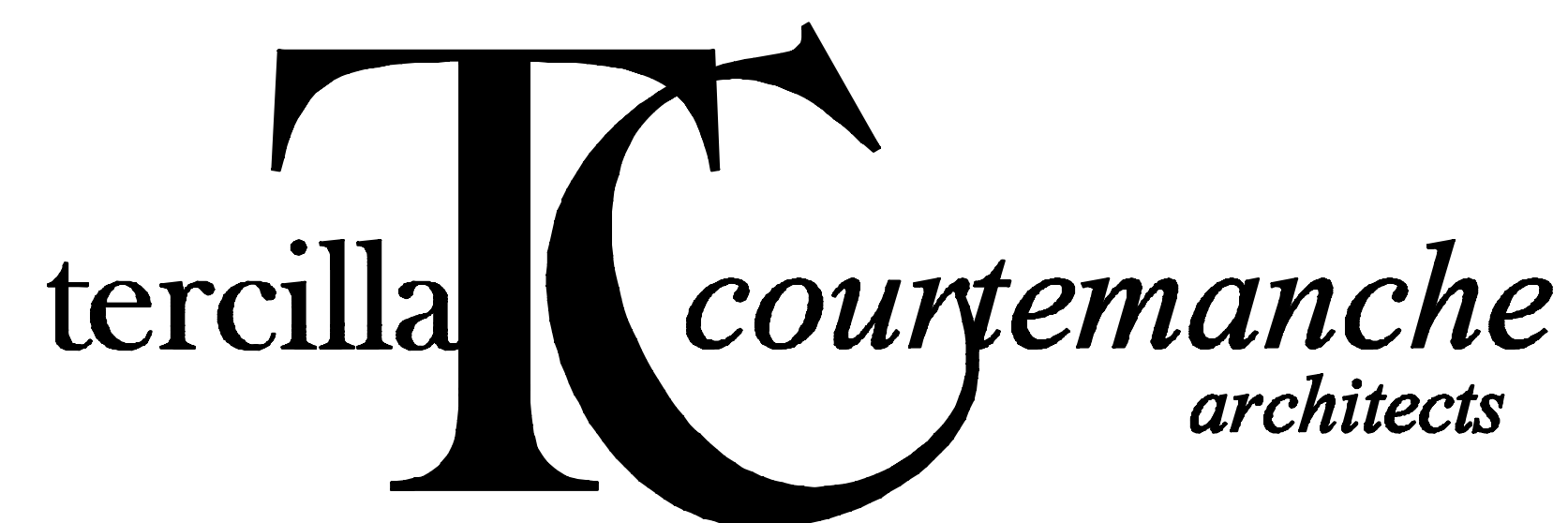


Tenant Improvement for: SMALL FISH BIG FISH SWIM SCHOOL SOUTHERN PARK OF COMMERCE Building B, Bays 3 & 4 Palm Beach County, Florida



AA 0003414

TO THE BEST OF MY KNOWLEDGE,
THESE DRAWINGS ARE COMPLETE AND
COMPLY WITH THE FLORIDA BUILDING CODE, THE FLORIDA
FIRE PREVENTION CODE AND ALL OTHER APPLICABLE
CODES AND REGULATIONS.

ARCHITECT:

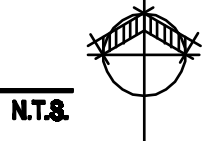
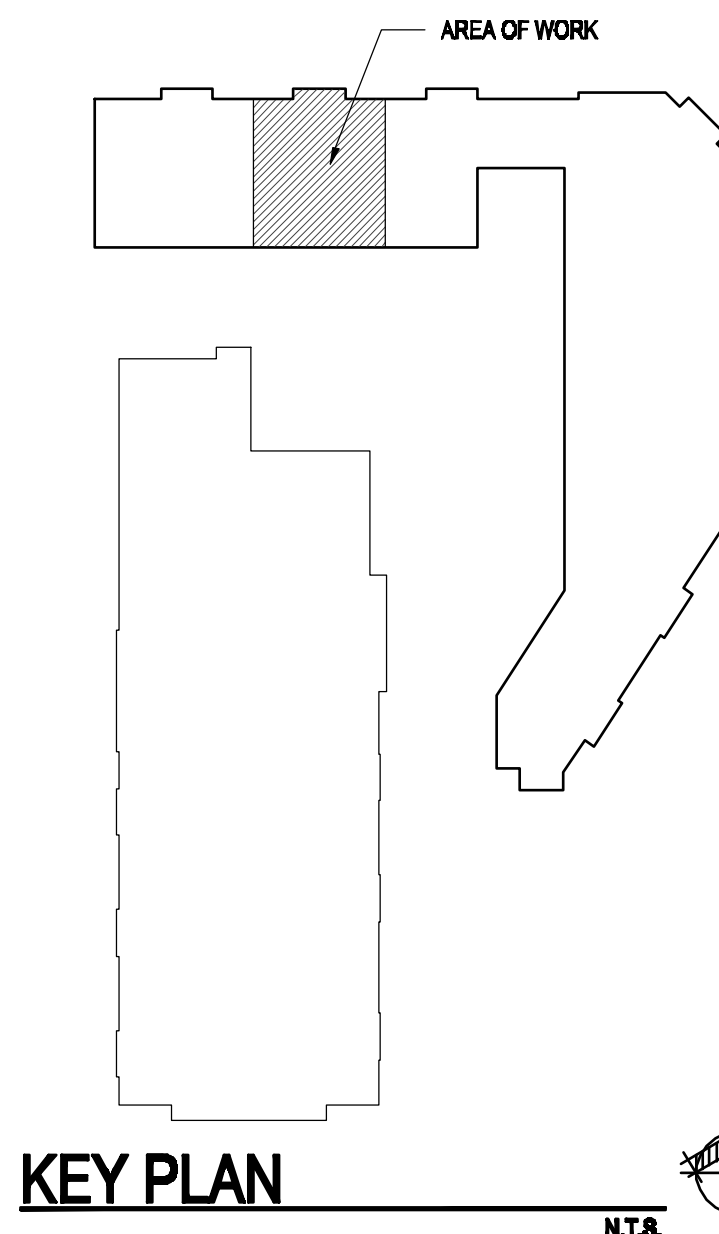
TERCILLA COURTEMANCHE
architects, inc.

2047 Vista Parkway, Suite 100
West Palm Beach, Florida 33411
Tel. 561-478-4457, Fax 561-478-4102

MECHANICAL / ELECTRICAL / PLUMBING:

CHANE, INC.

2705 Park Street
Lake Worth, Florida 33460
Tel. 561-586-4003, Fax 561-586-5688



ZONING INFORMATION

ZONING DISTRICT OR POOL	MINIMUM LOT DIMENSIONS				DENSITY/ FAR	BLDG. COVER.	SETBACKS/SEPARATIONS			
	SIZE	WIDTH	DEPTH	AREA			FRONT	SIDE	REAR	ST
REQUIRED IL	1 ACRE	100'	200'	200'	—	60%	40'	15'	25'	20'
PROVIDED IL	6.81 AC.	674'	611'	—	0.31	25.8%	95'	64'	—	61.5'

TABULAR DATA

CONTROL NUMBER: 2005-00067
APPLICATION NUMBER: D04-2007-521
PROJECT NAME: Southern Park of Commerce
EXISTING USE: WAREHOUSE
PROPOSED USE: OFFICE/WAREHOUSE, BUILDING SUPPLIES
FUTURE LAND USE: INDUSTRIAL (IND)
TIER: URBAN, SUBURBAN
ZONING: IL
SECTION/TOWNSHIP/RANGE: 527/T435/R42E
PCN: 00 42 43 33 07

CONCURRENCY APPROVAL

EXISTING:	DESCRIPTION	AREA	UNIT
BUILDING A	BUILDING SUPPLY RETAIL/OFFICE	9,200	SQ. FT.
BUILDING B	BUILDING SUPPLY WHOLESALE/WAREHOUSE	32,148	SQ. FT.
BUILDING B	BUILDING SUPPLY RETAIL/OFFICE	8,821	SQ. FT.
BUILDING B	BUILDING SUPPLY WHOLESALE/WAREHOUSE	22,335	SQ. FT.
TOTAL		76,632	SQ. FT.
PROPOSED:	ADDITIONAL USES: OFFICE ACCESSORY/RETAIL, POOL/DRESSING		
BUILDING A	BUILDING SUPPLY RETAIL/OFFICE	9,200	SQ. FT.
BUILDING B	BUILDING SUPPLY WHOLESALE/WAREHOUSE	32,148	SQ. FT.
BUILDING B	BUILDING SUPPLY RETAIL/OFFICE	8,821	SQ. FT.
BUILDING B	BUILDING SUPPLY WHOLESALE/WAREHOUSE	22,335	SQ. FT.
BUILDING B	OFFICE ACCESSORY/RETAIL	776	SQ. FT.
BUILDING B	POOL/DRESSING	1,000	SQ. FT.
TOTAL		76,632	SQ. FT.

TRAFFIC ANALYSIS ZONE	871		
LAST ZC/BCC APPROVAL DATE	08/25/04		
SITE AREA	8.81 ACRES		
TOTAL GROSS FLOOR AREA	296,754 SF		
	2.20 ACRES		
	92,400 SF		
OPEN SPACE CALCULATIONS	ACRES	SF	PERCENT
IMPERVIOUS	4.37	190,482	64.22%
BUILDING A	0.91	39,709	13.38%
BUILDING B	0.81	35,284	11.90%
VEHICULAR USE AREA	2.50	108,799	36.72%
WALKS	0.15	6,554	2.22%
PERVIOUS	2.44	106,182	35.78%
OPEN SPACE & BUFFERS	1.28	55,956	18.85%
DRY DETENTION	0.27	11,857	4.00%
LWDD CANAL	0.89	38,569	12.93%
TOTAL	6.81	296,664	100.00%
BUILDING HEIGHT	29.67'		
NUMBER OF STORIES	1		
FINISHED GRADE (AVERAGE)	16.75' NGVD		
EXISTING GRADE (AVERAGE)	16.50' NGVD		

PARKING CALCULATIONS	REQUIRED	PROVIDED
BUILDING A		
WAREHOUSE 1/1000 TOTAL SF = 32,148/1000	= 32.1	32
BUILDING SUPPLY RETAIL / OFFICE 1/200 OF OFFICE SF = 9200/200	= 46.0	46
MEZZ. 1/1000 TOTAL SF = 6,947/1000	= 6.9	7
BUILDING B		
BUILDING SUPPLY WHOLESALE / WAREHOUSE 1/1000 TOTAL SF = 22,335/1000	= 22.3	22
OFFICE ACCESSORY/RETAIL 1/200 SF = 776/200	= 3.9	4
POOL/DRESSING 1/200 SF OF POOL = 1000/200	= 5.0	5
BUILDING SUPPLY RETAIL / OFFICE 1/200 OF OFFICE SF = 11,467/200	= 57.3	57
(INCLUDES 294 SF OF OFFICE IN MEZZ.)		
MEZZ. 1/1000 TOTAL SF = 8,527/1000	= 8.5	9
TOTAL REQUIRED	182.0	182
HANDICAP	6	6
TOTAL PROVIDED		183

BUILDING A:
OFFICE USE NOT TO EXCEED 25.0% OF MAXIMUM S.F. IN BAY UNITS
OFFICE USE NOT TO EXCEED 20.5% OF MAXIMUM S.F. IN BIG BAY UNIT

