET/SHEET NUMBER | |
| (1/UA2) | DETAIL NUMBER/SHEET NUMBER | |
| (8'-6") | CEILING HEIGHT | |
| (F.E.) | FIRE EXTINGUISHER | |
| (2x4) | 2x4' FLUORESCENT LIGHT FIXTURE | |
| (W) | WALL MOUNTED LIGHT FIXTURE | |
| (R) | RECESSED LIGHT DOWN FIXTURE | |

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ALLEN S BIRSE
AR94279

GRESHAM

FAIRWAY OFFICE CENTER
7108 FAIRWAY DRIVE #200
PALM BEACH GARDENS, FL 33418
PROJECT NUMBER 710825

REVISIONS

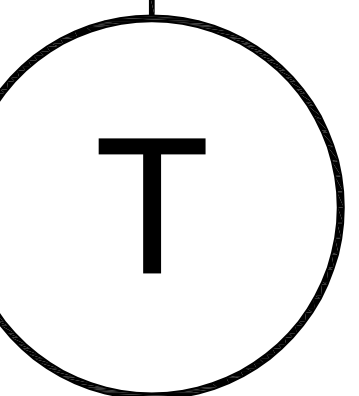
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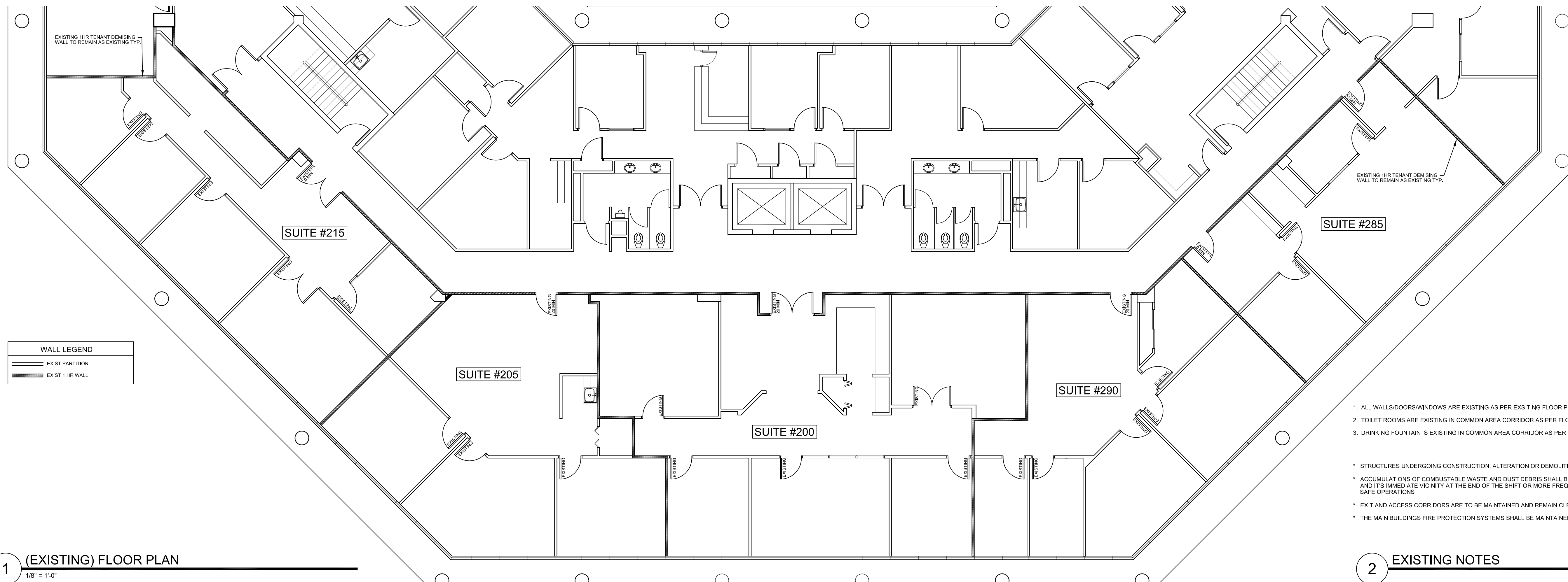
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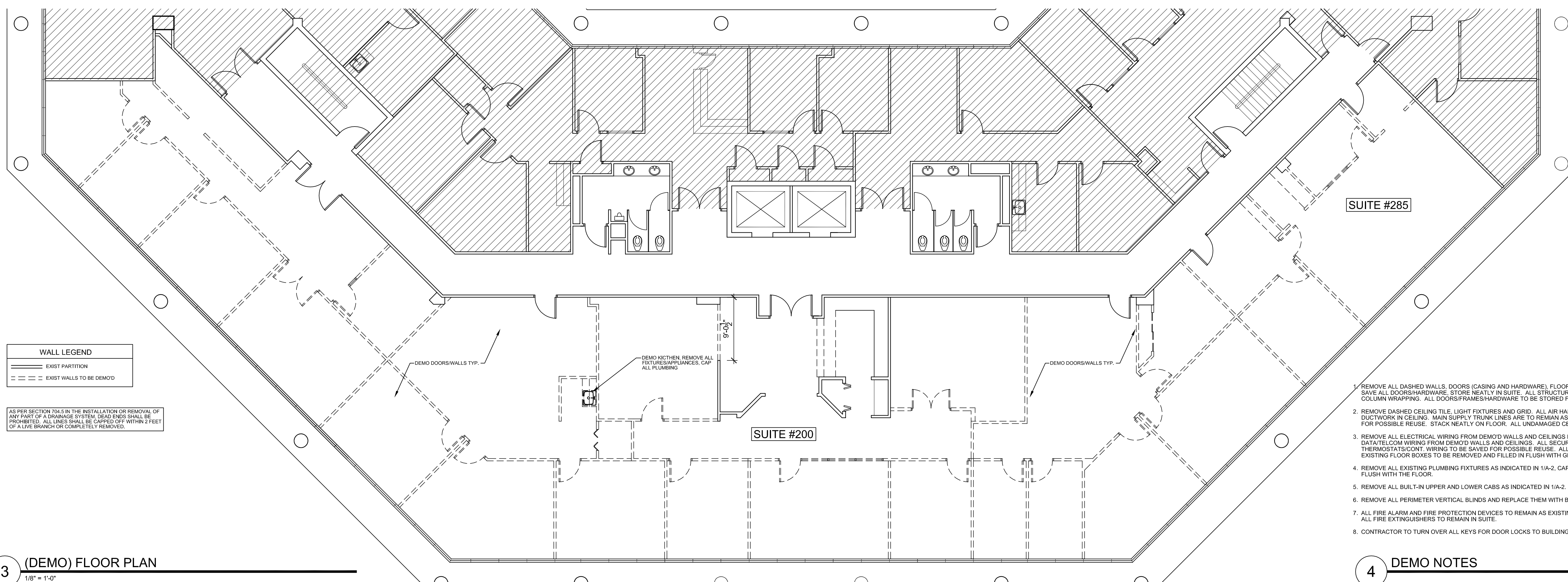
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1 (EXISTING) FLOOR PLAN
1/8" = 1'-0"

2 EXISTING NOTES



3 (DEMO) FLOOR PLAN
1/8" = 1'-0"

4 DEMO NOTES

REVISIONS

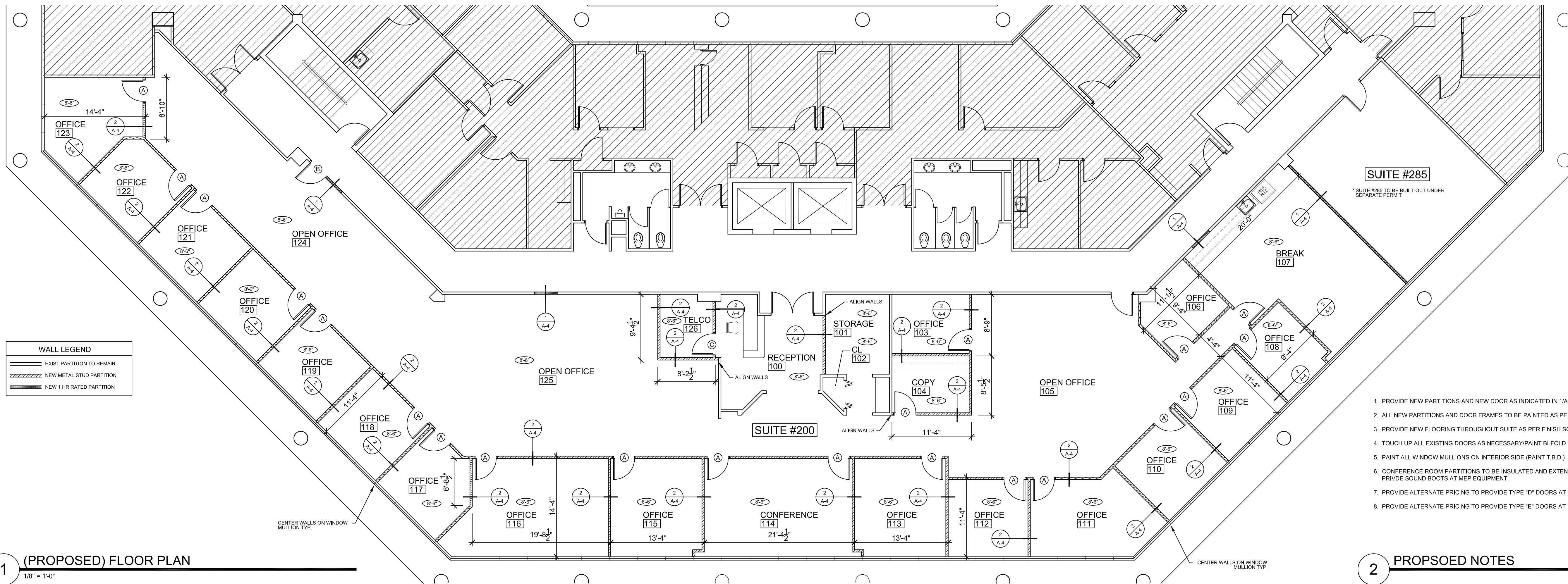
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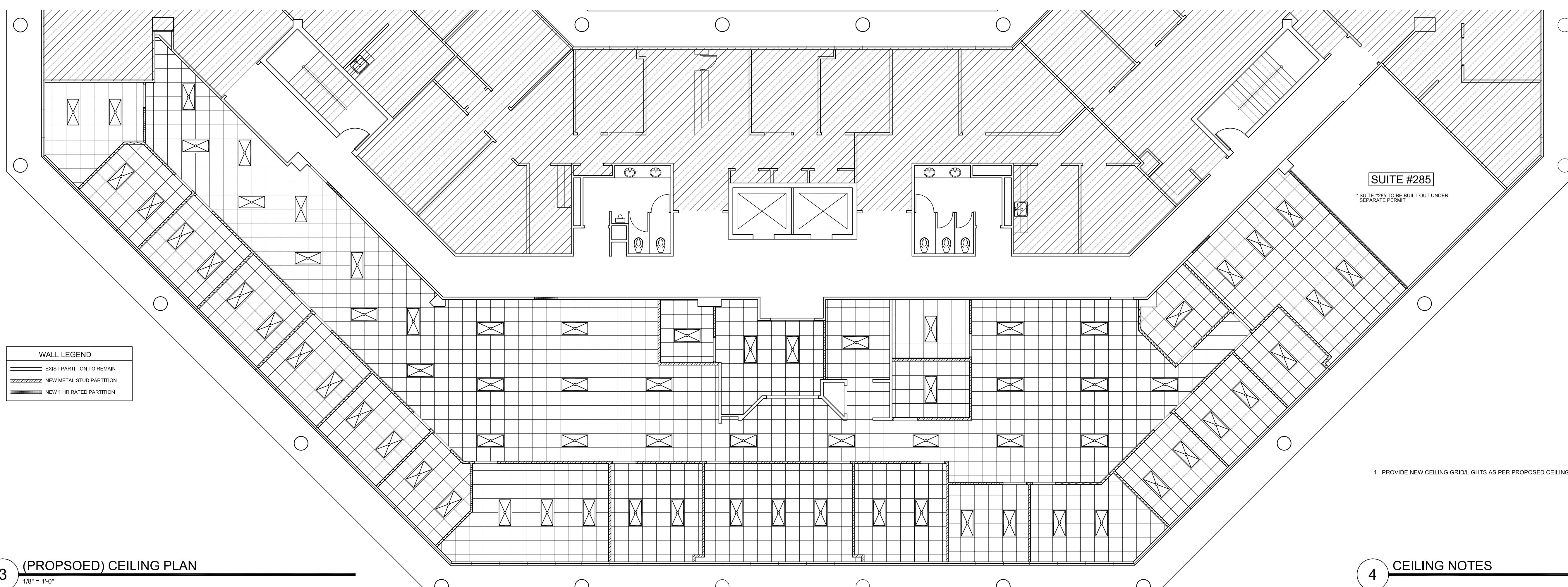
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1 (PROPOSED) FLOOR PLAN
1/8" = 1'-0"

2 PROPOSED NOTES

1. PROVIDE NEW PARTITIONS AND NEW DOOR AS INDICATED IN 1/A-2
2. ALL NEW PARTITIONS AND DOOR FRAMES TO BE PAINTED AS PER FINISH SCHEDULE
3. PROVIDE NEW FLOORING THROUGHOUT SUITE AS PER FINISH SCHEDULE
4. TOUCH UP ALL EXISTING DOORS AS NECESSARY/PAINT BI-FOLD DOORS
5. PAINT ALL WINDOW MULLIONS ON INTERIOR SIDE (PAINT T.B.D.)
6. CONFERENCE ROOM PARTITIONS TO BE INSULATED AND EXTEND UP TO STRUCTURAL DECK PROVIDE SOUND BOOTHS AT MEP EQUIPMENT
7. PROVIDE ALTERNATE PRICING TO PROVIDE TYPE 'D' DOORS AT CONFERENCE #114
8. PROVIDE ALTERNATE PRICING TO PROVIDE TYPE 'E' DOORS AT MAIN ENTRY



3 (PROPOSED) CEILING PLAN
1/8" = 1'-0"