BUILDING B:
OFFICE USE NOT TO EXCEED 26.0% OF MAXIMUM S.F.
* BUILDING SUPPLY SUBJECT TO ULDC REQUIREMENTS

SHEET INDEX

ARCHITECTURAL

- A1.1 FLOOR PLAN, MEZZANINE PLAN, CEILING PLANS & SCHEDULES
- A2.1 DETAILS & WALL TYPES
- A3.1 STRUCTURAL DETAILS

MECHANICAL / ELECTRICAL/ PLUMBING

- M1.1 HVAC PLANS, NOTES, SCHEDULES & DETAILS
- M1.2 PLUMBING PLAN, NOTES, SCHEDULES & RISER DIAGRAMS
- E1.1 ELECTRICAL PLANS, NOTES, SCHEDULES & RISER DIAGRAMS

ROOM #	ROOM NAME	FLOOR	BASE	WALLS	CEILING	CLNG. HGT.	REMARKS
100	VIEWING ROOM	VCT	4" VINYL	PAINTED GWB	ACT	8'-0" A.F.F.	PROVIDE 3 COLOR RANDOM FLOOR PATTERN. COORDINATE W/ TENANT.
101	CHANGING ROOM	VCT	4" VINYL	PAINTED GWB	ACT	8'-0" A.F.F.	TAPE AND MUD GWB ONLY. DO NOT PAINT. VINYL BASE @ GWB LOCATIONS ONLY. PROVIDE TILE IN SHOWER AREA FLOOR & TO 8" A.F.F. ON SHOWER WALL.
102	POOL AREA	CONCRETE	-	GWB/CONC	EXPOSED	-	-
103	EQUIPMENT ROOM	CONCRETE	4" VINYL	PAINTED GWB	GWB	8'-0" A.F.F.	EPOXY PAINT
104	MEN'S RESTROOM	VCT	4" VINYL	PAINTED GWB	GWB	8'-0" A.F.F.	EPOXY PAINT
105	WOMEN'S RESTROOM	VCT	4" VINYL	PAINTED GWB	GWB	8'-0" A.F.F.	EPOXY PAINT
200	CORRIDOR	CONCRETE	-	PAINTED GWB	ACT	8'-0" A.F.F.	TAPE AND MUD GWB ONLY. DO NOT PAINT. VINYL BASE @ GWB LOCATIONS ONLY.
201	OFFICE	VCT	4" VINYL	PAINTED GWB	ACT	8'-0" A.F.F.	-
202	OFFICE	VCT	4" VINYL	PAINTED GWB	ACT	8'-0" A.F.F.	-
203	WAREHOUSE	CONCRETE	-	GWB	EXPOSED	-	TAPE AND MUD GWB ONLY. DO NOT PAINT. VINYL BASE @ GWB LOCATIONS ONLY.

FINISH SCHEDULE NOTES:

- ALL FLOORING FINISHES TO BE SELECTED BY TENANT AND INSTALLED BY CONTRACTOR.
- CONFIRM ALL FINISH MATERIALS WITH TENANT PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO WALL COVERINGS, FLOORING, WALL BASE, CABINETRY, ETC.
- PAINT TO BE APPLIED AS FOLLOWS: ONE (1) COAT OF PRIMER AND TWO (2) COATS OF FINISH PAINT
- CONTRACTOR TO PROVIDE TRANSITION STRIPS AT THE CENTER OF DOOR OPENINGS WHERE DIFFERING FLOORING MATERIALS MEET.
- VCT TO BE ARMSTRONGS STANDARD EXCELOX W/ 4" BURKE MERCER VINYL BASE.
- ALL GWB EXPOSED TO POOL AREA SHALL BE MOLD-RESISTANT (MINIMUM MOLD GROWTH ASTM D3273 RATING OF 10).
- TENANT SHALL PAINT WITH MARINE GRADE EPOXY ALL METAL SURFACES WITHIN THE BAY PRIOR TO COMMENCEMENT OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO METAL DECKING, BAR JOISTS, PANEL CONNECTIONS, STAIRS & RAILS, METAL BEAMS, DOOR TRACKS ETC. CONTRACTOR TO COORDINATE WITH TENANT.
- SHOWER FLOOR TILE TO BE DALTILE 2'x2' MOSAIC COLORBODY PORCELAIN, PRICE GROUP 1. SHOWER WALL TILE TO BE DALTILE 8'x8" WALL TILE SEM-GLOSS, PRICE GROUP 1. SHOWER WALL FIELD COLOR TO BE WHITE WITH RANDOM TWO COLOR ACCENTS THROUGHOUT. COLOR TO BE SELECTED BY TENANT.

OPENING NUMBER	DOOR		FRAME		REMARKS
	SIZE	MATL.	TYPE	HWDR	
1	3'-0" x 7'-0"	WOOD	A	WD.	PASSAGE SET
2	3'-0" x 7'-0"	WOOD	A	WD.	PASSAGE SET
3	3'-0" x 7'-0"	ALUM.	B	ALLUM.	PRIVACY SET
4	3'-0" x 7'-0"	WOOD	A	WD.	PRIVACY SET
5	3'-0" x 7'-0"	WOOD	A	WD.	PRIVACY SET
6	3'-0" x 7'-0"	WOOD	A	WD.	LOCK SET
7	3'-0" x 7'-0"	WOOD	A	WD.	PASSAGE SET
8	3'-0" x 7'-0"	WOOD	A	WD.	PASSAGE SET
9	3'-0" x 7'-0"	WOOD	A	WD.	PASSAGE SET
E	EXISTING	-	-	-	-

DOOR HARDWARE SETS:

- DOOR HARDWARE TO BE LEVER ACTION SCHLAGE "AL" SERIES JUPITER, 628 FINISH.
- CONTRACTOR TO VERIFY ALL DOOR HARDWARE REQUIREMENTS W/ TENANT PRIOR TO INSTALLATION.

PROVIDE SEPARATE ITEMIZED COST FOR THE FOLLOWING:

- GLASS DOOR (6 IN LIEU OF FLUSH WOOD DOOR)
- W8 TYPE WALLS
- FRP BOARD
- HOSE BIBS AND RELATED PLUMBING
- BOLLARDS
- BABY CHANGING STATIONS
- CABINET, OTHER THAN SINK BASE & COUNTERTOP
- POOL AREA ROOF EXHAUST FAN & RELATED ELECTRICAL AND STRUCTURAL SUPPORT
- ALL ELECTRICAL RELATED TO ALL POOL EQUIPMENT, INCLUDING BUT NOT LIMITED TO HEAT PUMP, POOL PUMP, EXHAUST FANS, ETC.

GENERAL NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL LOCAL AND APPLICABLE CODES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS AND REGULATIONS OF THE BUILDING STANDARDS AND LOCAL JURISDICTIONS.

ALL FINISH MATERIALS, HARDWARE, ETC. SHALL MATCH THE BUILDING STANDARDS UNLESS NOTED OTHERWISE. IF THE CONTRACTOR HAS DIFFICULTY MATCHING BUILDING STANDARDS HE/SHE SHALL OBTAIN THE ARCHITECT'S APPROVAL PRIOR TO SUBSTITUTING ANY ITEMS.

PROPER CARE AND PROTECTION SHALL BE PROVIDED FOR ALL AREAS ADJACENT TO CONSTRUCTION AND ANY DAMAGE THAT MAY OCCUR TO THESE AREAS AS A RESULT OF THIS CONSTRUCTION SHALL BE PROMPTLY REPAIRED BY THE CONTRACTOR TO THE ORIGINAL CONDITION

ANY WORK THAT MUST BE PERFORMED IN OTHER TENANT SPACES IN RELATION TO THIS CONSTRUCTION SHALL BE PERFORMED IN A MANNER SO AS NOT TO DISRUPT THE OWNER. ALL WALLS, SLABS, CEILINGS, ETC. DISTURBED IN OTHER SPACES SHALL BE RESTORED TO ORIGINAL CONDITION ONCE WORK IS COMPLETE.

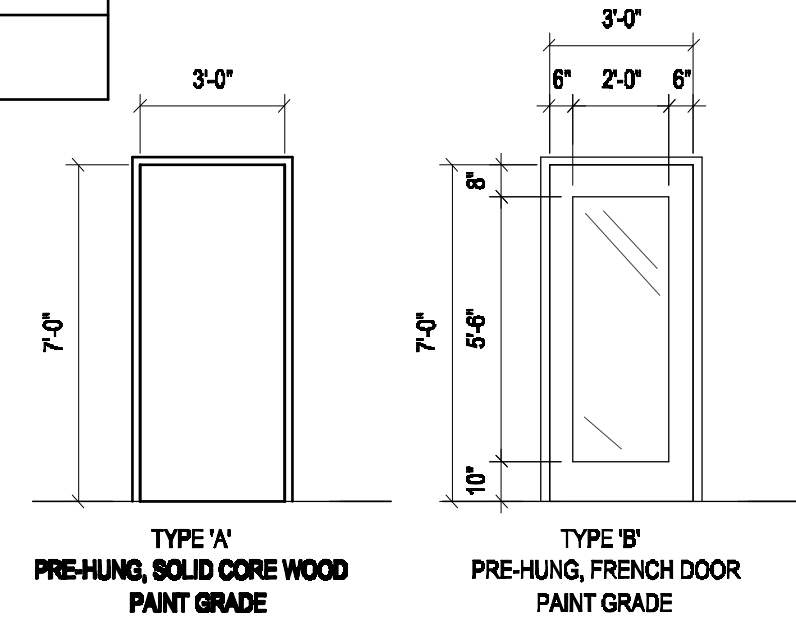
PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS AND VERIFY ALL EXISTING CONDITIONS AND THEIR COMPATIBILITY WITH THE NEW CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES

EXISTING FIRE RATINGS SHALL BE MAINTAINED AT SLAB PENETRATIONS RATED WALLS, RATED CEILING ASSEMBLIES AND FIRE COMPARTMENT ZONES

REVIEW FINAL LOCATIONS AND QUANTITIES OF FIRE EXTINGUISHERS WITH FIRE MARSHALL PRIOR TO CONSTRUCTION.

FIRE EXTINGUISHERS SHALL BE PLACED AT INTERVALS NOT EXCEEDING A TRAVEL DISTANCE OF 75'.

NOTE:
GC SHALL VERIFY THAT ROOF EQUIPMENT SELECTION DOES NOT EXCEED PARAPET HEIGHT. NOTIFY ARCHITECT PRIOR TO UNIT PURCHASE OF ANY CONDITION WHERE THIS CANNOT BE MET.