4 CEILING NOTES

1. PROVIDE NEW CEILING GRID/LIGHTS AS PER PROPOSED CEILING PLAN 3/A-2

Bd

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ARB4279

GRESHAM

FAIRWAY OFFICE CENTER
7111 FAIRWAY DRIVE #200
PALM BEACH GARDENS, FL 33418
PROJECT NUMBER 710825

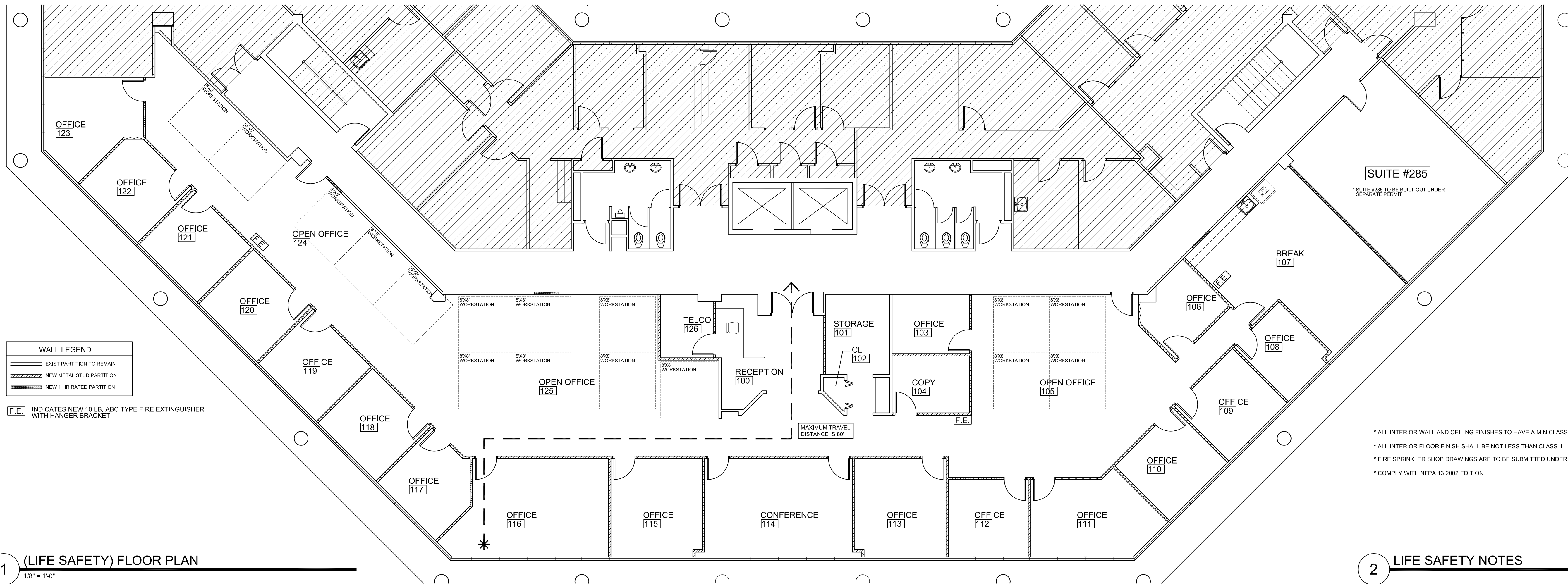
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A-2



2 LIFE SAFETY NOTES

- * ALL INTERIOR WALL AND CEILING FINISHES TO HAVE A MIN CLASS "C" FLAME SPREAD CLASSIFICATION
- * ALL INTERIOR FLOOR FINISH SHALL BE NOT LESS THAN CLASS II
- * FIRE SPRINKLER SHOP DRAWINGS ARE TO BE SUBMITTED UNDER A SEPARATE FIRE SPRINKLER PERMIT
- * COMPLY WITH NFPA 13 2002 EDITION

MK	ROOM NAME	FLOOR		BASE		WALLS		CEILING		REMARKS
		MAT	HT	MAT	HT	MAT	FIN	MAT	HT	
100	RECEPTION	WD	4"	WD	4"	GWB	PT	ACT1	8'-6"	
101	STORAGE	VCT	VL	4"	GWB	PT	ACT1	8'-6"		
102	CLOSET	VCT	VL	4"	GWB	PT	ACT1	8'-6"		
103	OFFICE	CPT1	VL	4"	GWB	PT	ACT1	8'-6"		
104	OFFICE	CPT1	VL	4"	GWB	PT	ACT1	8'-6"		
105	OPEN OFFICE	CPT1	VL	4"	GWB	PT	ACT1	8'-6"		
106	OFFICE	CPT1	VL	4"	GWB	PT	ACT1	8'-6"		
107	BREAK	VCT	VL	4"	GWB	PT	ACT1	8'-6"		
108	OFFICE	CPT1	VL	4"	GWB	PT	ACT1	8'-6"		
109	OFFICE	CPT1	VL	4"	GWB	PT	ACT1	8'-6"		
110	OFFICE	CPT1	VL	4"	GWB	PT	ACT1	8'-6"		
111	OFFICE	CPT1	VL	4"	GWB	PT	ACT1	8'-6"		
112	OFFICE	CPT1	VL	4"	GWB	PT	ACT1	8'-6"		
113	OFFICE	CPT1	VL	4"	GWB	PT	ACT1	8'-6"		
114	CONFERENCE	WD	4"	WD	4"	GWB	PT	ACT1	8'-6"	
115	OFFICE	CPT1	VL	4"	GWB	PT	ACT1	8'-6"		
116	OFFICE	CPT1	VL	4"	GWB	PT	ACT1	8'-6"		
117	OFFICE	CPT1	VL	4"	GWB	PT	ACT1	8'-6"		
118	OFFICE	CPT1	VL	4"	GWB	PT	ACT1	8'-6"		
119	OFFICE	CPT1	VL	4"	GWB	PT	ACT1	8'-6"		
120	OFFICE	CPT1	VL	4"	GWB	PT	ACT1	8'-6"		
121	OFFICE	CPT1	VL	4"	GWB	PT	ACT1	8'-6"		
122	OFFICE	CPT1	VL	4"	GWB	PT	ACT1	8'-6"		
123	OFFICE	CPT1	VL	4"	GWB	PT	ACT1	8'-6"		
124	OPEN OFFICE	CPT1	VL	4"	GWB	PT	ACT1	8'-6"		
125	OPEN OFFICE	CPT1	VL	4"	GWB	PT	ACT1	8'-6"		
126	TELCO	VCT	VL	4"	GWB	PT	ACT1	8'-6"		

* SAMPLES ARE REQUIRED TO BE APPROVED PRIOR TO ORDERING / TENANT TO VERIFY FINISH SCHEDULE

FINISH SELECTIONS:

CARPET TILE (CPT1)
MANUFACTURER: BIGELOW QUICK SHIP 3
COLLECTION: TAKE FLIGHT
COLOR: #7878 KANSAS CITY

VINYL BASE (VL)
MANUFACTURER: JOHNSONITE (4")
COLOR: #44 DARK BROWN B

VINYL COMPOSITION TILE (VCT)
MANUFACTURER: ARMSTRONG
COLLECTION: STANDARD EXCELON
COLOR: CAFE LATTE #67502

PAINT (PT)
MANUFACTURER: SHERWIN WILLIAMS
COLOR: SW #7013, IVORY LACE
SHEER: NO VOC FLAT ON WALLS, SATIN ON METAL

PLASTIC LAMINATE (VERTICAL SURFACES)
MANUFACTURER: FORMICA, P. LAMINATE
COLOR: #6209-43 PRESTIGE WALNUT

PLASTIC LAMINATE (HORIZONTAL SURFACES)
MANUFACTURER: FORMICA, P. LAMINATE
COLOR: (CHOICE #1) 7736-46 TUSCAN MARBLE ETCHING FINISH
COLOR: (CHOICE #2) 3456-48 MOTH-A TRAVERTINE ETCHING FINISH

WOOD STAIN
MANUFACTURER: MATCH FORMICA P. LAM.
COLOR: #6209 PRESTIGE WALNUT

WOOD FLOOR/BASE/CHAIR RAIL (WD)
PRODUCT T.B.D. (CONTRACTOR TO PROVIDE SAMPLES)

RECEPTION DESK
* RECEPTION DESK FRONT TO BE WOOD VENEER MATCH "FORMICA" #6209-43 PRESTIGE WALNUT
* TRANSPARENT TOP TO BE BLACK GRANITE SEALED AND POLISHED WITH ROUNDED EDGES
* ALL SURFACES ON BACK SIDE OF RECEPTION DESK TO BE FORMICA #6209-43, PRESTIGE WALNUT

3 FINISH SCHEDULE
1/8" = 1'-0"

TENANT ENTRIES

MAIN TENANT ENTRIES SHALL CONSIST OF 3'-0" x 8'-0" SOLID-CORE FLUSH OAK VENEER DOOR W/ 5" SOLID TOP RAIL. SECONDARY EXIT DOORS SHALL BE 3'-0" x 7'-0" W/ 5" SOLID TOP RAIL. HARDWARE SHALL CONSIST OF A HEAVY-DUTY COMMERCIAL LEVER HANDLE LOCKSET; TWO PAIR OF BUTT HINGES, SILENCERS, A CLOSER AND A FLOOR STOP AL IN BRUSHED STAINLESS STEEL FINISH.

DEMISING PARTITION

SHALL BE CONSTRUCTED OF 3-5/8" METAL STUDS @ 24" O.C. WITH ONE LAYER EACH SIDE OF 5/8" GYPSUM WALLBOARD, AND 4" ACOUSTICAL INSULATION BETWEEN. PARTITIONS SHALL EXTEND FROM THE FLOOR SLAB TO THE STRUCTURAL DECK ABOVE.

INTERIOR TENANT PARTITIONS

SHALL BE CONSTRUCTED OF 3-5/8" METAL STUDS @ 24" O.C. WITH ONE LAYER OF 5/8" GYPSUM WALLBOARD ON EACH SIDE. PARTITIONS SHALL EXTEND FROM THE FLOOR SLAB TO ABOVE THE FINISH CEILING PLANE, WITH BRACING TO THE STRUCTURAL DECK, AND SHALL HAVE 4" HIGH VINYL BASE ON EACH SIDE. EXTERIOR WALLS CONSIST OF 3 5/8" STUDS, 5/8" GYPSUM WALLBOARD AND R5.4 RIGID INSULATION.

INTERIOR TENANT DOORS

SHALL BE 3'-0" x 8'-0" SOLID-CORE FLUSH OAK VENEER. HARDWARE PACKAGE SHALL CONSIST OF COMMERCIAL GRADE "AL SERIES" CYLINDRICAL LEVER-SETS; TWO PAIR OF BUTT HINGES, SILENCERS, AND A FLOOR-STOP IN A BRUSHED STAINLESS FINISH.

SUSPENDED ACOUSTICAL CEILING

CEILING TILE- CORTEGA BEVEL REGULAR TILE # 2105 BY ARMSTRONG. 24" x 24" ACOUSTICAL PANELS WITH REVEAL EDGES AND A WHITE FACTORY FINISH. CEILING GRID- SHALL BE AN EXPOSED 9/16" WIDE "FINE-LINE" GRID IN A MATCHING WHITE FACTORY FINISH, STRUCTURE PERMITTING.

PAINTING

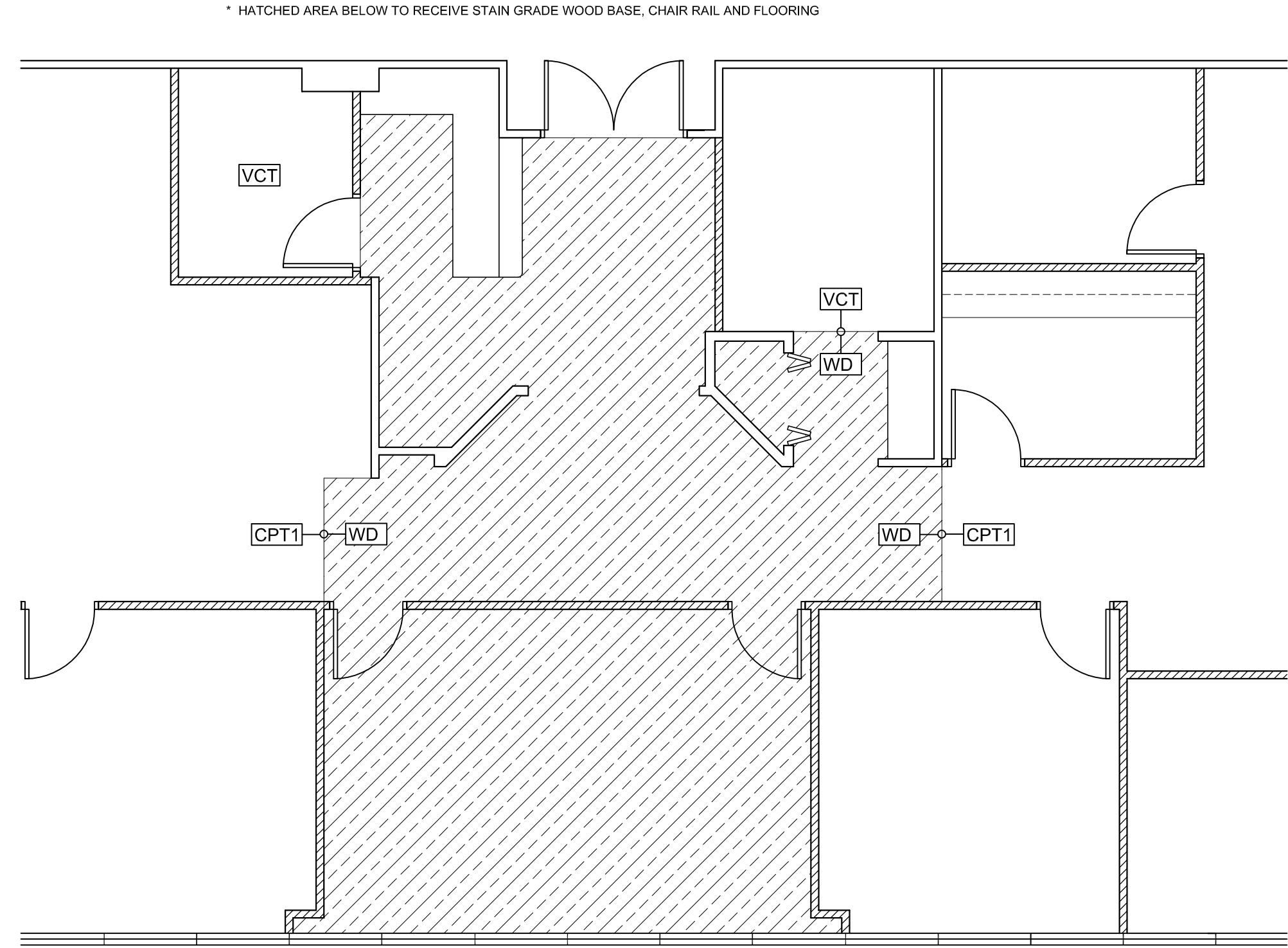
SHALL BE TWO COATS OF FLAT FINISH LATEX PAINT ON ALL GYPSUM WALLBOARD WALLS, SOFFITS AND SIMILAR SURFACES. DOOR FRAMES AND OTHER METAL SURFACES TO BE PAINTED SHALL RECEIVE TWO COATS OF SEMI-GLOSS FINISH OIL-BASE ENAMEL. WOOD DOORS SHALL RECEIVE A STAINED & SEALED FINISH. ALL PAINT AND STAIN COLORS, EXCEPT AT TENANT ENTRIES (WHICH SHALL CONFORM TO BUILDING STANDARDS), SHALL BE SELECTED BY THE TENANT FROM MANUFACTURERS STANDARD COLOR PALETTES.

CARPETING

SHALL BE 28-oz LOOP PILE SOLUTION DYED NYLON, INSTALLED BY DIRECT GLUE DOWN WITH 4" RUBBER COVE BASE AS STANDARDS. CARPET AND BASE SHALL BE SELECTED BY THE TENANT FROM THE STANDARD RANGE OF COLORS OFFERED BY THE OWNER.

WINDOW TREATMENT

SHALL BE 1" WIDE HORIZONTAL ALUMINUM BLINDS IN THE STANDARD BUILDING COLOR, WITH MATCHING HOUSING AND HARDWARE.



4 FLOOR COVERING PLAN
3/16" = 1'-0"

Bd

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GRESHAM

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7111 FAIRWAY DRIVE #200
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PROJECT NUMBER 710825

REVISIONS

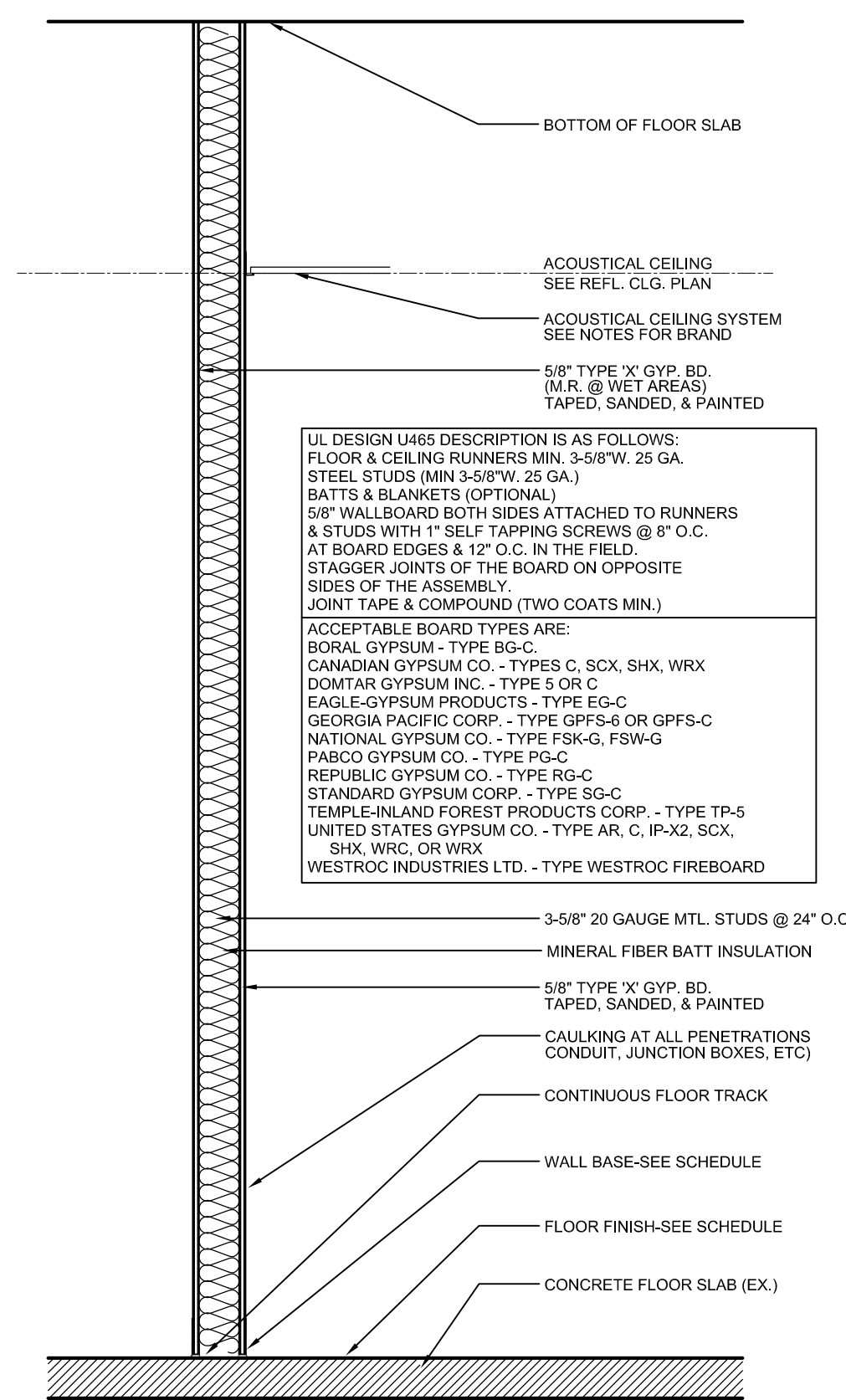
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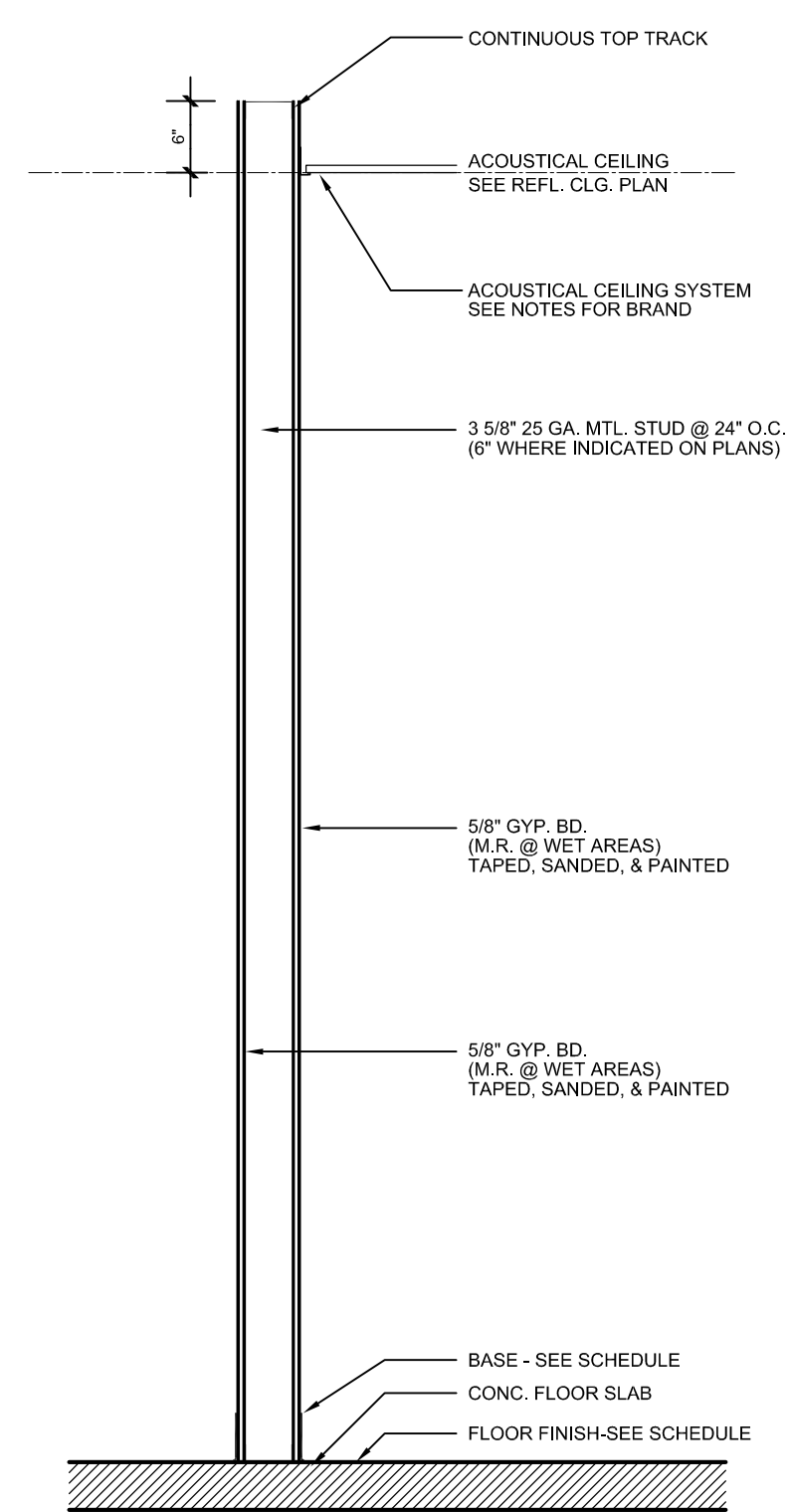
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A-3

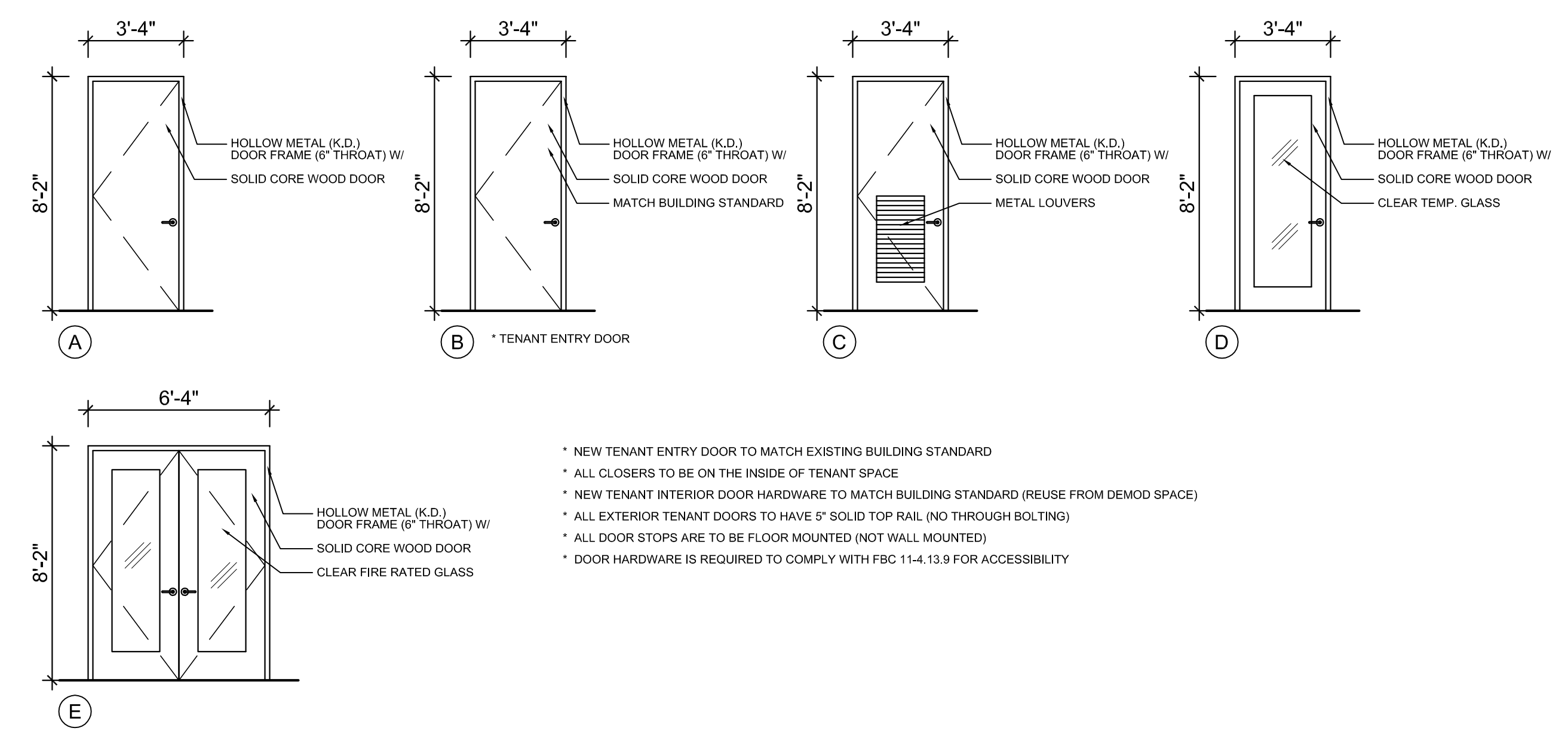


UL DESIGN U465 DESCRIPTION IS AS FOLLOWS:
 FLOOR & CEILING RUNNERS MIN. 3-5/8"W. 25 GA. STEEL STUDS MIN. 3-5/8"W. 25 GA.)
 BATT & BLANKETS (OPTIONAL)
 1/2" WALL BOARD BOTH SIDES ATTACHED TO RUNNERS & STUDS WITH 1" SELF TAPPING SCREWS @ 8" O.C. AT BOARD EDGES & 12" O.C. IN THE FIELD. STAGGER JOINTS OF THE BOARD ON OPPOSITE SIDES OF THE ASSEMBLY.
 JOINT TAPE & COMPOUND (TWO COATS MIN.)
 ACCEPTABLE BOARD TYPES ARE:
 BORAL GYPSUM - TYPE BG-C
 CANADIAN GYPSUM CO. - TYPES C, SCX, SHX, WRX
 DOMTAR GYPSUM INC. - TYPE S OR C
 EAGLE-GYPSUM PRODUCTS - TYPE EG-C
 GEORGIA PACIFIC CORP. - TYPE GFPS-6 OR GFPS-C
 NATIONAL GYPSUM CO. - TYPE FSK-G, FSW-G
 FASCO GYPSUM CO. - TYPE PG-C
 REPUBLIC GYPSUM CO. - TYPE RG-C
 STANDARD GYPSUM CORP. - TYPE SG-C
 TEMPLE-INLAND FOREST PRODUCTS CORP. - TYPE TP-6
 UNITED STATES GYPSUM CO. - TYPE AR, C, IP-X2, SCX, SHX, WRX, OR WRX
 WESTROC INDUSTRIES LTD. - TYPE WESTROC FIREBOARD

UL DESIGN U465 (1HR)