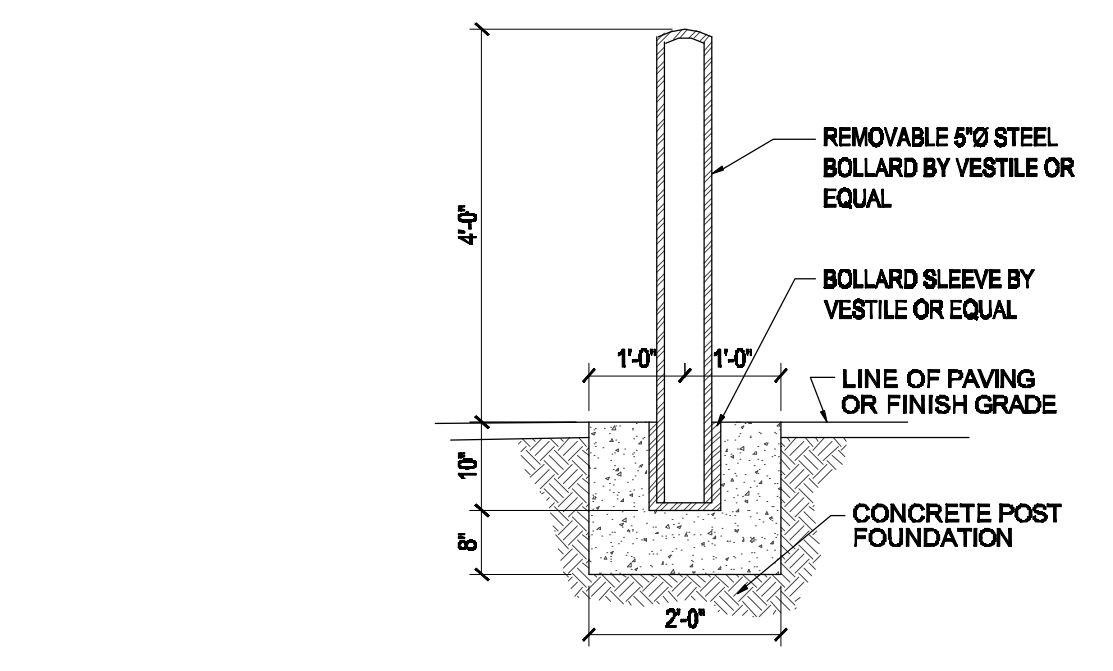


05 DOOR ELEVATION
SCALE: 1/4" = 1'-0"

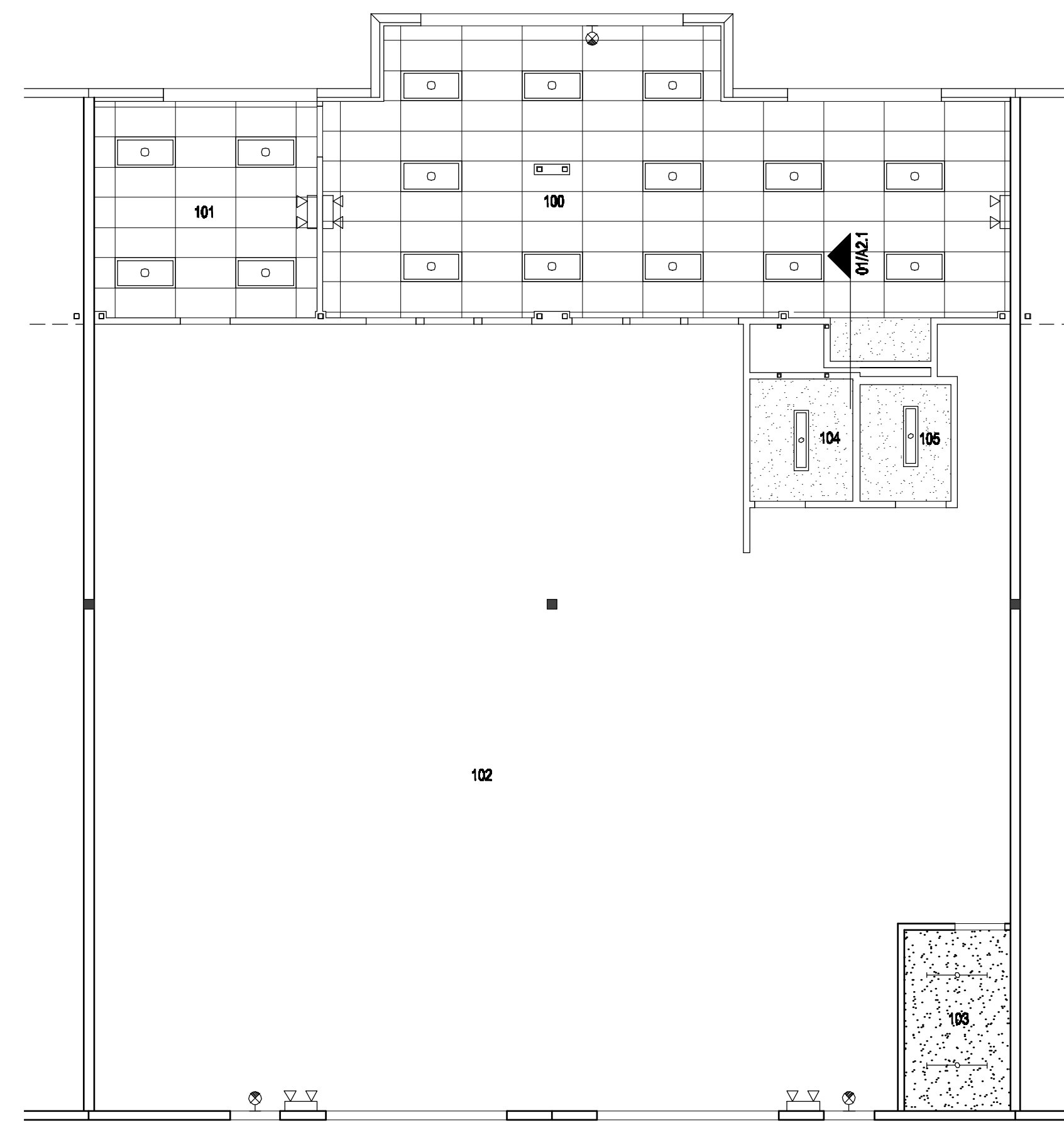
CEILING LEGEND	
	2x4 ARMSTRONG FINE FIBROUS SQUARE LAY-IN CEILING #1729 W/ 15/16" PRELUDE XL EXPOSED TEE GRID.
	GYPSUM BOARD CEILING/SOFFIT
	2x4 FLUORESCENT FIXTURE WITH PRISMATIC LENS
	8' FLUORESCENT FIXTURE
	4' FLUORESCENT FIXTURE
	EXIT SIGN
	EMERGENCY LIGHTS

NOTES:
REFER TO ELECTRICAL PLANS FOR FIXTURE TYPES & SCHEDULE

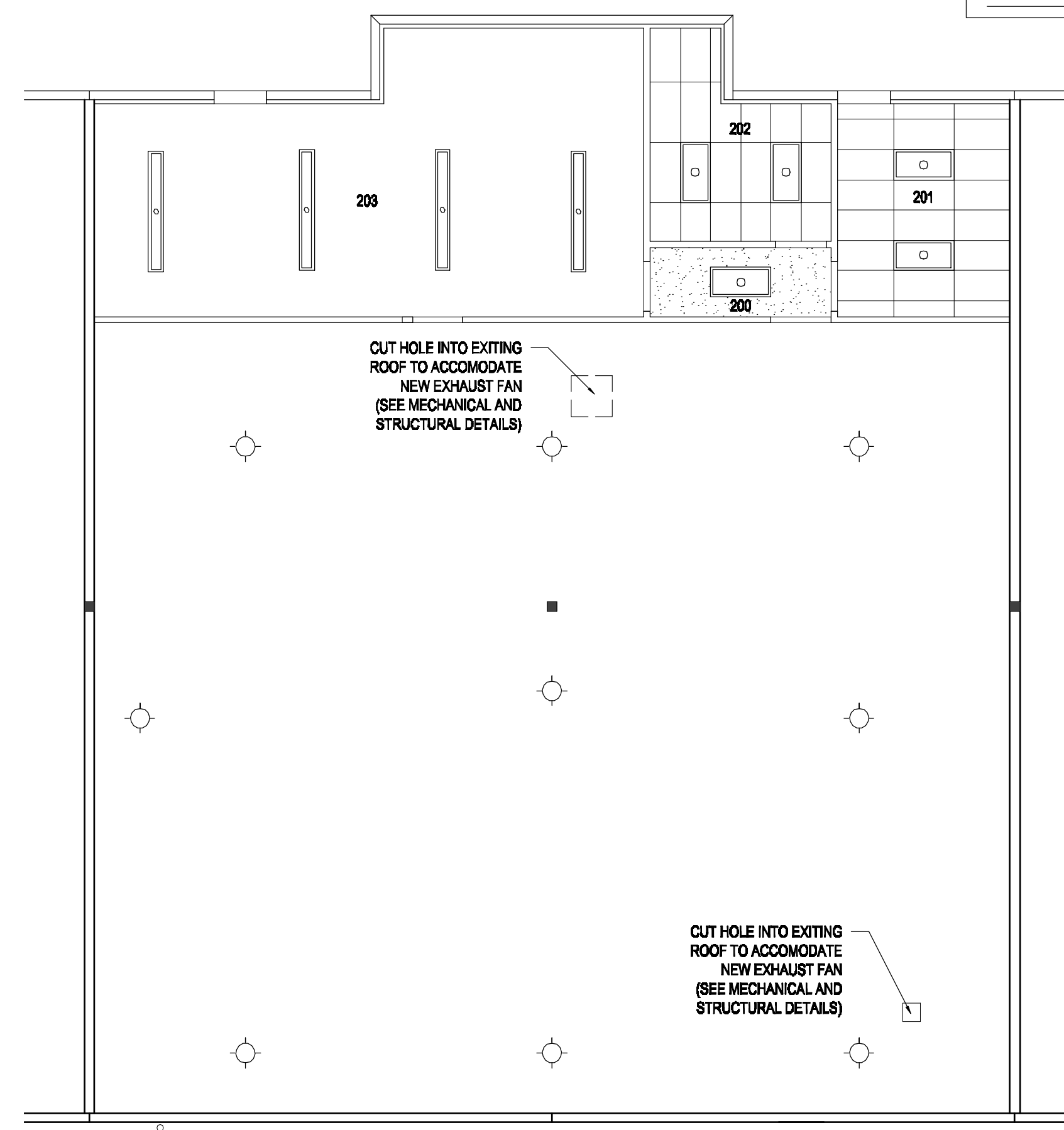
BUILDING CODE INFORMATION	
BASED ON FLORIDA BUILDING CODE 2007 w/ 2009 REVS.	
BUILDING TYPE	TYPE II B CONSTRUCTION, SPRINKLERED
OCCUPANCY:	GROUP A-3, ASSEMBLY
AREA CALCULATIONS:	
GROUND FLOOR:	
VIEWING AREA:	776 S.F.
POOL / DRESSING AREA:	3,538 S.F.
MEZZANINE:	
OFFICE AREA:	294 S.F.
WAREHOUSE AREA:	801 S.F.
WAREHOUSE / CIRCULATION:	173 S.F.
TOTAL TENANT AREA =	5,380 S.F.
TOTAL OFFICE PERCENTAGE = 20%	
EXIT REQUIREMENTS:	
Dead end limit-maximum condition	20 Feet
Travel distance to exit-maximum condition	250 Feet