2 WALL TYPE (INT. PARTITION)
 3/4" = 1'-0"

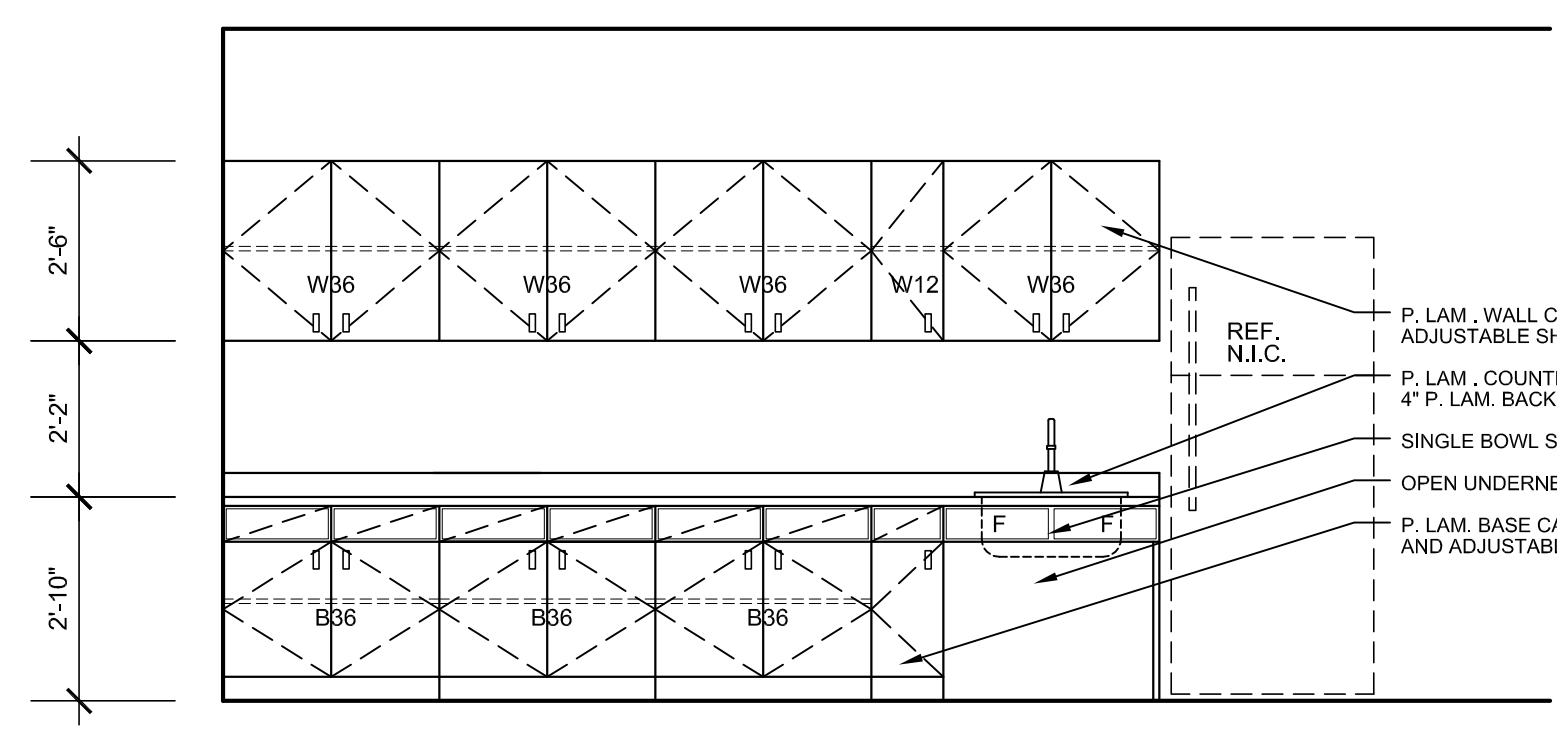


- * NEW TENANT ENTRY DOOR TO MATCH EXISTING BUILDING STANDARD
- * ALL CLOSERS TO BE ON THE INSIDE OF TENANT SPACE
- * NEW TENANT INTERIOR DOOR HARDWARE TO MATCH BUILDING STANDARD (REUSE FROM DEMO SPACE)
- * ALL EXTERIOR TENANT DOORS TO HAVE 5" SOLID TOP RAIL (NO THROUGH BOLTING)
- * ALL DOOR STOPS ARE TO BE FLOOR MOUNTED (NOT WALL MOUNTED)
- * DOOR HARDWARE IS REQUIRED TO COMPLY WITH FBC 11-4.13.9 FOR ACCESSIBILITY

DOOR SCHEDULE

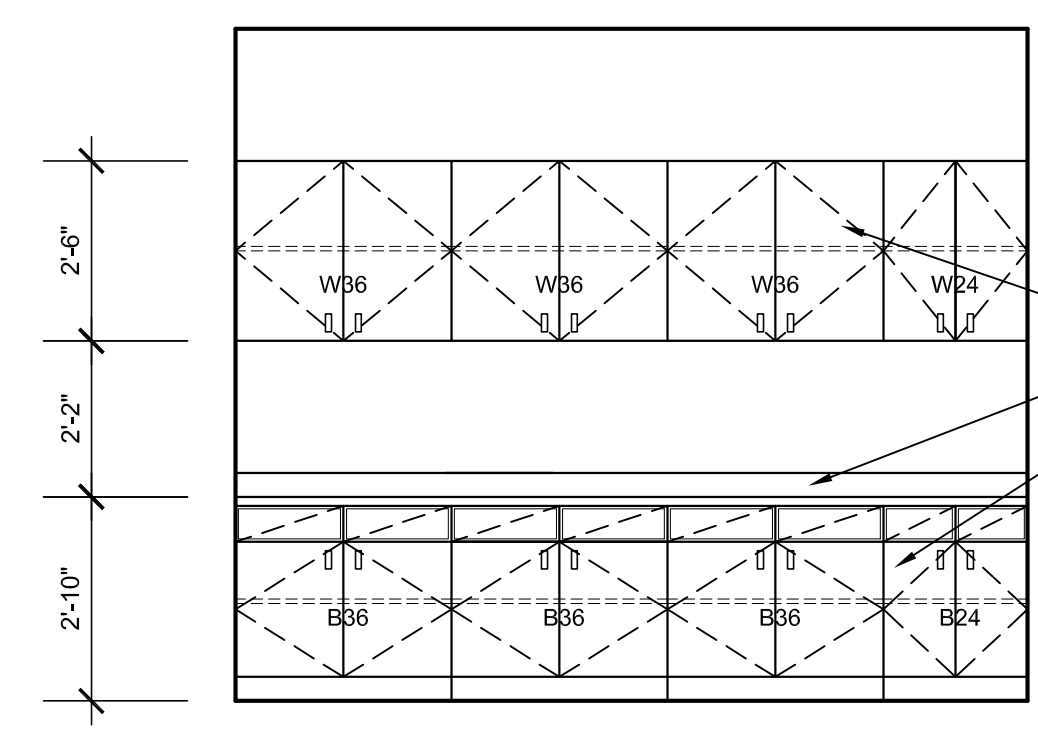
MARK	LABEL	DOOR			FRAME		REMARKS	
		MAT	TYPE	SIZE	SIZE/MAT.			
				W	H	T		
A		WD	FLUSH	30"	80"	1-3/4"	2" HM	
B	20 MINUTE RATED	WD	FLUSH	30"	80"	1-3/4"	2" HM	TENANT ENTRY DOOR
C		WD	FLUSH	30"	80"	1-3/4"	2" HM	
D		WD	FLUSH	30"	80"	1-3/4"	2" HM	GLASS PANEL DOOR
E	20 MINUTE RATED	WD	FLUSH	30"	80"	1-3/4"	2" HM	FIRE RATED GLASS ENTRY DOOR

3 DOORS
 1/4" = 1'-0"

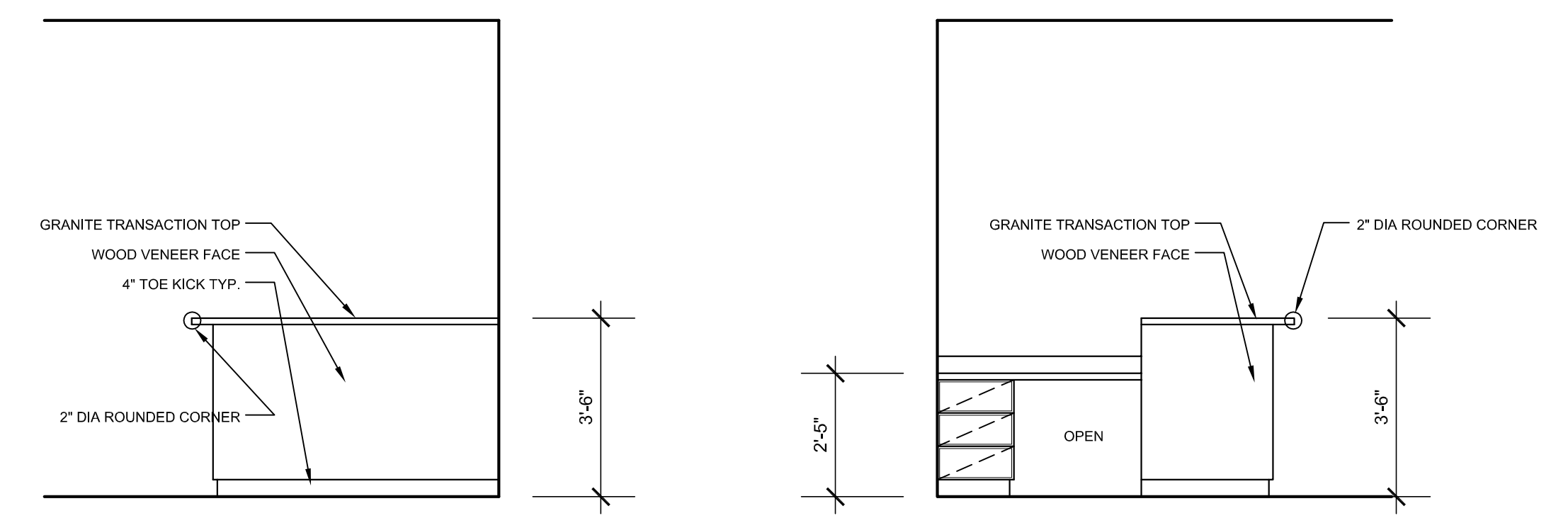


- * SINKS SHALL BE MOUNTED WITH THE COUNTER OR RIM NO HIGHER THAN 34" ABOVE THE FINISH FLOOR
- * KNEE CLEARANCE OF AT LEAST 27" HIGH, 30" WIDE AND 19" DEEP IS PROVIDED UNDERNEATH
- * EACH SINK SHALL BE A MAXIMUM OF 6'1/2" DEEP
- * HOT WATER AND DRAIN PIPES UNDER THE SINK SHALL BE INSULATED OR OTHERWISE CONFIGURED SO AS TO PROTECT AGAINST ANY CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER THE SINK
- * A CLEAR FLOOR SPACE OF AT LEAST 30" BY 48" SHALL BE PROVIDED IN FRONT OF THE SINK TO ALLOW FORWARD APPROACH. THE CLEAR FLOOR SPACE SHALL BE ON AN ACCESSIBLE ROUT AND SHALL EXTEND A MAXIMUM OF 19 INCHES UNDERNEATH THE SINK
- * 19" MAX CLEAR AREA SHALL BE PROVIDED UNDERNEATH THE SINK
- * ALL FAUCETS TO BE LEVER OPERATED

4 BREAK (#118) ELEVATION
 3/8" = 1'-0"



5 COPY (#104) ELEVATION
 3/8" = 1'-0"



6 RECEPTION (#100) DESK ELEVATIONS
 3/8" = 1'-0"

Bd

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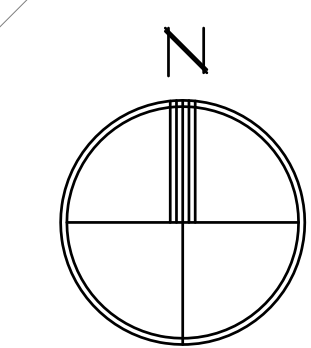
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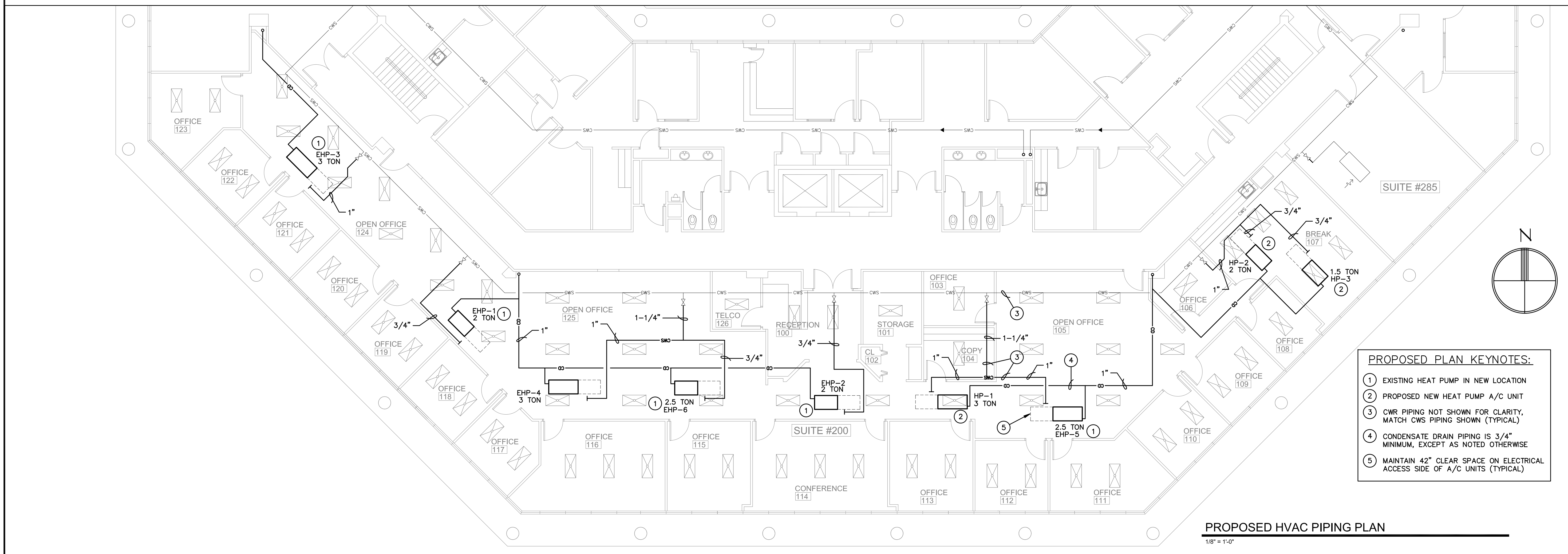
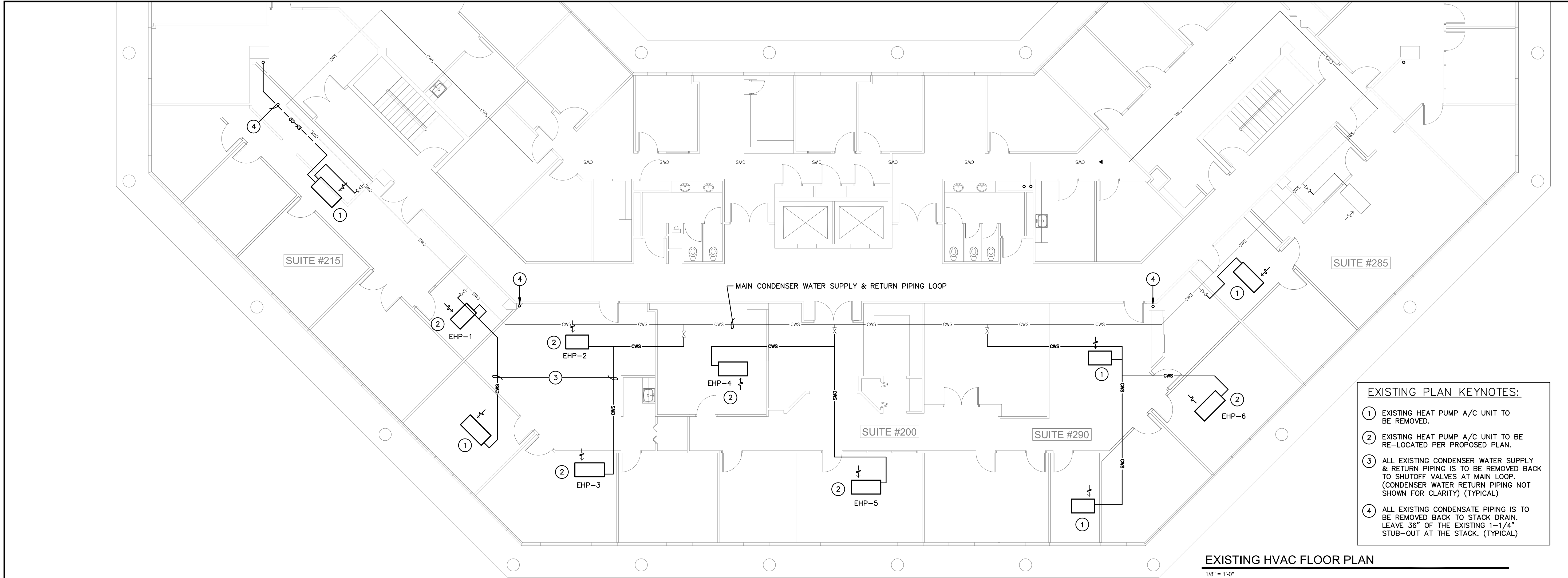


- EXISTING PLAN KEYNOTES:**
- ① EXISTING HEAT PUMP A/C UNIT TO BE REMOVED.
 - ② EXISTING HEAT PUMP A/C UNIT TO BE RE-LOCATED PER PROPOSED PLAN.
 - ③ ALL EXISTING CONDENSER WATER SUPPLY & RETURN PIPING IS TO BE REMOVED BACK TO SHUTOFF VALVES AT MAIN LOOP. (CONDENSER WATER RETURN PIPING NOT SHOWN FOR CLARITY) (TYPICAL)
 - ④ ALL EXISTING CONDENSATE PIPING IS TO BE REMOVED BACK TO STACK DRAIN. LEAVE 36" OF THE EXISTING 1-1/4" STUB-OUT AT THE STACK. (TYPICAL)

EXISTING HVAC FLOOR PLAN
1/8" = 1'-0"

- PROPOSED PLAN KEYNOTES:**
- ① EXISTING HEAT PUMP IN NEW LOCATION
 - ② PROPOSED NEW HEAT PUMP A/C UNIT
 - ③ CWR PIPING NOT SHOWN FOR CLARITY, MATCH CWS PIPING SHOWN (TYPICAL)
 - ④ CONDENSATE DRAIN PIPING IS 3/4" MINIMUM, EXCEPT AS NOTED OTHERWISE
 - ⑤ MAINTAIN 42" CLEAR SPACE ON ELECTRICAL ACCESS SIDE OF A/C UNITS (TYPICAL)

PROPOSED HVAC PIPING PLAN
1/8" = 1'-0"



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HVAC CONTROLS NOTE

AIR CONDITIONING CONTRACTOR SHALL PROVIDE OR CAUSE TO BE PROVIDED ALL CONTROLS, CONTROL WIRING & CONDUIT, POWER WIRING & CONDUIT, AND ALL OTHER ITEMS NECESSARY FOR INSTALLATION AND CONTROL OF HEAT PUMP AIR CONDITIONING UNITS. IN ADDITION, CONTRACTOR SHALL PROVIDE INTERFACE WITH THE EXISTING EMS SYSTEM COMPUTER GRAPHICALLY DEPICTING MECHANICAL LAYOUT WITH ON SCREEN DISPLAYS THAT ARE CONTROLLED BY THE EXISTING STAEFA MS-1800 ENERGY MANAGEMENT SYSTEM (EMS). PROGRAMMING IS TO ALSO INCLUDE INTERFACE TO EXISTING PROGRAM DESIGNED TO CALCULATE TENANT OVERTIME USAGE OF THE AIR CONDITIONING SYSTEM. CONTACT BUILDING CONTROLS SERVICE CONTRACTOR THERMAL CONCEPTS AT 1-800-953-2503 (NEIL CAPORALE) FOR SPECIFICATIONS AND DETAILS. A COMPLETE AND OPERATIONAL CONTROL SYSTEM IS TO BE PROVIDED. HEAT PUMP STARTER IS TO BE INTERLOCKED WITH THE EXISTING EMS CONTROL PANEL LOCATED IN THE CORRIDOR. (RELAY CONTACT)

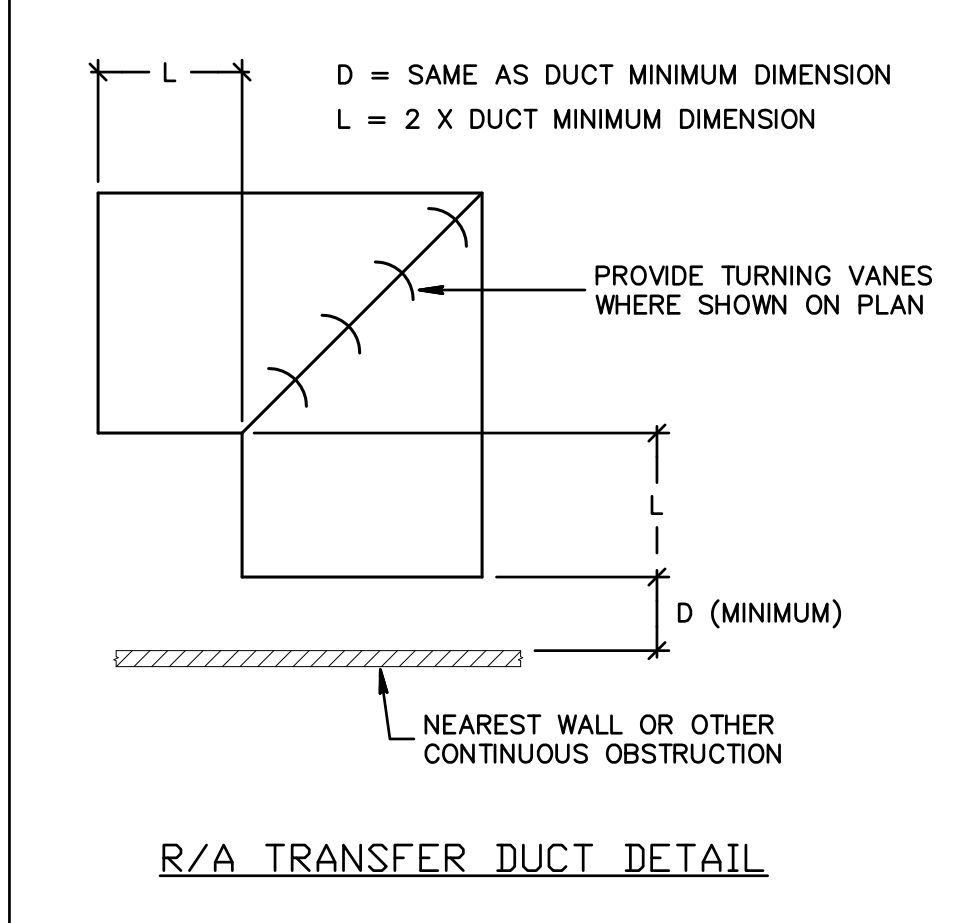
THERMOSTATS ARE TO BE WHITE-RODGERS PROGRAMMABLE TYPE, MODEL 1F86-344 VERIFY EXACT MODEL NUMBER WITH LANDLORD.

SYMBOL LEGEND

- ☐ HEAT PUMP A/C UNIT AS NOTED
- ☒ SUPPLY AIR DIFFUSER AS NOTED
- ☑ RETURN/TRANSFER GRILLE AS NOTED
- DUCTWORK AS NOTED
- ➔ DUCT TRANSITION
- Ⓡ OVERTIME A/C CARD READER
- Ⓢ DUCT SMOKE DETECTOR WITH AUDIBLE & VISUAL ALARMS
- ⚡ TYPE B FIRE DAMPER W/ACCESS DOOR.
- ⌋ MANUAL VOLUME DAMPER
- ⊖ THERMOSTAT AS NOTED
- ⌒ FLEXIBLE DUCT, U.L. CLASS 1
- ⊕ CONNECTION TO EXISTING EQUIPMENT
- ⌒ TAKE-OFF WITH VOLUME DAMPER FOR FLEXIBLE DUCT

ABBREVIATIONS

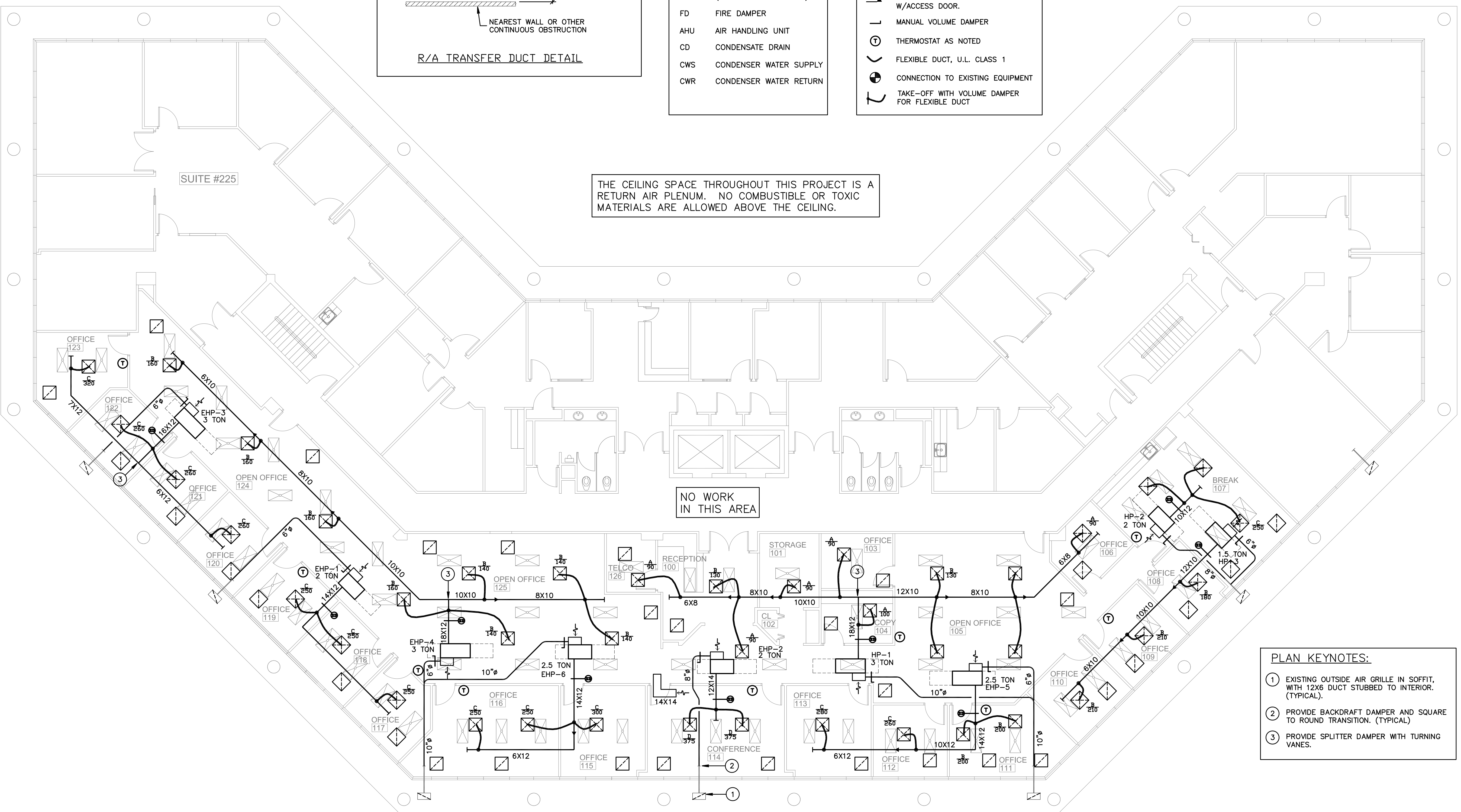
- HP HEAT PUMP VARIABLE AIR VOLUME
- EHP EXISTING HEAT PUMP
- S/A SUPPLY AIR
- R/A RETURN AIR
- O/A OUTSIDE AIR
- E/A EXHAUST AIR
- CFM CUBIC FEET PER MINUTE.
- MVD MANUAL VOLUME DAMPER (OPPOSED BLADE TYPE).
- FD FIRE DAMPER
- AHU AIR HANDLING UNIT
- CD CONDENSATE DRAIN
- CWS CONDENSER WATER SUPPLY
- CWR CONDENSER WATER RETURN



THE CEILING SPACE THROUGHOUT THIS PROJECT IS A RETURN AIR PLENUM. NO COMBUSTIBLE OR TOXIC MATERIALS ARE ALLOWED ABOVE THE CEILING.

NO WORK IN THIS AREA

- PLAN KEYNOTES:**
- 1 EXISTING OUTSIDE AIR GRILLE IN SOFFIT, WITH 12X6 DUCT STUBBED TO INTERIOR. (TYPICAL)
 - 2 PROVIDE BACKDRAFT DAMPER AND SQUARE TO ROUND TRANSITION. (TYPICAL)
 - 3 PROVIDE SPLITTER DAMPER WITH TURNING VANES.