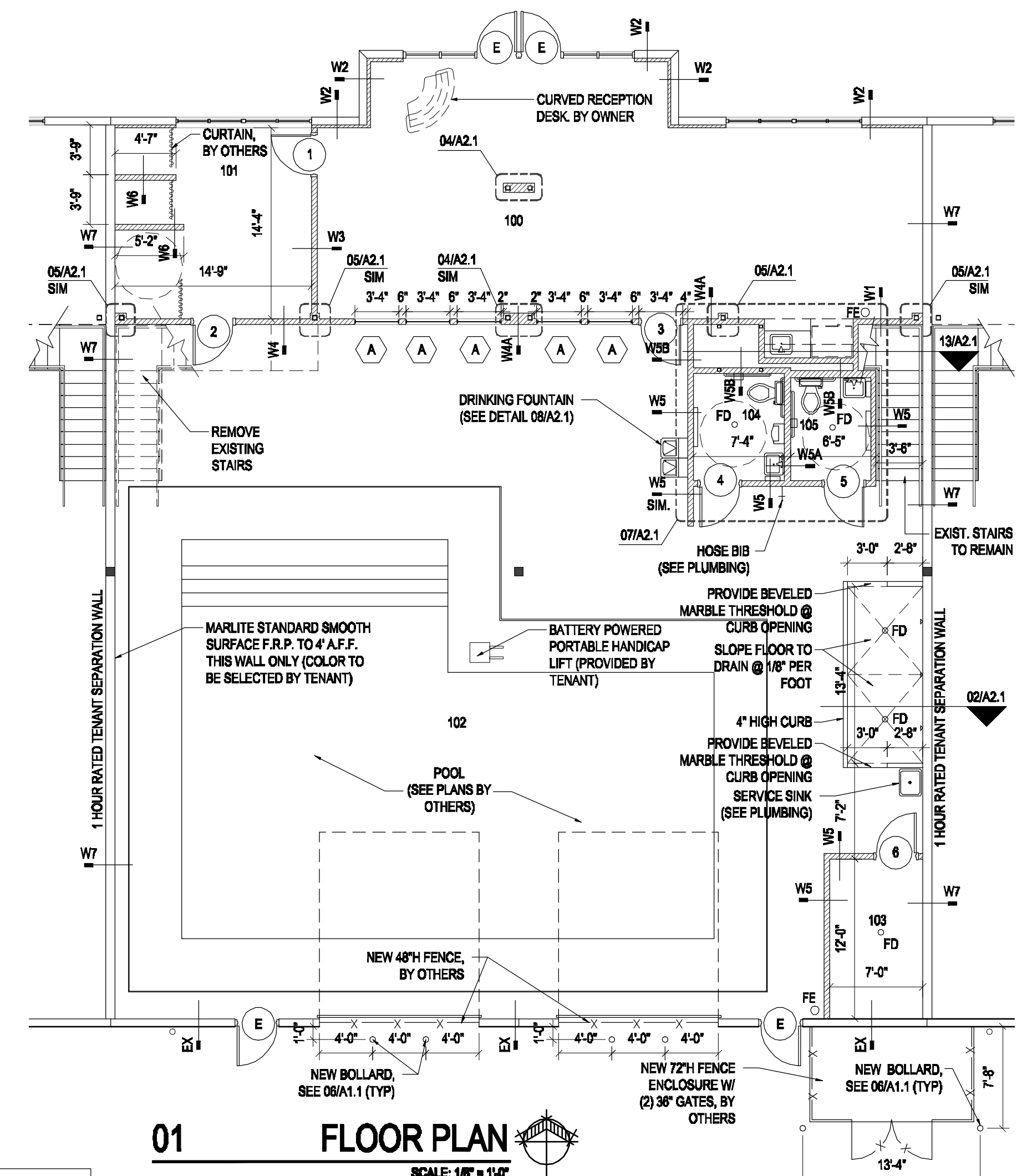
06 BOLLARD DTL
SCALE: 1/2" = 1'-0"



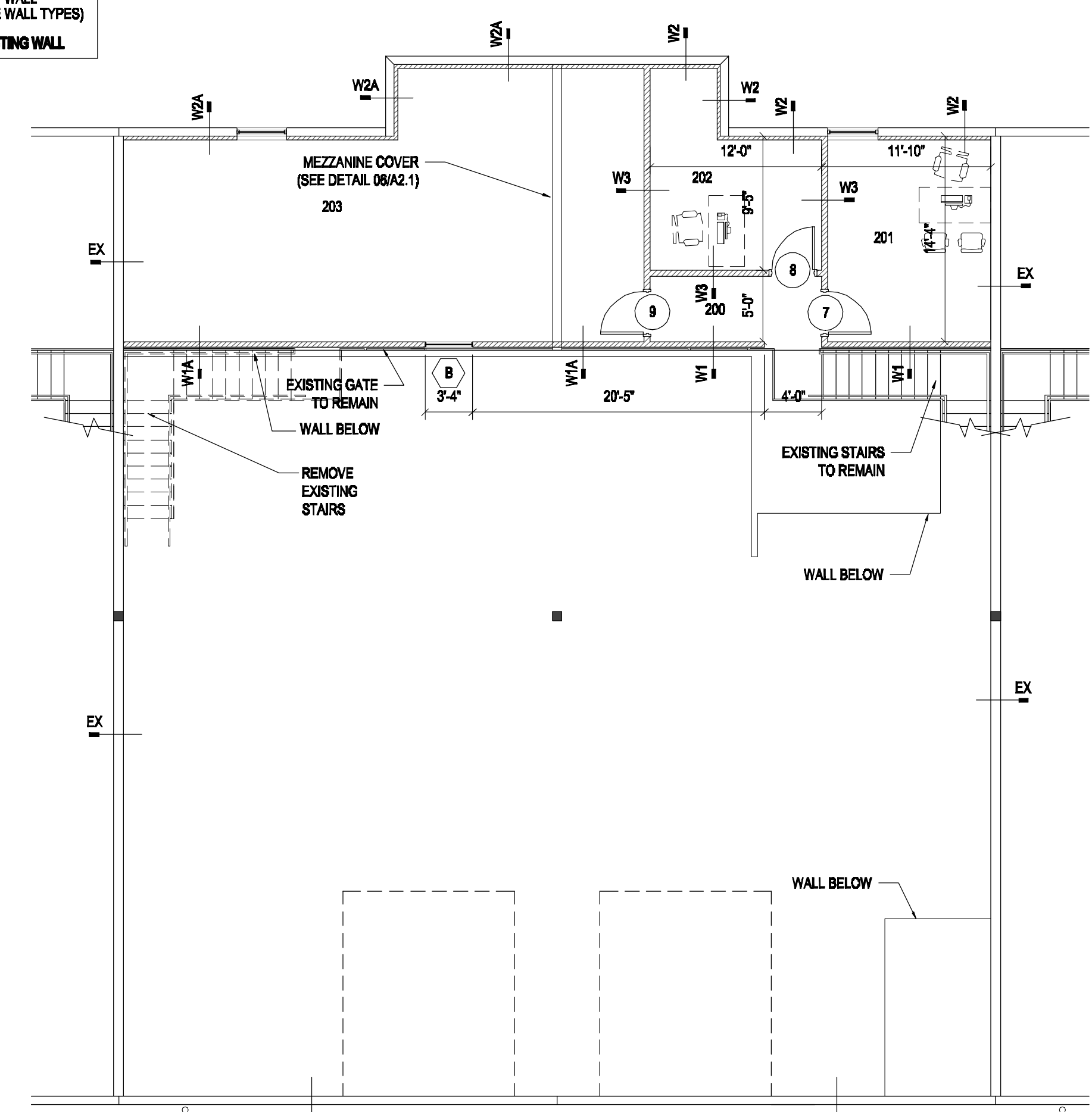
03 REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