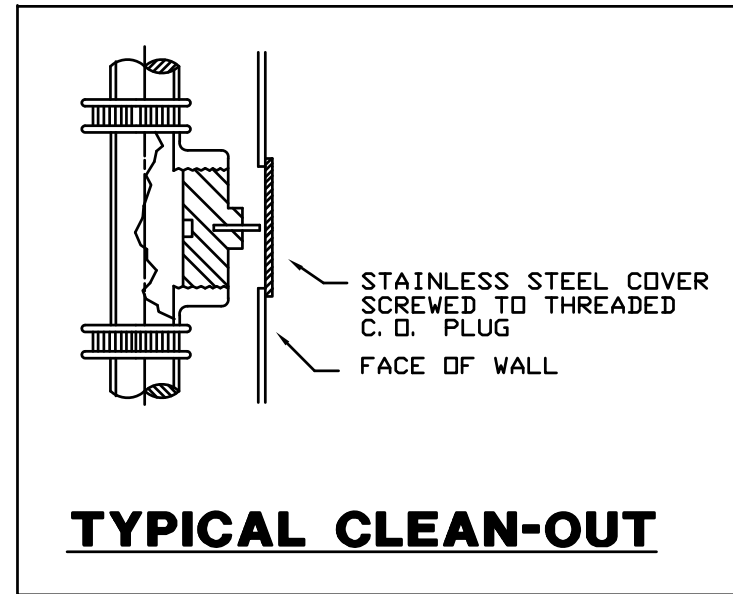
PROPOSED HVAC DUCT PLAN

1/8" = 1'-0"

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PLUMBING GENERAL NOTES:

1. ALL WORKMANSHIP AND MATERIAL SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE LOCAL CODES, RULES AND ORDINANCES.
2. CONTRACTOR SHALL VISIT THE JOB SITE AND THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS.
3. ALL MATERIAL SHALL BE NEW.
4. ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE.
5. NO COMBUSTIBLE MATERIAL TO BE USED IN MECHANICAL ROOMS OR IN CEILING SPACES WHERE USED AS RETURN AIR PLENUMS.
6. REQUIRED INSURANCE SHALL BE PROVIDED BY THE CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF WORK.
7. CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTION & TESTS.
8. DRAWINGS ARE DIAGRAMMATIC. DO NOT SCALE FOR THE EXACT LOCATION OF FIXTURES, PIPING, EQUIPMENT, ETC.
9. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION. REPORT ANY DISCREPANCY TO ENGINEER/ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.
10. VERIFY LOCATION, SIZE, INVERTS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ADVISE ENGINEER OF ANY DISCREPANCIES.
11. WATER PIPING SHALL BE TYPE "L" COPPER.
12. SOIL, WASTE, VENT AND STORM DRAIN PIPING SHALL BE CAST IRON NO HUB 301-72 ABOVE GRADE AND SCH. 40 PVC BELOW GRADE.
13. FURNISH AND INSTALL APPROVED SHOCK ARRESTORS AT EACH PLUMBING FIXTURE GROUP AND AT QUICK CLOSING VALVES.
14. INSULATE PER A.D.A. ALL EXPOSED HANDICAP LAVATORIES DRAIN PIPING AND HOT & COLD STOP AND SUPPLIES. COVERS SHALL BE SOFT, REMOVABLE AND UPC APPROVED. MANUFACTURE: PLUMBERX HANDY-SHIELD, TRU-BRO OR PRO-SERIES.
15. ALL FIXTURES MUST BE PROVIDED WITH READILY ACCESSIBLE STOPS & APPROPRIATELY MARKED ACCESS PANELS. COORDINATE LOCATIONS WITH GENERAL CONTRACTOR PRIOR TO INSTALLATION.
16. PROVIDE CHROME PLATED COMBINATION COVER PLATE & CLEANOUT PLUG OR ACCESS PANEL FOR ALL WALL CLEANOUTS ZURN ZS-1469 SERIES C.O. OR OTHER APPROVED ACCESS PANEL.
17. DIELECTRIC COUPLINGS ARE REQUIRED BETWEEN ALL DISSIMILAR METAL IN PIPING AND EQUIPMENT CONNECTIONS.
18. ISOLATE COPPER PIPE FROM HANGER OR SUPPORTS WITH ISOLATOR PAD. (HAIR FELT LINING).
19. ALL FIRE RATED FLOOR AND WALL PENETRATIONS SHALL BE PROPERLY PROTECTED FROM FIRE, SMOKE AND WATER PENETRATION BY FILLING VOIDS BETWEEN PIPE & WALL/FLOOR SLEEVES WITH U.L. APPROVED FIRE/SMOKE/WATER SEALANT.
20. CONTRACTOR SHALL GUARANTEE ALL MATERIALS & WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE BY OWNER. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED. PROVIDE ACCESS PANELS FOR ALL CONCEALED VALVES AND ALL WATER HAMMER ARRESTERS. ACCESS PANELS IN RATED WALLS MUST MAINTAIN THE SAME RATING & MUST MATCH THE FINISH OF THE WALL IN WHICH IT IS INSTALLED.
- 21.



SYMBOLS & ABBREVIATIONS

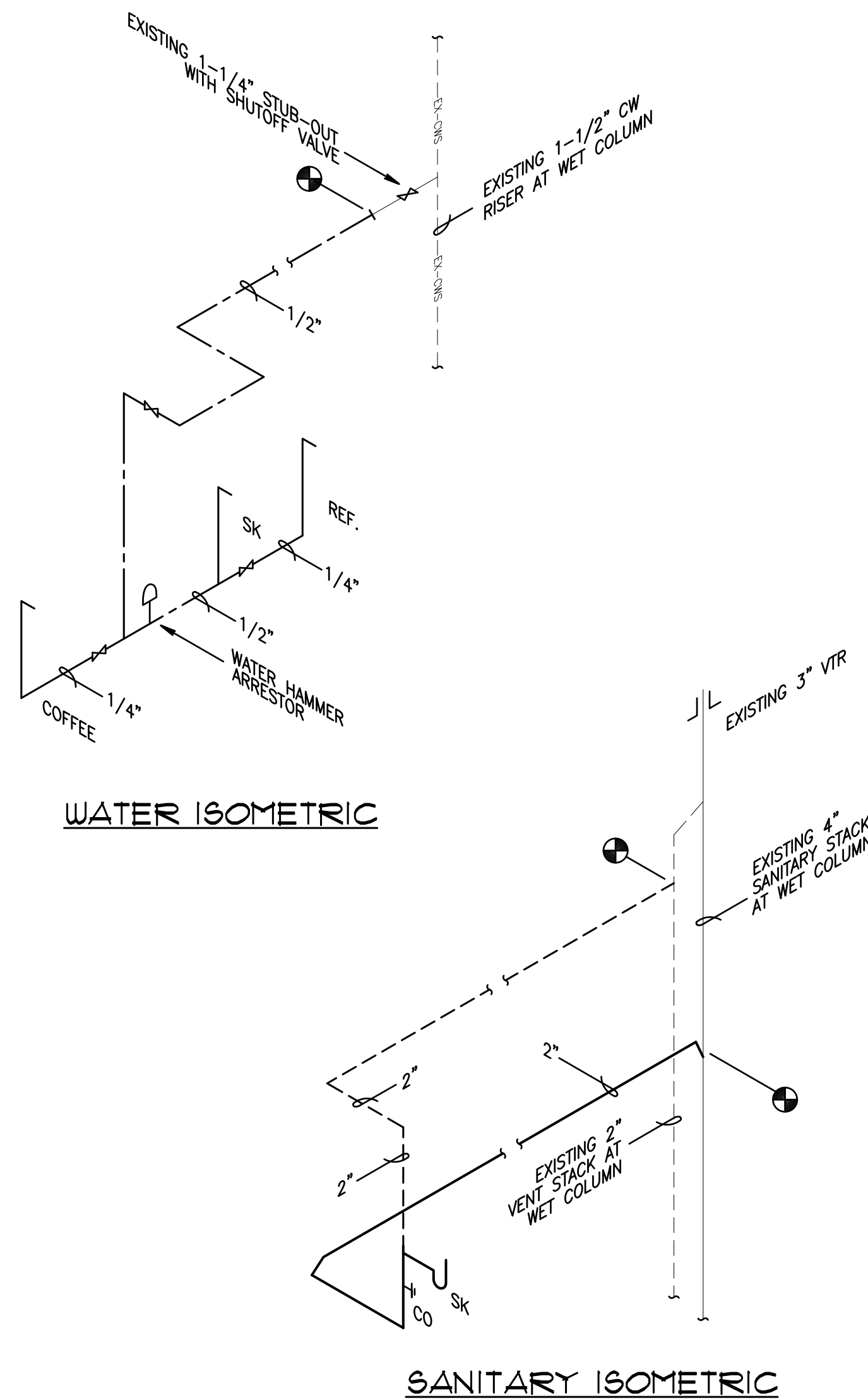
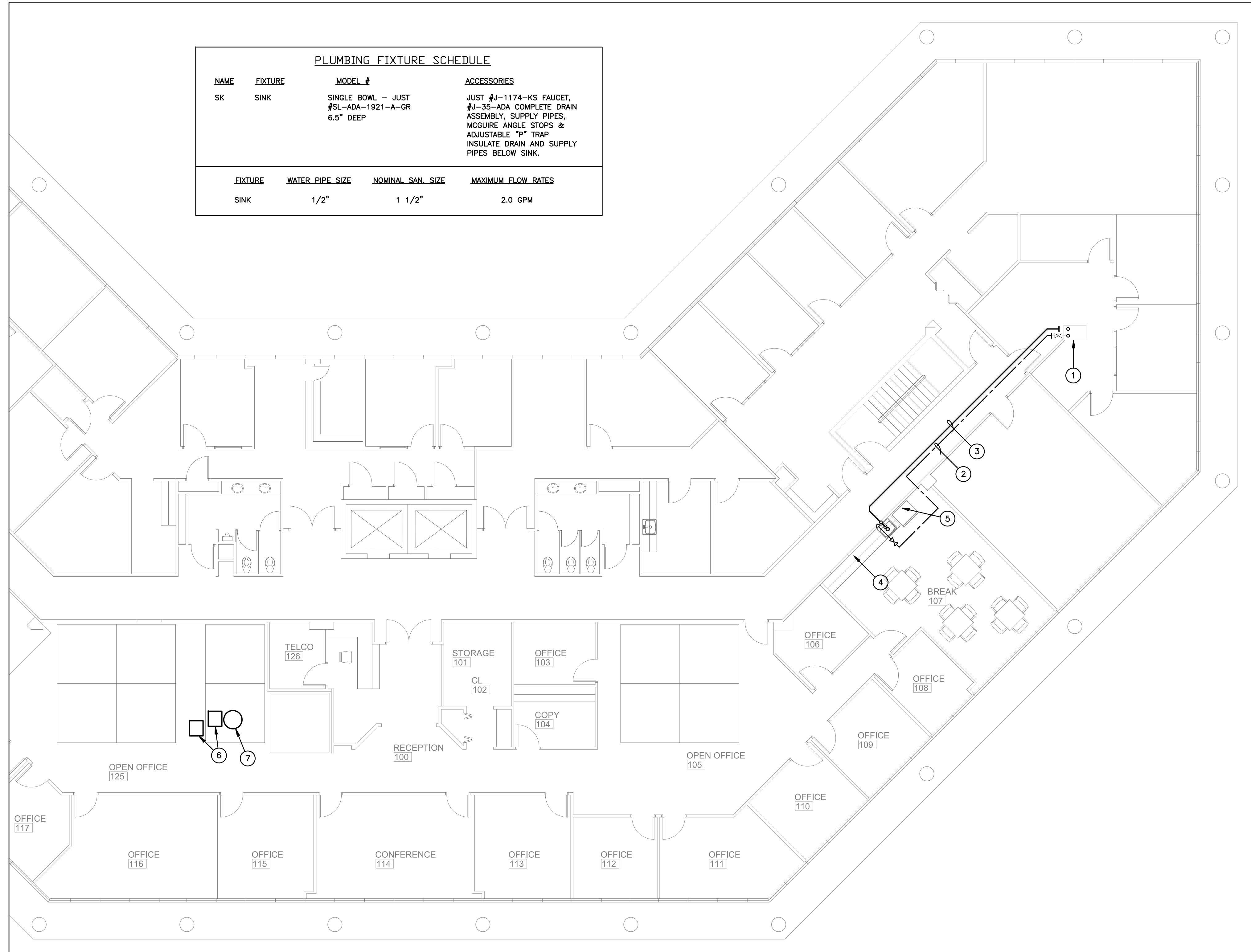
—○—	CONDENSATE LINE	CD
—●—	HOT WATER PIPE	HW
—○—	COLD WATER PIPE	CW
— —	GATE VALVE (SHUT-OFF VALVE)	SDV
— —	SANITARY LINE	SAN
—○—	VENT LINE	
—○—	EXISTING SANITARY LINE	
—○—	EXISTING COLD WATER SUPPLY LINE	
SK	SINK	SK
DSK	DOUBLE SINK	DSK
VTR	VENT THRU ROOF	VTR
WHA	WATER HAMMER ARRESTOR	WHA
⊕	CONNECTION TO EXISTING SYSTEMS	

DRAWING KEYNOTES:

1. EXISTING WET COLUMN, FIELD VERIFY EXACT CONDITIONS.
2. WATER PIPING RUNS ABOVE CEILING. CONNECT TO EXISTING WATER WATER STUB OUT AT WET COLUMN.
3. SANITARY PIPING RUN BELOW FLOOR SLAB IN 1ST FLOOR CEILING SPACE BELOW.
4. PROVIDE 1/4" CW SUPPLY FOR COFFEE MAKER, WITH SOV IN CABINET BELOW SINK. PROVIDE 10' OF SOFT COPPER TUBING COILED INSIDE CABINET AT THIS LOCATION FOR FUTURE CONNECTION BY TENANT.
5. PROVIDE 1/4" CW SUPPLY FOR REFRIGERATOR ICE MAKER, WITH SOV IN CABINET BELOW SINK. PROVIDE 10' OF SOFT COPPER TUBING COILED AT REFRIGERATOR LOCATION FOR CONNECTION BY TENANT.
6. EXISTING SINK TO BE DEMOLISHED, REMOVE ALL ASSOCIATED PIPING SYSTEMS BACK TO NEAREST LIVE PIPE.
7. EXISTING TANK WATER HEATER ABOVE CEILING TO BE DEMOLISHED, REMOVE ALL PIPING SYSTEMS BACK TO NEAREST LIVE PIPE.

PLUMBING FIXTURE SCHEDULE

NAME	FIXTURE	MODEL #	ACCESSORIES
SK	SINK	SINGLE BOWL - JUST #SL-ADA-1921-A-GR 6.5" DEEP	JUST #J-1174-KS FAUCET, #J-35-ADA COMPLETE DRAIN ASSEMBLY, SUPPLY PIPES, MCUIRE ANGLE STOPS & ADJUSTABLE "T" TRAP INSULATE DRAIN AND SUPPLY PIPES BELOW SINK.
FIXTURE	WATER PIPE SIZE	NOMINAL SAN. SIZE	MAXIMUM FLOW RATES
SINK	1/2"	1 1/2"	2.0 GPM



PARTIAL FLOOR PLAN - PLUMBING

SCALE: 1/8" = 1'-0"

Bd

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PROJECT NUMBER 710825

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P-1

ELECTRICAL LEGEND

<ul style="list-style-type: none"> ○ LIGHTING FIXTURE IDENTIFICATION ⊠ RECTANGULAR LIGHTING FIXTURE - AS NOTED ⊠ RECTANGULAR LIGHTING FIXTURE WITH EMERGENCY BATTERY BACKUP. ○ ROUND LIGHTING FIXTURE ⊕ EXIT LIGHT WITH EMERGENCY POWER BATTERY BACKUP. ⊠ EMERGENCY LIGHTING FIXTURE WITH BATTERY BACKUP ⊕ DUPLEX RECEPT - 20 AMP (18" A.F.F.) ○ SINGLE RECEPT - 20 AMP (18" A.F.F.) ⊕ DUPLEX RECEPT MOUNTED ABOVE COUNTER - 20 AMP (44" A.F.F.) ○ DUPLEX RECEPT FLUSH FLOOR MOUNTED - 20 AMP ⊕ SPECIAL PURPOSE RECEPT (18" A.F.F. - MATCH EQUIPMENT PROVIDED) ⊕ QUAD-PLEX RECEPT - 20 AMP (18" A.F.F.) 	<ul style="list-style-type: none"> ⊞ SINGLE POLE TOGGLE SWITCH, 48" AFF ⊞₃ 3-WAY TOGGLE SWITCH, 48" AFF ⊞_D SLIDE TYPE DIMMER SWITCH, WATTAGE AS REQUIRED, 48" AFF ⊞ JUNCTION BOXES ⊞ FUSIBLE DISCONNECT (SWITCH POLES, AMPS/FUSES AS SHOWN) ⊞ M MOTOR RATED SWITCH (WITH OVERLOADS) ⊞ ELECTRICAL PANELBOARD ⊞ MOTOR LOAD ⊞ CIRCUIT HOME RUN TO PANELBOARD OR OTHER DEVICE AS INDICATED ⊞ CONDUIT CONCEALED ⊞ EXISTING CIRCUIT AS NOTED 	<ul style="list-style-type: none"> ⊞ CAPPED CONDUIT ⊞ TELEVISION OUTLET (18" A.F.F.) ⊞ TELEPHONE/DATA OUTLET (18" A.F.F.) ⊞ TEL/DATA OUTLET FLUSH FLOOR MOUNTED ⊞ EXISTING DUPLEX RECEPTACLE OUTLET BDX TO REMAIN. ⊞ EXISTING TELEPHONE/DATA OUTLET BDX TO REMAIN E EXISTING DEVICE TO REMAIN, UNLESS NOTED OTHERWISE R EXISTING DEVICE, RELOCATED AS SHOWN D DEDICATED OUTLET ⊞ WALL OCCUPANCY SENSOR, HUBBELL LHMTS1, 48" AFF ⊞ CEILING OCCUPANCY SENSOR, HUBBELL DMNI DT-2000
---	---	---

DRAWING KEYNOTES:

- 1 EXISTING PANELBOARD TO BE RE-LOCATED AS SHOWN.
- 2 INTERCEPT AND EXTEND EXISTING TELEPHONE, CATV AND POWER CONDUITS SERVING THESE AREAS INTO TELCO ROOM. FIELD VERIFY ALL DETAILS.
- 3 EXISTING CHASE SHOWN FOR REFERENCE ONLY. POWER AND COMMUNICATIONS CONDUITS RUN THROUGH CHASE.
- 4 CONNECT HEAT PUMP A/C UNIT TO EXISTING 277 VOLT CIRCUITS IN THIS AREA, WITH 2 #10 & #10G IN 1/2" C. EXISTING CIRCUITS FROM 30 AMP 3 POLE CIRCUIT BREAKERS IN 480/277 VOLT PANELS IN 1ST FLOOR MAIN ELECTRICAL ROOM (TYPICAL UNLESS NOTED OTHERWISE)
- 5 COORDINATE WITH TENANTS FURNITURE PARTITIONS SYSTEM SUPPLIER, PROVIDE FLEXIBLE CONDUIT CONNECTIONS FROM WALL BOXES AS NOTED OR REQUIRED (TYPICAL)
- 6 3 #10, #10G, CONNECT TO EXISTING 480V/3P CIRCUIT IN THIS AREA WITH 1/2" CONDUIT.

NEW FIRE ALARM DEVICES ARE TO BE COMPATIBLE WITH EXISTING SYSTEM. PROVIDE ADDITIONAL POWER SUPPLIES AS REQUIRED. PROVIDE ADDITIONAL HORNS AND STROBES AS REQUIRED TO MEET AUDIBLE AND VISIBLE REQUIREMENTS OF NFPA 72, ADA, AND NFPA 101. VERIFY EXISTING POINT OF CONNECTION TO EXISTING SYSTEM.

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NEW AND EXISTING ELECTRICAL SYSTEMS, FIXTURES, DEVICES, AND OTHER EQUIPMENT RELATED TO THESE TENANT SPACES ARE IN GOOD WORKING ORDER. REPAIR AS NEEDED.

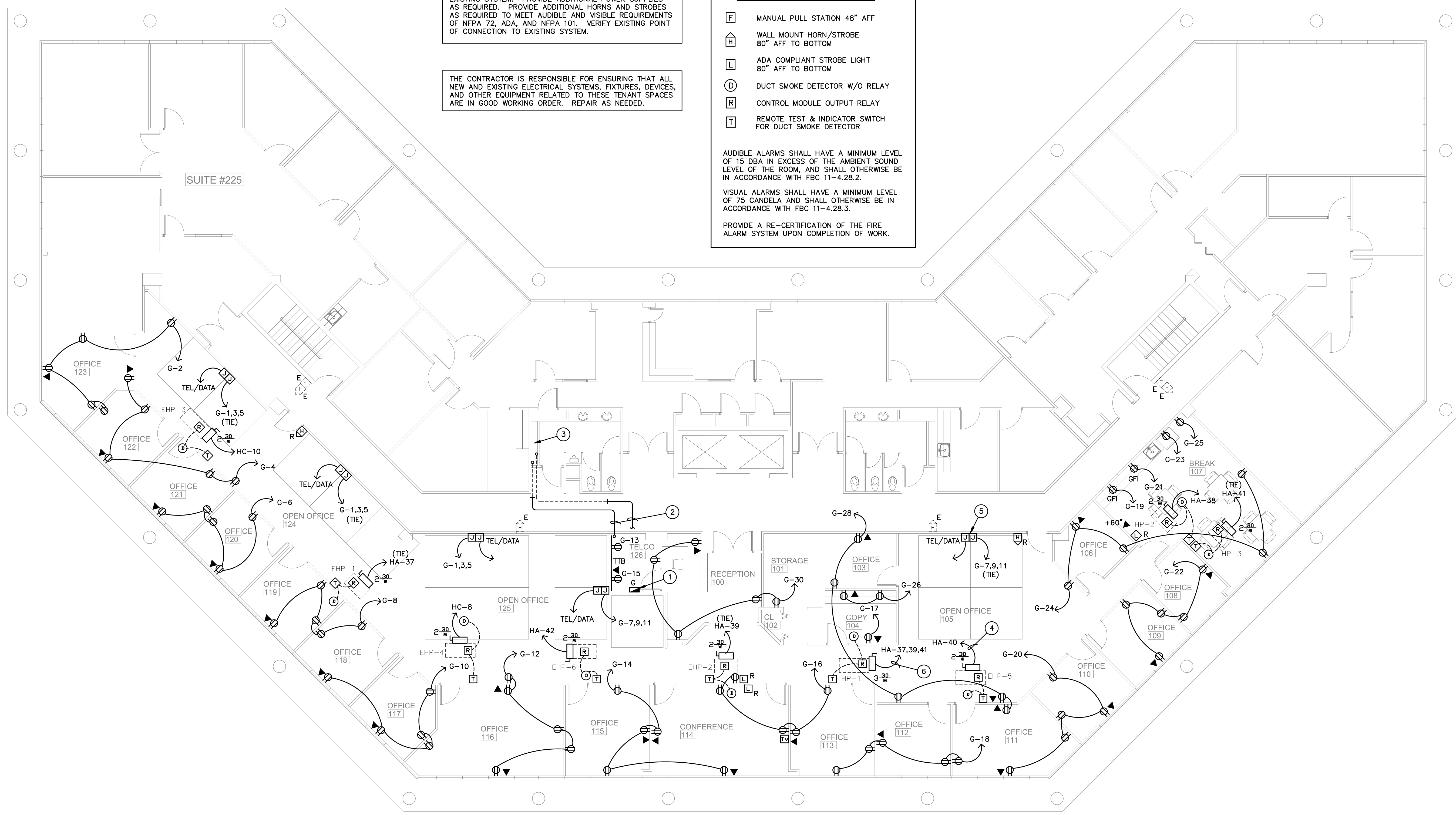
FIRE ALARM LEGEND

- F MANUAL PULL STATION 48" AFF
- H WALL MOUNT HORN/STROBE 80" AFF TO BOTTOM
- L ADA COMPLIANT STROBE LIGHT 80" AFF TO BOTTOM
- D DUCT SMOKE DETECTOR W/O RELAY
- R CONTROL MODULE OUTPUT RELAY
- T REMOTE TEST & INDICATOR SWITCH FOR DUCT SMOKE DETECTOR

AUDIBLE ALARMS SHALL HAVE A MINIMUM LEVEL OF 15 DBA IN EXCESS OF THE AMBIENT SOUND LEVEL OF THE ROOM, AND SHALL OTHERWISE BE IN ACCORDANCE WITH FBC 11-4.28.2.

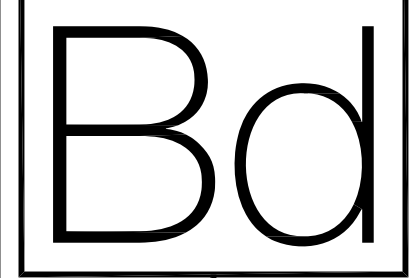
VISUAL ALARMS SHALL HAVE A MINIMUM LEVEL OF 75 CANDELA AND SHALL OTHERWISE BE IN ACCORDANCE WITH FBC 11-4.28.3.

PROVIDE A RE-CERTIFICATION OF THE FIRE ALARM SYSTEM UPON COMPLETION OF WORK.



PROPOSED ELECTRICAL FLOOR PLAN

SCALE: 1/8" = 1'-0"



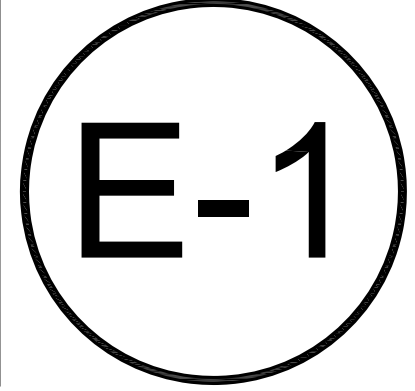
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LIGHTING POWER COMPLIANCE (PER TABLE 13-415.2.B, FBC CHAPTER 13)				
SPACE TYPE	TOTAL AREA (SQ.FT.)	ALLOWANCE PER SQ.FT.	SUB-TOTAL ALLOWANCE	DESIGN
OFFICE AREAS	5,050	1.1	5,555	5,336
RECEPTION	200	1.3	260	184
CONFERENCE MULTI-PURP.	740	1.3	962	736
ELECTRICAL	70	1.5	105	92
CORRIDOR	284	0.5	142	276
STORAGE	160	0.8	128	92
TOTALS	6,354		7,152	6,716

EXISTING PANEL

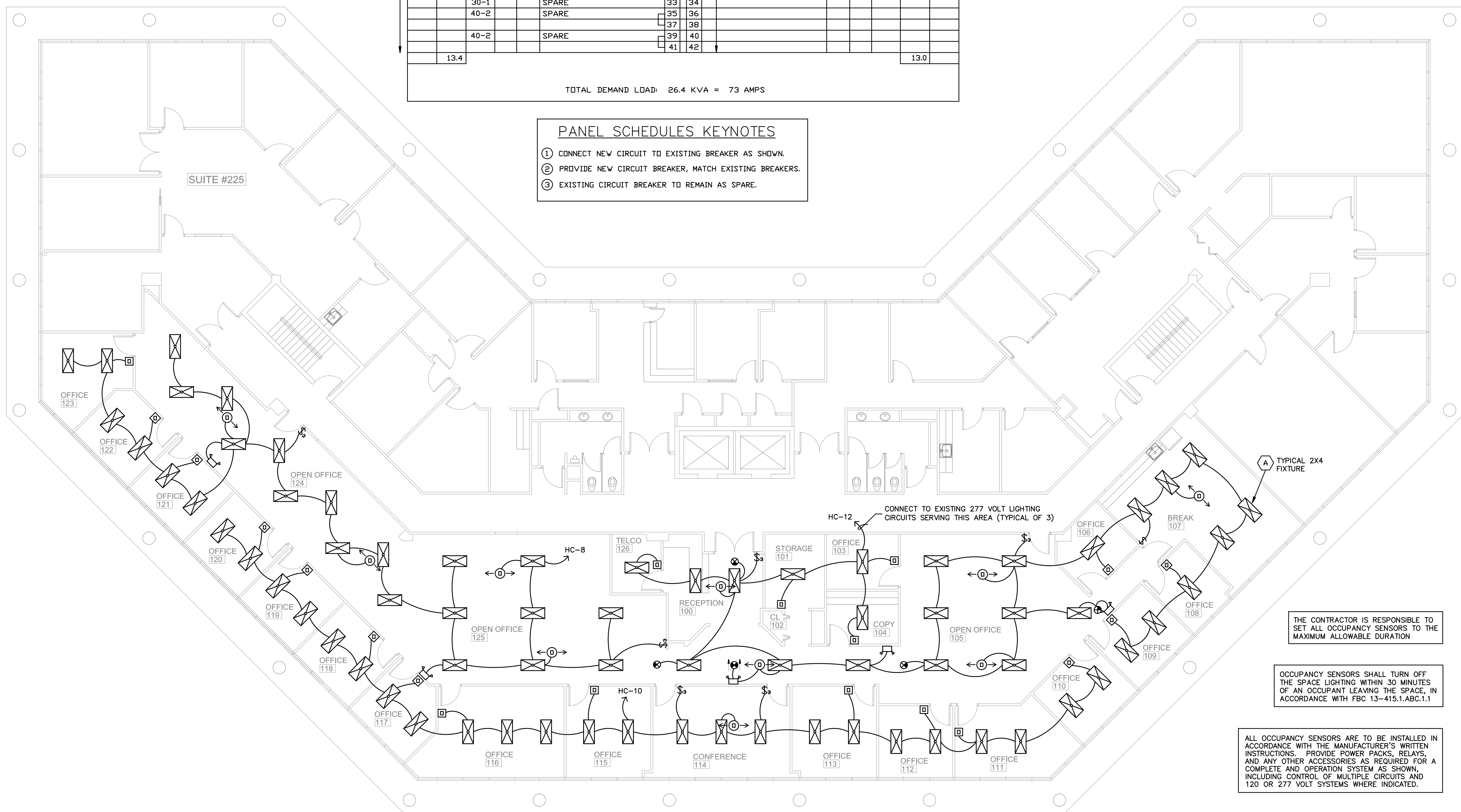
TYPE: GEN. ELEC. AF										MAIN BUS: 150 AMP			
SERVICE: 120/208, 3Ø, 4W										NEUTRAL: FULL			
MOUNTING: FLUSH										MAINS: LUGS ONLY			
PDLSES: 42										A.I.C. 10K			
DEM. KVA	OTHER KVA	TRIP-PDLE	CON-DUIT	WIRE	REMARKS	CKT. NO.	CKT. NO.	REMARKS	WIRE	CON-DUIT	TRIP-PDLE	OTHER KVA	DEM. KVA
	1.1	20-1	1/2	12	PARTITION RECEPTACLES	1	2	RECEPTACLES	12	1/2	20-1	0.9	
	1.1					3	4						
	1.1					5	6						
	0.9	20-1				7	8						
	0.9					9	10						
	0.9					11	12						
	0.4				SERVER	13	14						
	0.4				TELEPHONE BOARD	15	16						
	1.0	20-1			COPIER	17	18						
	1.5				APPLIANCE CKT.	19	20						
	1.5				APPLIANCE CKT.	21	22						
	0.8				REFRIGERATOR	23	24						
	0.8				VENDING	25	26					0.4	
					SPARE	27	28				20-1	0.9	
					SPARE	29	30				20-1	0.9	
		15-1			SPARE	31	32	SPACE					
		15-1			SPARE	33	34						
		30-1			SPARE	35	36						
		40-2			SPARE	37	38						
		40-2			SPARE	39	40						
						41	42						
	13.4											13.0	

TOTAL DEMAND LOAD: 26.4 KVA = 73 AMPS

LIGHTING FIXTURE SCHEDULE							
MARK	TYPE	MOUNT	LAMP	VOLT	MANUFACTURER	CATALOG	NOTES
A	PARABOLIC TRIGGER	RECESSED	(3)F032 T8/35K	MV	COLUMBIA	P4D24-332G-MA36-S-3EPU-GLR	92 WATTS MAXIMUM
	EXIT LIGHT	SURFACE	BY MFR.	MV	DUAL LITE	LXURVE	(1)(2)
	EMERGENCY LIGHTING	SURFACE	BY MFR.	MV	DUAL LITE	LZ2	(2)

- ① PROVIDE SINGLE OR DUAL FACE, WALL OR CEILING MOUNT, AS SHOWN ON PLANS. CONNECT FIXTURES TO UNSWITCHED HOT LEG OF LOCAL EMERGENCY LIGHTING CIRCUIT.
- ② PROVIDE BATTERY/INVERTER BACKUP FOR 90 MINUTES IN ACCORDANCE WITH NFPA REQUIREMENTS. CONNECT FIXTURES TO UNSWITCHED HOT LEG OF LOCAL LIGHTING CIRCUIT.