04 MEZZANINE REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



01 FLOOR PLAN
SCALE: 1/8" = 1'-0"



02 MEZZANINE PLAN
SCALE: 1/8" = 1'-0"

WALL LEGEND	
	NEW WALL (SEE WALL TYPES)
	EXISTING WALL

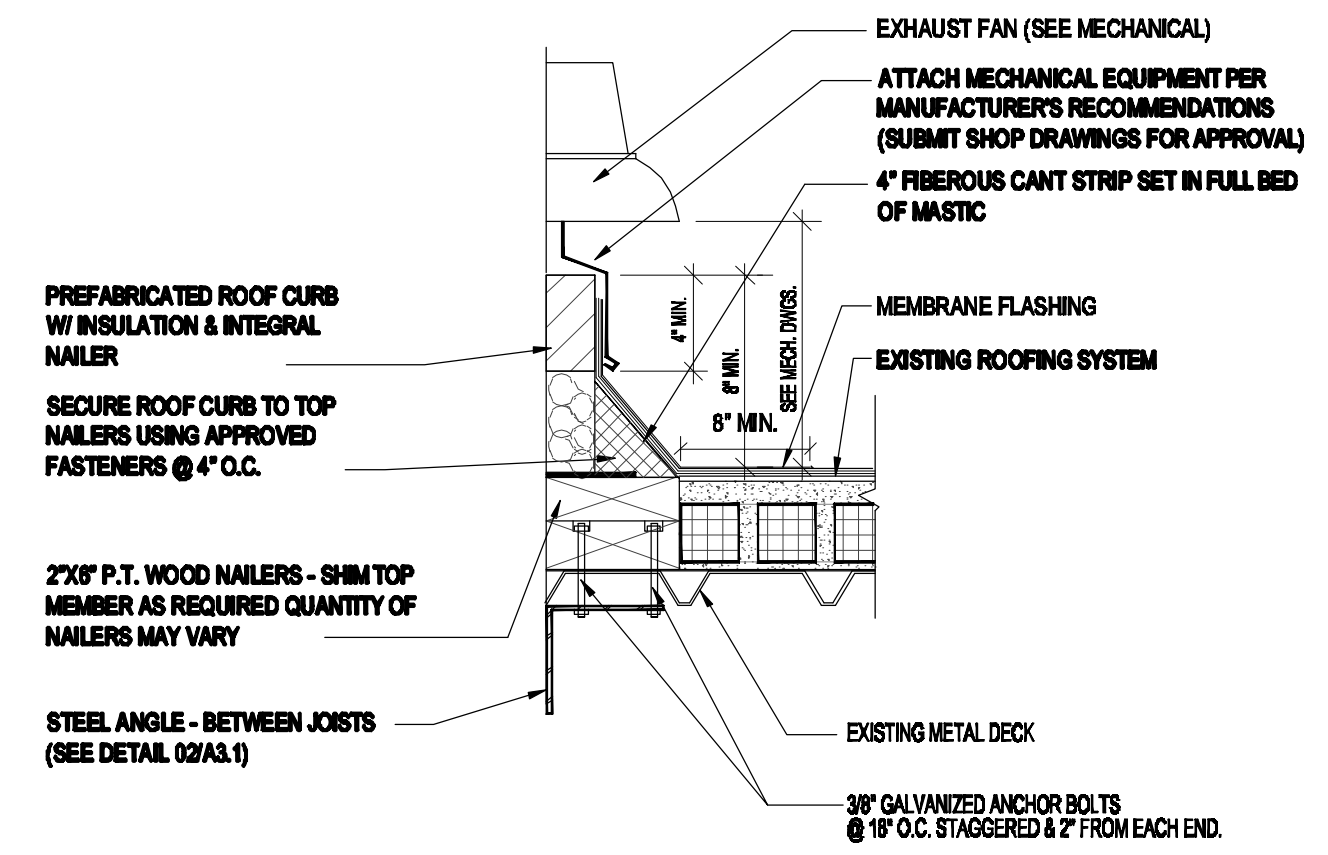
tercilla Courtemanche architects

AA 0009414
2047 visa parkway, suite 100
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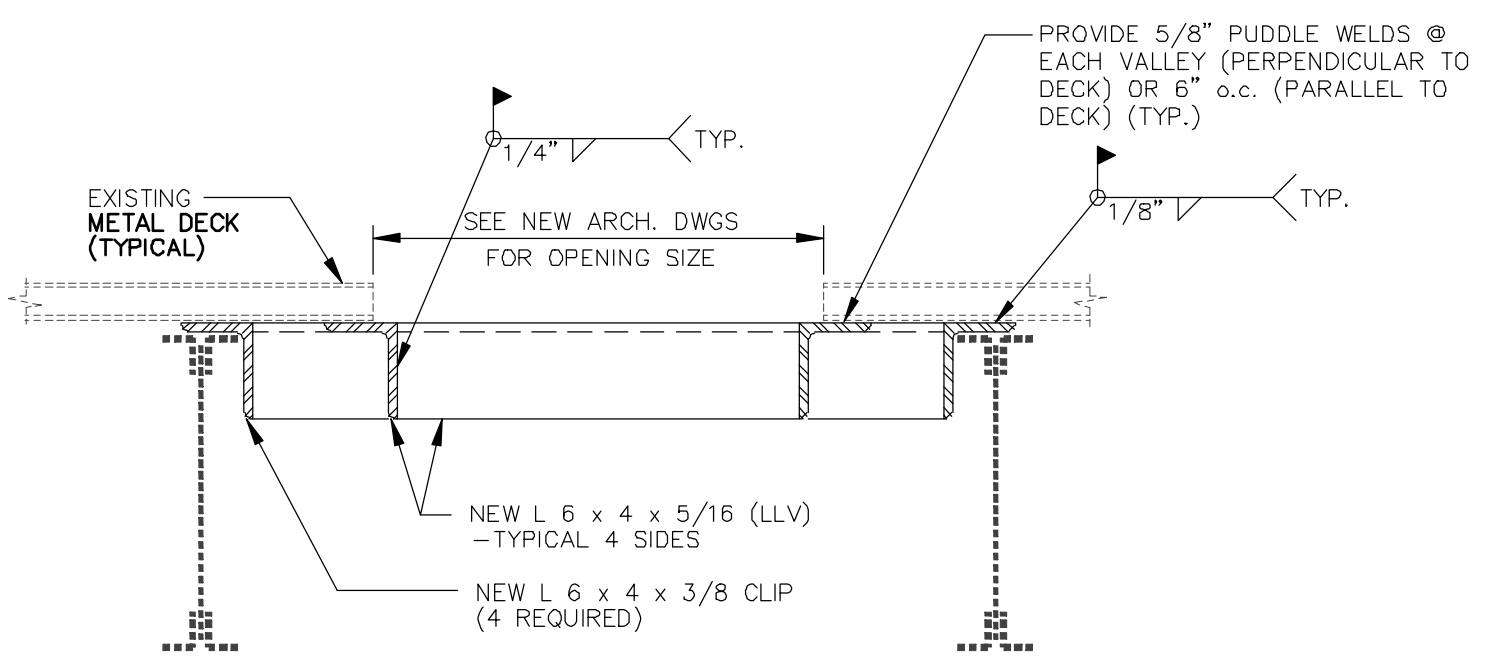
Tenant Improvement for:
Small Fish Big Fish Swim School
Southern Park of Commerce
Building B, Bays 3 & 4
Palm Beach County, FL

commission	211021
date:	8-17-11
revision	date
no.	▲
	▲
	▲
	▲
	▲
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drawing	A1.1
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01 TYP FAN CURB DETAIL
SCALE: 1/2"=1'-0"



1. PROVIDE AT NEW EXHAUST FAN OPENING.
2. SEE ARCH DWGS FOR OPENING SIZE & LOCATION.
3. STRUCTURAL STEEL: F_y = 36 KSI, WELDS: F70XX ELECTRODES.
4. FAN TO BE ATTACHED PER THE PRODUCT APPROVAL.
5. DESIGN LATERAL WIND LOAD: 45.3 PSF PER FLORIDA BUILDING CODE 2007 EDITION WITH 2009 SUPPLEMENTS, FOR A 140 MPH WIND SPEED, EXPOSURE C, 1.0 IMPORTANCE FACTOR AND BUILDING CATEGORY II.

02 TYP. ROOF OPENING DETAIL
SCALE: 1/2"=1'-0"

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Tenant Improvement for:
Small Fish Big Fish Swim School
Southern Park of Commerce
Building B, Bays 3 & 4
Palm Beach County, FL

commission	211021
date:	8-17-11
revision	date
no.	△
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drawing **A3.1**
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EXHAUST FAN SCHEDULE

MODEL NUMBERS BASED ON GREENHECK

SYSTEM	POOL DECK	CHEMICAL ROOM	REST ROOMS
MODEL	GB-300-15	GB-101-4	SP-B70
CFM	7350	57	57
SP	0.25	0.25	0.25
RPM	514	1093	675
HP	1-1/2	1/4	FRACTIONAL
FLA	7.0	5.8	---
WEIGHT	247	100	---
VOLTS-PH	208/3 PH	120/1 PH	---
FUSE	15	15	---
ROOF OPENING	32.5 X 32.5	14.5 X 14.5	CEILING MOUNTED

- NOTES:
 1. HIGH WIND RATED TO 150 MPH
 2. SWITCH NEMA-1, TOGGLE, JUNCTION BOX MOUNTED & RATED
 3. PROVIDE GPF ROOF CURB
 4. ALUMINUM BIRDSCREEN
 5. BEARINGS W/ GREASE FITTINGS
 6. PROVIDE & INSTALL HURRICANE ANCHORING FOR ROOF EXHAUST FAN & GRAVITY HOOD

ROOFTOP AIR CONDITIONING SCHEDULE

MODEL NUMBERS BASED ON TRANE.

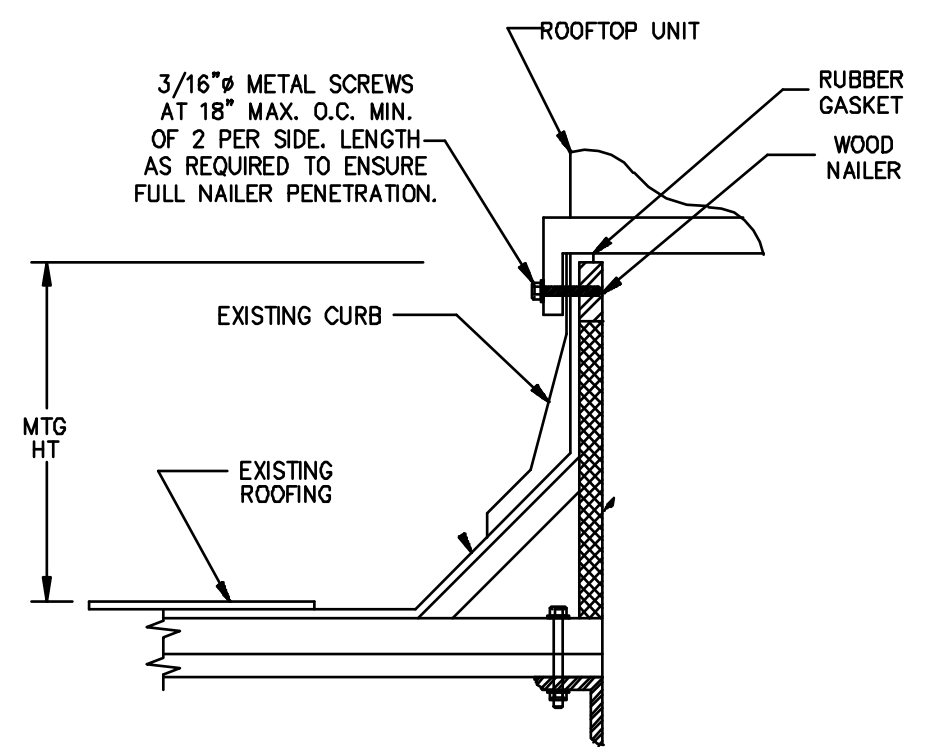
SYSTEM	RTU-1	RTU-2
MODEL	4TCC3036A1	4TCC3048A1
CFM	1200	1600
ID FAN HP/FLA	0.5/2.7	0.75/4.0
HEAT KW @208V	9.0	9.0
OD FAN FLA	1.1	1.4
COMP FLA	15.4	20.5
OUTSIDE AIR (NOTE 3)	150	200
VOLTS-PH	208/3 PH	208/3 PH
FUSE	35	50
REFRIGERANT	R-410	R-410

TOTAL BTUH (NET)	35000	46500
TOT. SENS. (NET)	26300	34900
SEER	13.0	13.0
EER		
IPLV		
WEIGHT (LBS)	354	479
DIMENSIONS (HXWXD)	35" X 49" X 41"	37" X 59" X 44"

- NOTES:
 1. ACCEPTABLE ALTERNATE MANUFACTURER SHALL BE CARRIER.
 2. PRIOR TO BEGINNING WORK, CONTRACTOR SHALL VERIFY WHETHER THERE IS AN EXISTING ROOF CURB.
 IF NO CURB EXISTS, PROVIDE THE APPROPRIATE MANUFACTURER ROOF CURB TO MATCH THE SCHEDULED UNIT.
 IF THERE IS AN EXISTING CURB, VERIFY THAT THE EXISTING CURB WILL FIT TO THE NEW ROOFTOP UNIT.
 UTILIZE AN APPROPRIATE MANUFACTURER ROOF CURB ADAPTOR IF NECESSARY. INCLUDE ALL COSTS IN BID.
 3. SEE OUTDOOR AIR CALCULATIONS.
 4. PROVIDE SINGLE-POINT POWER KIT FOR ALL UNITS.

MECHANICAL LEGEND

	24X24 PERFORATED CEILING DIFFUSER.
	24X24 PERFORATED RETURN/TRANSFER GRILLE.
	SIDEWALL SUPPLY AIR REGISTER (SAR).
	SIDEWALL RETURN GRILLE (SAG).
	EXHAUST FAN
	CURVED BLADE CEILING DIFFUSER (CBCD)
	RIGID DUCTWORK
	FLEXIBLE DUCTWORK.
	MANUAL VOLUME DAMPER
	WALL MOUNTED THERMOSTAT.
	DUCT MOUNTED SMOKE DETECTOR.
	EMERSON HEAT FAN CONTROLS