- ### PANEL SCHEDULES KEYNOTES
- ① CONNECT NEW CIRCUIT TO EXISTING BREAKER AS SHOWN.
 - ② PROVIDE NEW CIRCUIT BREAKER, MATCH EXISTING BREAKERS.
 - ③ EXISTING CIRCUIT BREAKER TO REMAIN AS SPARE.



PROPOSED LIGHTING FLOOR PLAN
SCALE: 1/8" = 1'-0"

Bd

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GRESHAM
FAIRWAY OFFICE CENTER
7111 FAIRWAY DRIVE #200
PALM BEACH GARDENS, FL 33418
PROJECT NUMBER 710825

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PROJ.# 11-029
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GENERAL ELECTRICAL NOTES

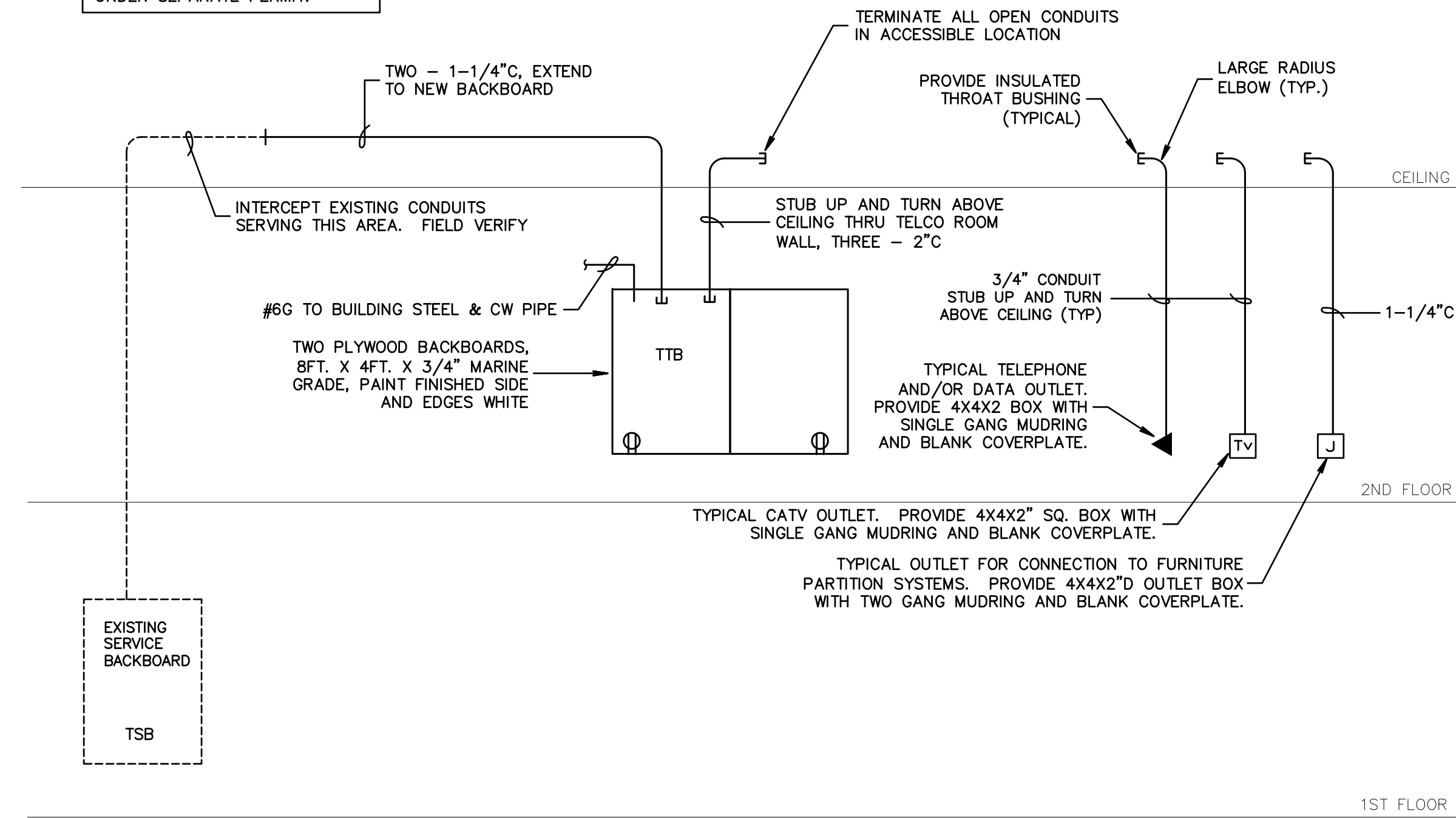
- DO NOT SCALE THE ELECTRICAL DRAWINGS. REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT. CONFIRM WITH OWNER'S REPRESENTATIVE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE NFPA-70 (2008), THE LIFE SAFETY CODE NFPA-101 (2006), THE NATIONAL FIRE ALARM CODE NFPA-72 (2002), AND THE FLORIDA BUILDING CODE (FBC 2007 WITH 2009 SUPPLEMENTS).
- MINIMUM WIRE SIZE SHALL BE #12 A.W.G., EXCLUDING CONTROL WIRING. UNLESS OTHERWISE NOTED ALL CONDUCTORS SHALL BE COPPER WITH THWN INSULATION.
- OUTLET BOXES SHALL BE SHEET STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET OR DAMP LOCATIONS AND SPECIAL ENCLOSURES AS REQUIRED FOR OTHER CLASSIFIED AREAS.
- DISCONNECT SWITCHES SHALL BE HP. RATED, HEAVY DUTY, QUICK-MAKE, QUICK-BREAK, WITH ENCLOSURES AS REQUIRED BY EXPOSURE.
- MOTOR STARTERS SHALL BE MANUAL OR MAGNETIC, WITH OVERLOAD RELAYS IN EACH HOT LEG.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS REQUIRED FOR A COMPLETE AND OPERATIONAL ELECTRICAL SYSTEM, AND FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
- ELECTRICAL SYSTEM SHALL BE COMPLETE AND EFFECTIVELY GROUNDED AS REQUIRED BY THE LATEST EDITION OF THE N.E.C.
- ALL MATERIALS SHALL BE NEW AND BEAR UNDERWRITERS' LABELS WHERE APPLICABLE.
- ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER.
- ALL ITEMS REQUIRED FOR A COMPLETE AND OPERATIONAL ELECTRICAL SYSTEM SHALL BE FULLY OPERABLE, AND ACCEPTED BY ENGINEER/ARCHITECT.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE.
- CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
- CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS, AND TESTING.
- THE ELECTRICAL INSTALLATION SHALL MEET ALL STANDARD REQUIREMENTS OF POWER AND TELEPHONE COMPANIES.
- FURNISH AND INSTALL DISCONNECT SWITCHES AND WIRING FOR AIR CONDITIONING SYSTEM AS PER MANUFACTURERS RECOMMENDATIONS. CONTROLS ARE TO BE SUPPLIED BY AIR CONDITIONING CONTRACTOR AND CONNECTED BY ELECTRICAL CONTRACTOR.
- ALL RACEWAYS UNDERGROUND SHALL BE A MINIMUM OF 3/4" CONDUIT.
- ALL CIRCUIT BREAKERS, TWO AND THREE POLE, TO BE COMMON TRIP. NO TIE HANDLES, OR TANDEM WILL BE ACCEPTED.
- ALL FUSES, UNLESS NOTED ON DRAWING, SHALL BE CURRENT LIMITING (C.L.) RATED FOR 200,000 A.I.C.
- ALL ELECTRICAL EQUIPMENT, DEVICES, WIRE, ETC., SHALL BE LISTED, FOR THE INTENDED USE, WITH UNDERWRITER'S LABORATORIES, INC. (UL), WHERE STANDARDS HAVE BEEN ESTABLISHED BY UL.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN, ON SITE, A DETAILED AS-BUILT PLAN SHOWING ACTUAL INSTALLATIONS. THE CONTRACTOR IS TO PROVIDE A NEATLY DRAWN COMPREHENSIVE AS-BUILT SET OF PLANS UPON COMPLETION, WHICH ARE SUITABLE FOR SUBMISSION TO THE BUILDING DEPARTMENT AND THE OWNER.
- ALL WIRING IS TO BE IN CONDUIT. CABLES ARE NOT ACCEPTABLE UNLESS APPROVED PRIOR TO BID BY THE LANDLORD.

GENERAL DEMOLITION NOTES

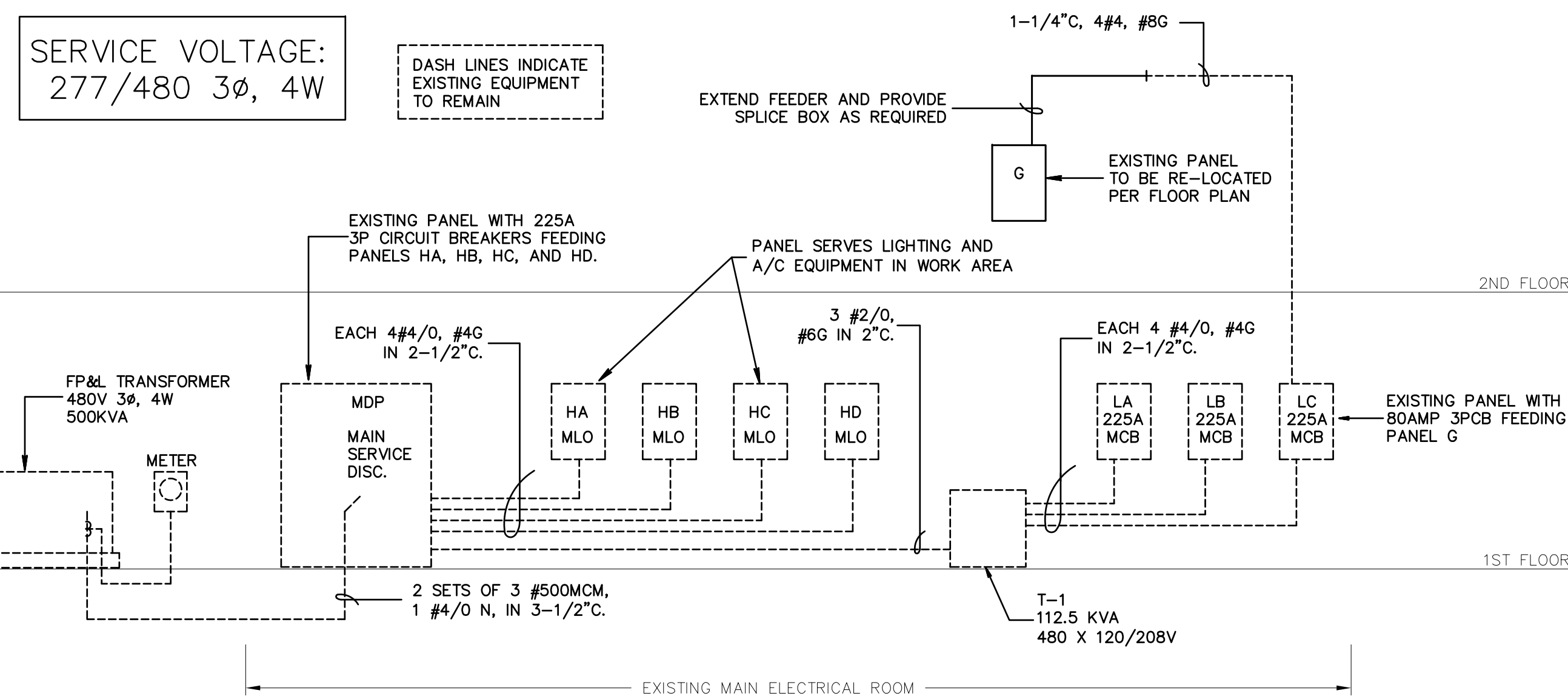
- UNLESS OTHERWISE NOTED, ALL EQUIPMENT, WIRING DEVICES, LIGHT FIXTURES, CONDUIT AND WIRE IN THE PROJECT AREA WHICH IS NOT INDICATED TO REMAIN, IS TO BE REMOVED. THE CONTRACTOR SHALL INVESTIGATE THE PROJECT AREA PRIOR TO BID TO DETERMINE ALL REQUIRED DEMOLITION.
- EXISTING CONDITIONS SHOWN ON THIS DRAWING ARE TAKEN FROM ORIGINAL DRAWINGS AND FIELD INVESTIGATION. ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO BID. FIELD CONDITIONS SHALL GOVERN.
- DEMOLITION WORK IS NOT SPECIFICALLY IDENTIFIED ON THESE PLANS, AND MAY BE DESCRIBED ON THE ARCHITECTS PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED DEMOLITION WHETHER SHOWN ON THE PLANS OR NOT.
- ALL CONDUITS SERVING OTHER SPACES OR FLOORS, THAT RUN THROUGH THE PROJECT AREA SHALL REMAIN ACTIVE DURING CONSTRUCTION, SO AS NOT TO CAUSE ANY DISRUPTION TO THESE OTHER SPACES.
- ALL ITEMS REMOVED UNDER THIS PROJECT SHALL BE DISPOSED OF OR TURNED OVER TO THE OWNER AT THE OWNER'S DISCRETION.
- PROPERLY REMOVE AND DISPOSE OF ALL ELECTRICAL EQUIPMENT, CONDUIT AND WIRING WHICH IS TO BE REMOVED. CONSULT WITH OWNER AND OBTAIN THE OWNERS APPROVAL PRIOR TO DISPOSAL OF REMOVED MATERIAL.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL CONDUITS, NEW OR EXISTING, WITHIN THE PROJECT AREA, ARE PROPERLY SUPPORTED AND PROVIDED WITH BONDING BUSHINGS IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE.

THESE DRAWINGS PROVIDE AN EMPTY RACEWAY AND OUTLET SYSTEM FOR FUTURE USE BY THE TENANT. THERE IS NO WIRING INCLUDED. ANY SUCH WIRING IS TO BE PROVIDED UNDER SEPARATE PERMIT.

ALL EMPTY RACEWAYS ARE TO BE CLEANED, AND A PULL STRING INSTALLED, PROVIDE A TEMPORARY CAP FOR ALL CONDUITS WHICH ORIGINATE FROM EXTERIOR OF THE BUILDING.



TELEPHONE/DATA RISER DIAGRAM



PARTIAL/EXISTING ELECTRICAL RISER DIAGRAM

ELECTRICAL NOTES AND RISERS

NO SCALE

Bd

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GRESHAM

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PROJECT NUMBER 710825

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