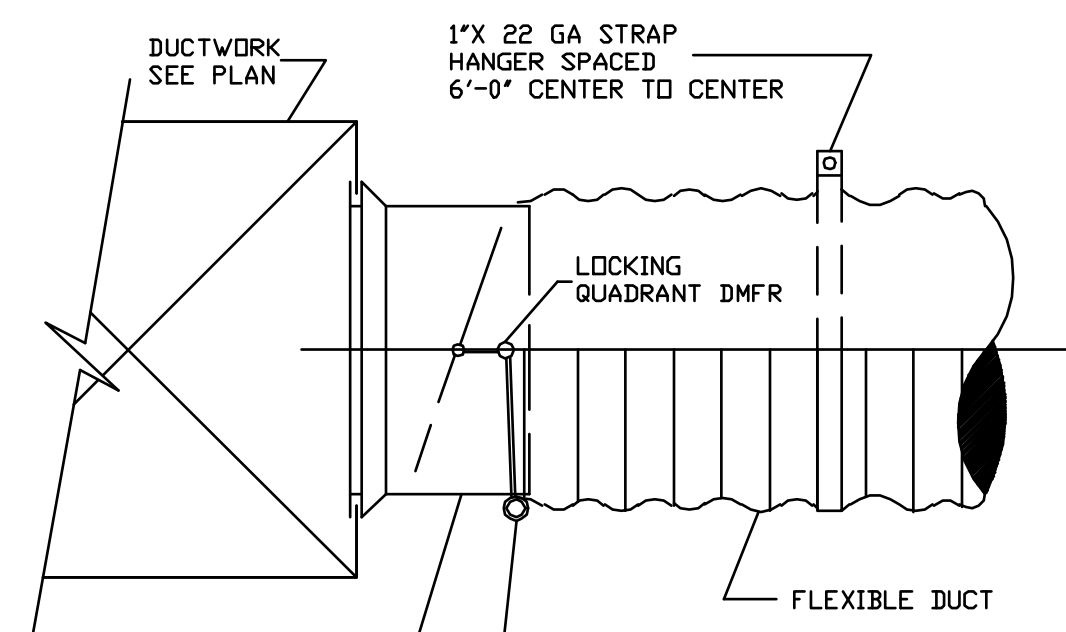
SUPPORT CURB DETAIL - NTS

GENERAL MECHANICAL NOTE

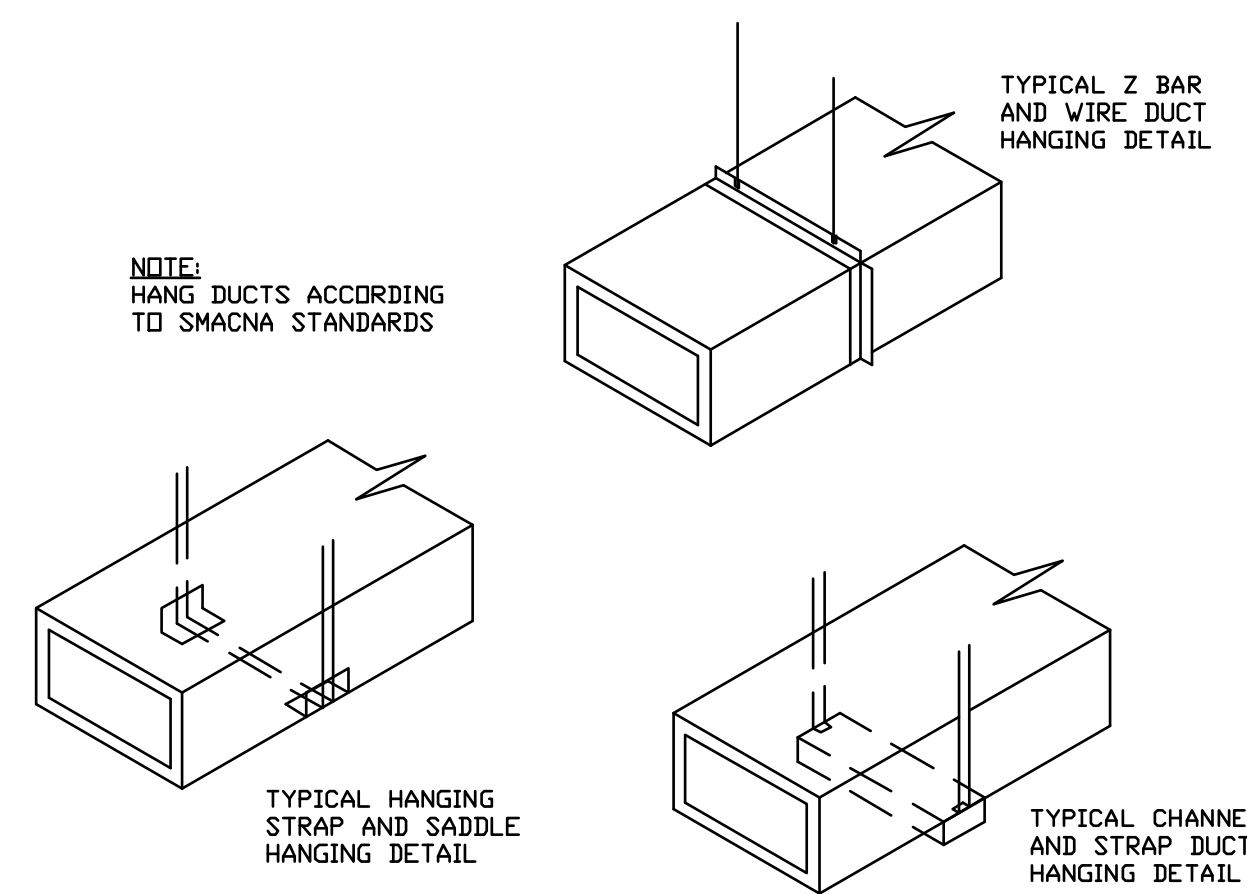
- VISIT THE SITE BEFORE SUBMITTING A BID. DETERMINE THE CHARACTERISTICS OF EXISTING FACILITIES WHICH WILL AFFECT PERFORMANCE OF THE WORK, BUT WHICH ARE NOT SHOWN ON THE DRAWINGS OR THE SPECIFICATIONS.
- SHOP DRAWINGS OR FULLY DESCRIPTIVE CATALOG DATA SHALL BE FURNISHED BY THE CONTRACTOR FOR ALL KINDS OF MATERIAL AND EQUIPMENT FURNISHED AND INSTALLED UNDER THIS CONTRACT. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT A SUFFICIENT NUMBER OF COPIES OF ALL SUCH SHOP DRAWINGS OR CATALOG DATA TO PROVIDE HIM WITH AS MANY REVIEWED COPIES AS HE MAY NEED, PLUS TWO (2) COPIES FOR RETENTION BY THE ARCHITECTS AND ENGINEERS.
- ALL CUTTING, PATCHING, STRUCTURAL STEEL, WEATHER PROOFING, PAINTING, AND WALL OPENINGS SHALL BE BY THE GENERAL CONTRACTOR.
- ALL OPENINGS IN BUILDING STRUCTURE, FOR DUCTWORK, PIPING, ETC. TO BE 1/2" LARGER (ON ALL SIDES) THAN THE OUTSIDE DIMENSIONS. FILL VOIDS WITH FIRE RETARDANT SILICONE FOAM (I.E. CHASE-FOAM CTC PR-855 BY CHASE TECHNOLOGY CORP.).
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED.

GENERAL HVAC NOTES

- VISIT THE SITE PRIOR TO SUBMITTING A BID. DETERMINE THE CHARACTERISTICS OF EXISTING FACILITIES WHICH WILL AFFECT PERFORMANCE OF THE WORK, BUT WHICH ARE NOT SHOWN ON THE DRAWINGS.
- PROVIDE ALL LABOR PERMITS, MATERIAL, TOOLS, SUPPLIES, EQUIPMENT TO INSTALL A COMPLETE AND OPERATING AIR CONDITIONING SYSTEM. INSTALLATION SHALL BE IN ACCORDANCE WITH LOCAL CODES.
- PAY ALL COSTS OF PERMIT INSPECTIONS AND ALL OTHER COSTS INCIDENTAL TO THE COMPLETION AND TESTING OF THIS WORK.
- CONTRACTOR SHALL SUBMIT, FOR APPROVAL FIVE (5) COPIES OF MANUFACTURER'S DRAWINGS FOR EACH PIECE OF EQUIPMENT AND CONTROLS INCLUDED IN CONTRACT.
- ALL CONDITIONED AIR DUCTWORK SHALL BE FIBREGLASS, R=6.0 MIN. EXHAUST & OUTSIDE AIR DUCTWORK SHALL BE GALVANIZED STEEL. ALL BENDS GREATER THAN 45 DEGREES SHALL HAVE TURNING VANES. CONTRACTOR SHALL VERIFY ALL CLEARANCES AND ADJUST FOR FIELD CONDITIONS PRIOR TO CONSTRUCTING ANY DUCTWORK. ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS. INSTALL ALL DUCTWORK PER APPROPRIATE SMACNA STANDARD.
- THE CONTRACTOR SHALL FURNISH A WRITTEN WARRANTY THAT SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE ARCHITECT. ANY BREAK-DOWN OCCURRING IN THE FIRST YEAR SHALL BE REPAIRED AT NO COST TO THE OWNER. A/C COMPRESSORS SHALL HAVE A 5 YEAR GUARANTEE.
- PROVIDE & INSTALL ALL CONTACTORS, RELAYS, AND CONTROLS.
- HVAC CONTRACTOR SHALL PROVIDE A TEST AND BALANCE REPORT FOR ALL MECHANICAL SYSTEMS AND SHALL INCLUDE AIR QUANTITIES FOR ALL SUPPLY GRILLES, RETURN GRILLES, AND EXHAUST GRILLES AND THE LEAVING AND ENTERING AIR TEMPERATURE (T) FROM AT EACH EVAPORATOR COIL. INCLUDE ALL VOLTAGE AND AMPERAGE FOR EACH MOTOR. THE REPORT SHALL BE DONE BY AN INDEPENDANT T&B CONTRACTOR LICENSED BY THE STATE OF FLORIDA AND SUBMITTED TO THE ARCHITECT.
- ALL AIR DEVICES (DIFFUSERS, REGISTERS AND GRILLES) SHALL BE ALL ALUMINUM CONSTRUCTION WITH EXPOSED SURFACE OFF WHITE BAKED ENAMEL FINISH OR AS SPECIFIED BY ARCHITECT. DEVICES SHALL BE TITUS OR METALAIR.
- ALL BRANCH TAKE OFFS TO BE PROVIDED W/ MANUAL VOLUME DAMPERS. ALL ELBOWS AND TEES MUST BE FURNISHED W/TURNING VANES. PROVIDE MANUAL VOLUME DAMPERS WITH EXTRACTOR AT ALL FLEX TAKE OFFS.
- PROVIDE NEW FILTERS FOR ALL RTU'S BEFORE STARTING THEM. REPLACE FILTERS PRIOR TO FINAL ACCEPTANCE BY OWNER.
- FIRE DAMPERS SHALL BE STYLE B WITH THE BLADES OUT OF THE AIRSTREAM. DAMPERS FOR RECTANGULAR DUCTS SHALL BE EQUAL TO RUSKIN #D-BD2 WITH 1 1/2 HOUR RATING & DAMPERS FOR ROUND DUCT SHALL BE EQUAL TO RUSKIN #D-BD2-CR WITH 1 1/2 HOUR RATING.
- ALL PENETRATIONS OF FIRE RESISTIVE ASSEMBLIES INCLUDING FLOOR ASSEMBLIES SHALL BE PROTECTED THROUGH STOP ASSEMBLY AND INSPECTED FOR COMPLIANCE PRIOR TO CLOSE IN. THE CONTRACTOR MUST VISIT THE SITE & REVIEW THE ARCHITECTURAL PLANS PRIOR TO BID TO LOCATE ALL NEW FIRE WALLS & ANY EXISTING MECHANICAL DUCTWORK, PIPING, ETC. THAT WILL REQUIRE NEW FIRE DAMPERS OR THROUGH STOPS. ALL COSTS SHALL BE INCLUDED IN THE BID.
- THE DESIGN & INSTALLATION OF THE MECHANICAL SYSTEMS & ALL APPURTENANCES SHALL COMPLY STRICTLY WITH THE APPLICABLE PROVISIONS OF THE FLORIDA BUILDING MECHANICAL CODE & THE LOCAL AMENDMENTS TO THE FLORIDA BUILDING MECHANICAL CODE.
- PROVIDE A 10 FOOT MINIMUM CLEARANCE FROM ALL VENTS THROUGH ROOF (VTR) AND EXHAUST FANS TO OUTSIDE AIR INTAKES.
- ALL STORAGE ROOMS, TOILETS, ETC. WILL HAVE UNDERCUT DOORS TO PROVIDE VENTILATION REQUIRED WHEN DOOR OR TRANSFER GRILLES ARE NOT SHOWN.
- A/C CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE HIS WORK FOR SIZE, LOCATION, CLEARANCE, ACCESS AND ELECTRICAL CHARACTERISTICS WITH ALL OTHER TRADES AND TO PROVIDE SHOP DRAWINGS TO THE ENGINEER FOR REVIEW BEFORE INSTALLATION OF DUCTWORK OR EQUIPMENT. SHOP DRAWINGS WILL INCLUDE BEAM OR STRUCTURE ELEVATION & REQUIRED EQUIPMENT ACCESS AREAS.
- COORDINATE LOCATION OF CEILING DIFFUSERS, GRILLES AND REGISTERS IN THE FIELD WITH LIGHTS AND ARCHITECTURAL ELEMENTS.
- COORDINATE LOCATION OF AHU'S, THERMOSTATS, FANS AND DUCTWORK WITH BUILDING STRUCTURE AND OTHER TRADES SO THAT NO INTERFERENCES OCCUR.
- MECHANICAL PLANS IN GENERAL, ARE DIAGRAMMATIC IN NATURE, AND ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL, PLUMBING, ELECTRICAL AND STRUCTURAL PLANS. DUCT BENDS AND TRANSITIONS WILL BE REQUIRED TO PROVIDE AND INSTALL A COMPLETE FUNCTIONAL SYSTEM AND SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- FAN DRIVES SHALL BE ADJUSTED TO DELIVER THE SPECIFIED CFM AGAINST THE ACTUAL STATIC PRESSURE OF THE INSTALLATION.
- ALL OUTSIDE EQUIPMENT SHALL BE SECURED TO WITHSTAND 140 M.P.H. WINDS.
- ALL UNITS SHALL BE PROVIDED W/ HONEYWELL ELECTRONIC PROGRAMMABLE THERMOSTATS.



DUCT TAKE-OFF DETAILS



METHODS OF HANGING DUCTS nts

AIR DISTRIBUTION SCHEDULE-BASED ON TITUS

MODEL	MATERIAL	DEVICE	REMARKS
250-AA	ALUMINUM	CURVED BLADE CEILING DIFFUSER	W/OBD NOTE 1
PAS-AA	ALUMINUM	24X24 PERFORATED SUPPLY GRILLE	----- NOTE 2
PAR-AA	ALUMINUM	24X24 PERFORATED RETURN GRILLE	W/OBD NOTE 2
300-FS-AA	ALUMINUM	DOUBLE DEFLECTION, ADJUSTABLE BLADE SIDEWALL DIFFUSER	W/OBD NOTE 1
4FL-AA	ALUMINUM	FIXED BLADE CEILING RETURN GRILLE	W/OBD NOTE 1

- NOTES:
 1. USE BORDER TYPE 1 FOR SURFACE MOUNT.
 2. USE BORDER TYPE 3 FOR LAY-IN CEILING.

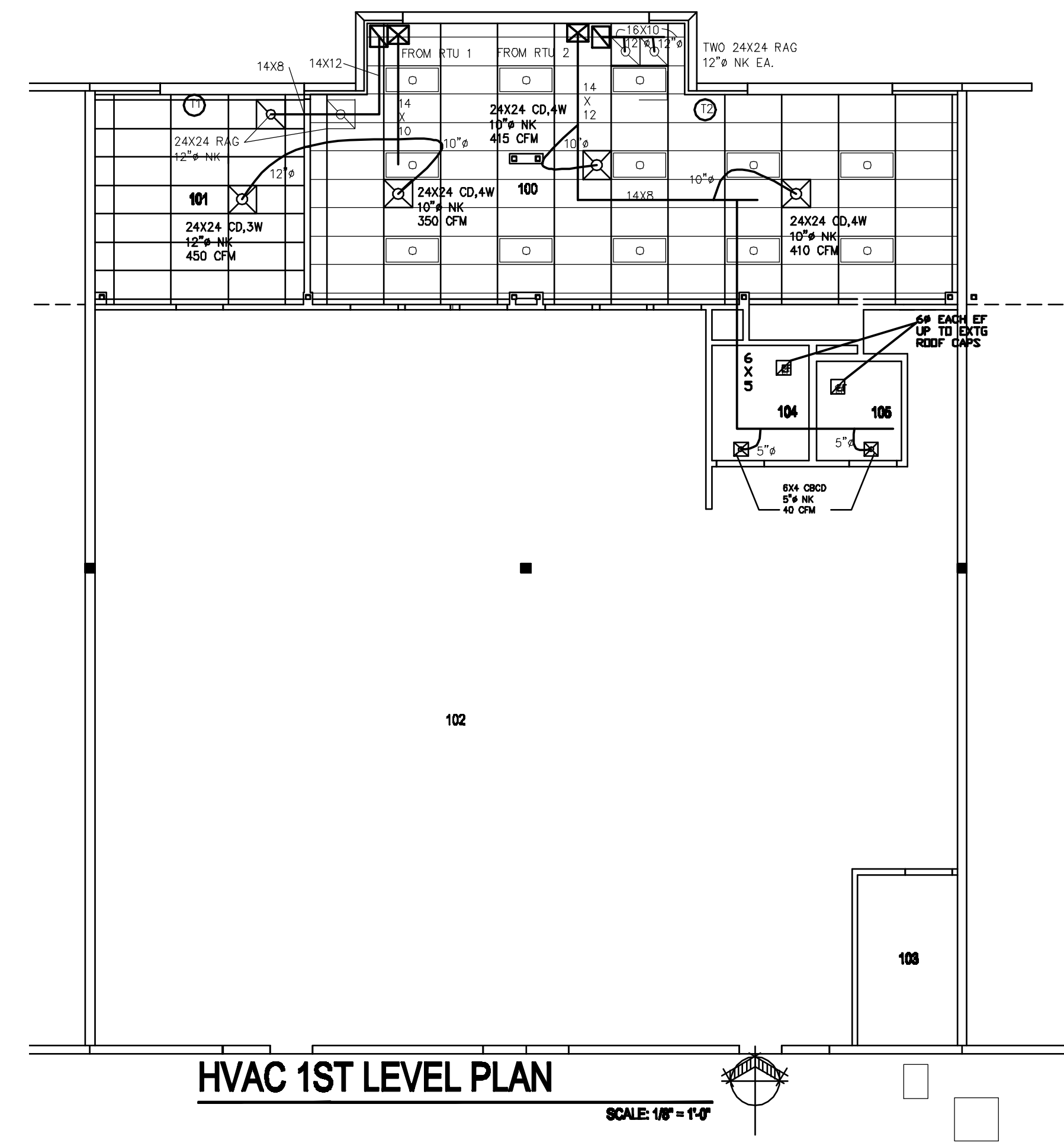
POOL AREA VENTILATION CALCULATION	
3000 SF X 20FT HIGH	60,000 CUBIC FT
4 AIR CHANGES PER HOUR	60000/15 MINUTES=4000 CFM
CHEMICAL STORAGE ROOM VENTILATION CALCULATION	
80 SF X 9FT HIGH	720 CUBIC FT
60 AIR CHANGES PER HOUR	720/1 MINUTES=720 CFM

OUTSIDE AIR CALCULATION
(PER ASHRAE CODE 62.1, TABLE 6-1)

OFFICES	(5 PPL / 1000 SF) X 569 SF X 17 CFM/PPL = 48.4 CFM
STORAGE	(530 SF) X .06=25.8 CFM

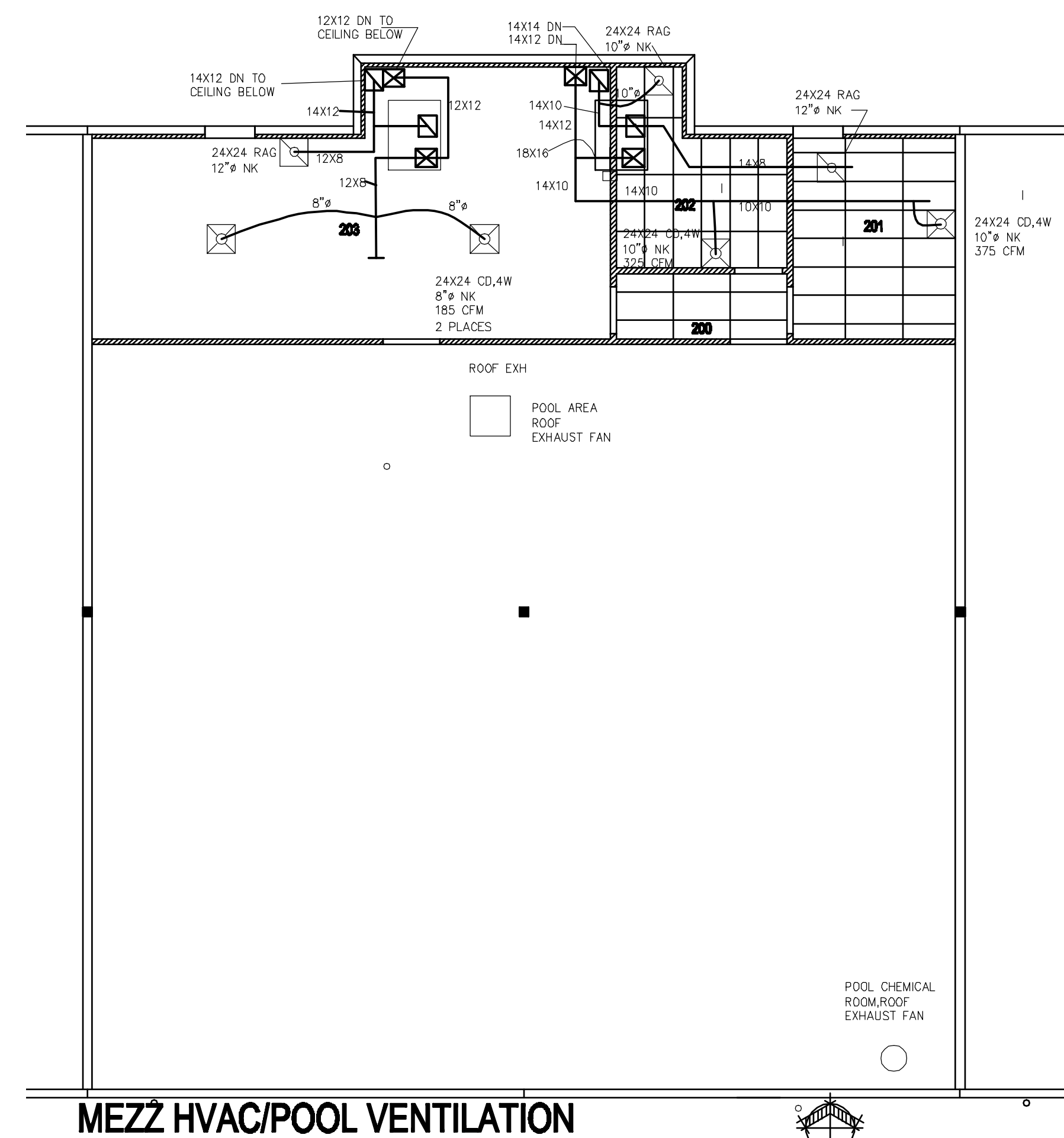
WAREHOUSE SEE CALCULATION

TOTAL EACH RTU: 173.2 CFM EACH RTU
 SUPPLIED: 200 CFM EACH RTU



HVAC 1ST LEVEL PLAN

SCALE: 1/8" = 1'-0"



MEZZ HVAC/POOL VENTILATION

SCALE: 1/8" = 1'-0"

Tenant Improvement for:
Small Fish Big Fish Swim School
 Southern Park of Commerce
 Building B, Bays 3 & 4
 Palm Beach County, FL

commission 211021

date: 8-17-11

revision date

- no.

drawing

M1.1

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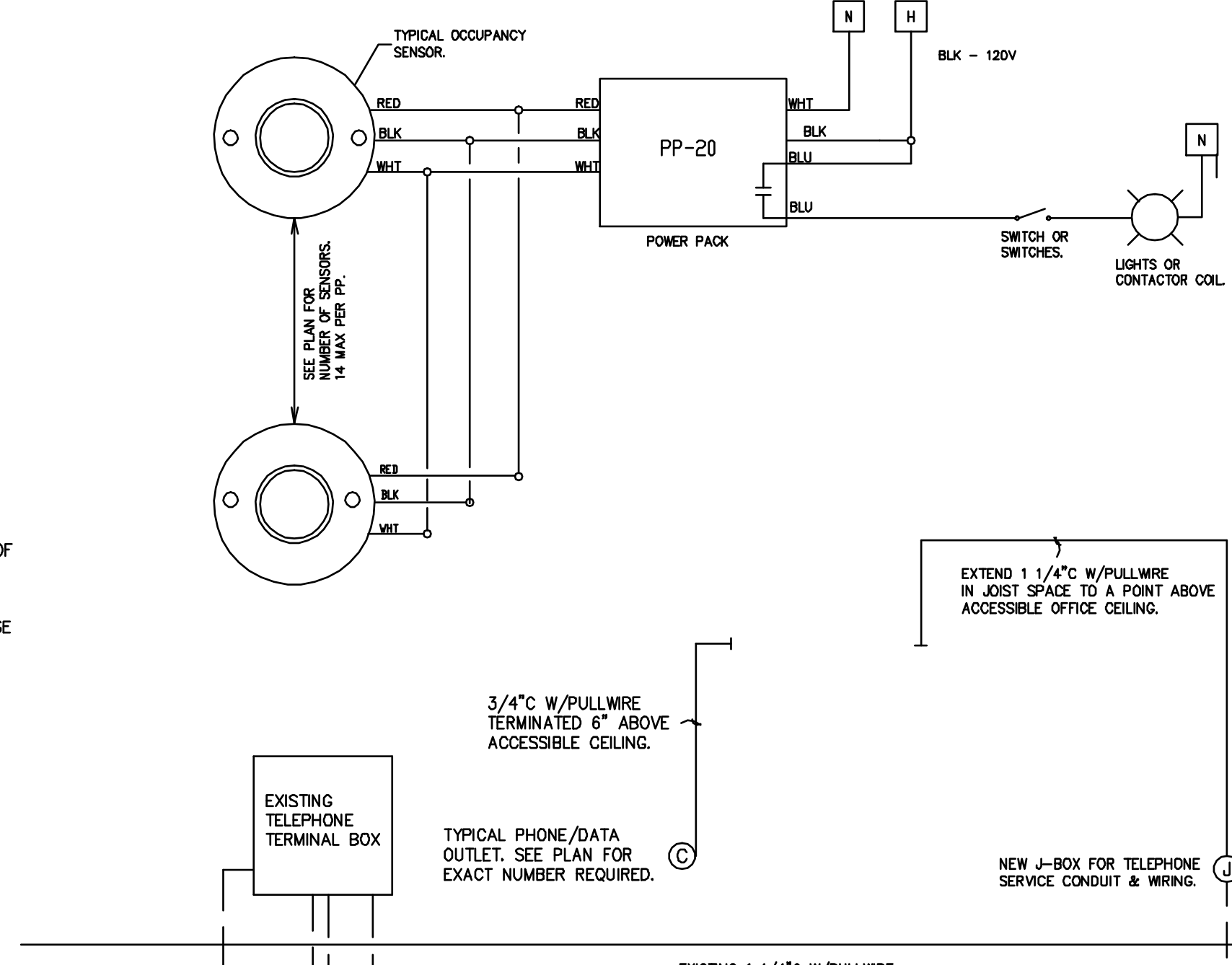
ELECTRICAL NOTES

- 1.ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ALL NEW ELECTRICAL WORK INDICATED. CONSTRUCTION SHALL BE IN ACCORDANCE WITH DRAWINGS AND APPLICABLE SPECIFICATIONS. IF A PROBLEM IS ENCOUNTERED IN COMPLYING WITH THIS REQUIREMENT, CONTRACTOR SHALL NOTIFY THE OWNER OR HIS REPRESENTATIVE AS SOON AS POSSIBLE AFTER DISCOVERY OF THE PROBLEM AND SHALL NOT PROCEED WITH THAT PORTION OF THE WORK UNTIL OWNER HAS DIRECTED CORRECTIVE ACTION TO BE TAKEN.
- 2.ELECTRICAL CONTRACTOR SHALL VISIT JOB SITE AND FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING ELECTRICAL AND TELEPHONE INSTALLATION AND MAKE PROVISIONS AS TO THE COST THEREOF.
- 3.ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND THE FLORIDA BUILDING CODE.
- 4.DO NOT SCALE THE ELECTRICAL DRAWINGS. REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT. CONFIRM WITH OWNERS REPRESENTATIVE.
- 5.MINIMUM WIRE SIZE SHALL BE #12 A.W.G. EXCLUDING CONTROL WIRING. UNLESS OTHERWISE NOTED, ALL CONDUCTORS SHALL BE COPPER WITH THIN INSULATION.
- 6.OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET OR DAMP LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
- 7.CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FROM A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE.
- 8.CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THERE BY.
- 9.ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE PROJECT.
- 10.CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS AND TESTING. CONTRACTOR TO OBTAIN PERMIT AND APPROVED SUBMITTALS PRIOR TO BEGINNING WORK OR ORDERING EQUIPMENT.
- 11.THE ELECTRICAL INSTALLATION SHALL MEET ALL REQUIREMENTS OF POWER AND TELEPHONE COMPANIES.
- 12.CONTRACTOR SHALL COORDINATE WITH MECHANICAL DRAWINGS AND PROVIDE ALL NECESSARY CONTROL WIRING.
- 13.ALL CIRCUIT BREAKERS FEEDING MECHANICAL EQUIPMENT SHALL BE HACR TYPE CIRCUIT BREAKERS OR FUSED SWITCHES AS INDICATED.
- 14.PROVIDE AND INSTALL CONDUIT, CONDUCTORS, PULL WRES, BOXES, COVER PLATES, DEVICES FOR ALL OUTLETS AS INDICATED.
- 15.CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING REQUIRED OF HIS WORK.
- 16.ELECTRICAL CONTRACTOR SHALL LABEL EXTERIOR OF ALL PANELS AND PROVIDE COMPLETE TYPED DIRECTORIES.
- 17.ALL ELECTRICAL AND TELEPHONE/DATA OUTLETS TO BE AT 16" AFF UNLESS NOTED OTHERWISE, VERTICALLY MOUNTED.
- 18.ALL LIGHT SWITCHES TO BE AT 42" AFF.
- 19.LAY IN LIGHT FIXTURES TO BE SUPPORTED AT ALL FOUR CORNERS AND SECURED TO STRUCTURE ABOVE.
- 20.ALL ELECTRICAL WIRING SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. ALL ELECTRICAL WIRING FOR HVAC SYSTEM INCLUDING CONTROLS, THERMOSTATS, POWER, ETC. SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
- 21.PANELBOARDS: ALL CURRENT CARRYING BUSES SHALL BE COPPER. ALL GROUND BUS BARS SHALL BE COPPER. PANELBOARD ENCLOSURES SHALL BE FURNISHED WITHOUT PRE-PUNCHED CONCENTRIC HOLES. AIC RATINGS SHALL BE AS INDICATED ON PANELBOARD SCHEDULES.
- 22.DISCONNECT SWITCHES SHALL BE H.P. RATED, HEAVY DUTY, ENCLOSURES AS REQUIRED BY EXPOSURE.
- 23.CONTRACTOR SHALL CONFIRM WITH FPL ANY AND ALL REQUIREMENTS SUCH AS: LUG SIZE RESTRICTIONS, CONDUIT ENTRY, TRANSFORMER SIZE, SCHEDULED DOWN TIME FOR OWNERS CONFIRMATION, ETC. ANY CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK.
- 24.ALL SERVICE CONDUIT AND ALL EXPOSED EXTERIOR CONDUITS SHALL BE RIGID METAL. INTERIOR LIGHTING AND RECEPTACLE CONDUIT SHALL BE EMT. TYPE AC ARMORED CABLE SHALL BE AN ACCEPTABLE ALTERNATE FOR INTERIOR LIGHTING & RECEPTACLE CIRCUITS WHERE ALLOWED PER NEC ARTICLE 320.

SPECIFIC ELECTRICAL NOTES:

1. WITHIN 30 DAYS AFTER THE DATE OF SYSTEM ACCEPTANCE, RECORD DRAWINGS OF THE ACTUAL INSTALLATION SHALL BE PROVIDED TO THE BUILDING OWNER, INCLUDING THE FOLLOWING.
 - A. A SINGLE LINE DIAGRAM OF THE BUILDING ELECTRICAL SYSTEM.
 - B. FLOOR PLANS INDICATING THE LOCATION & THE AREA SERVED FOR ALL DISTRIBUTION.
2. THE CONTRACTOR SHALL PROVIDE THE BUILDING OWNER W/AN OPERATING MANUAL & A MAINTENANCE MANUAL. THE MANUALS SHALL INCLUDE THE FOLLOWING.
 - A. SUBMITTAL DATA STATING EQUIPMENT RATINGS & SELECTED OPTIONS FOR EACH PIECE OF EQUIPMENT REQUIRING MAINTENANCE.
 - B. OPERATION MANUALS & MAINTENANCE MANUALS FOR EACH PIECE OF EQUIPMENT REQUIRING MAINTENANCE. REQUIRED ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY IDENTIFIED.
 - C. NAMES & ADDRESSES OF AT LEAST ONE QUALIFIED SERVICE AGENCY.
3. PER CHAPTER 13, SECTION 413.1.ABC.1 THE VOLTAGE DROP FOR THE SERVICE CONDUCTORS DOES NOT EXCEED 2% & THE VOLTAGE DROP FOR THE BRANCH CIRCUIT CONDUCTORS DOES NOT EXCEED 3%.

LOW VOLTAGE SENSOR(S) WIRING DIAGRAM NTS

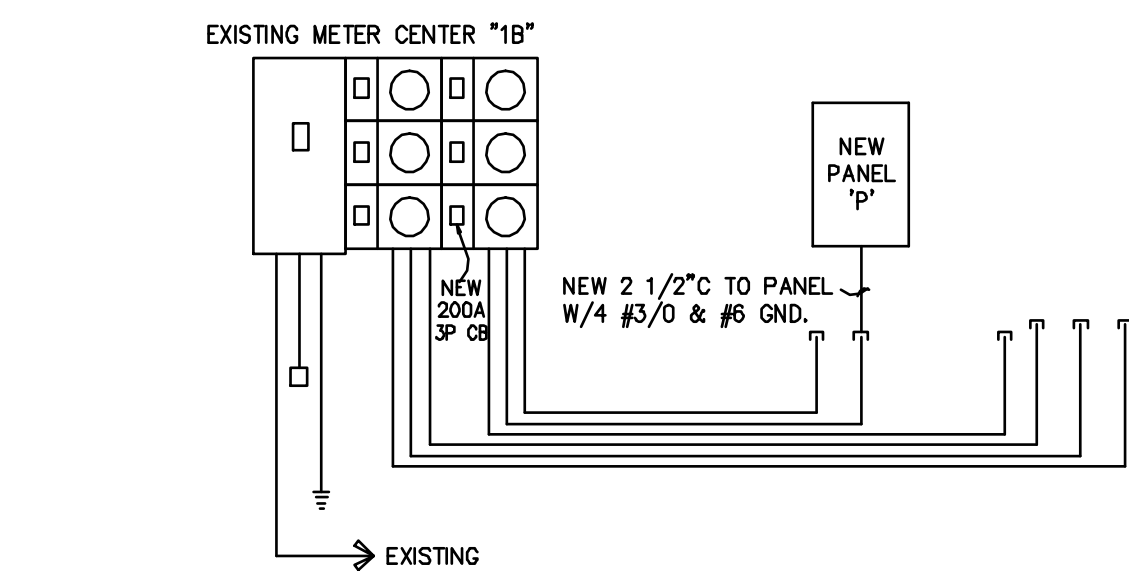


TELEPHONE RISER DIAGRAM NTS



LOAD CENTER SCHEDULE 'p'

120/208	VOLTS	3	PHASES	4	WIRES	200	AMP BBS	42	BRANCH POLES	X	FULL NEUTRAL				
SURFACE MOUNTING															
SHORT CIRCUIT I = 22,000															
AMP-SYM-RMS															
COND. & WIRE	AMPS			LOAD	BKR	C	K	B	C	BKR	LOAD	AMPS			COND. & WIRE
	A	B	C									A	B	C	
1/2" #12	11			LIGHTING POOL CEILING	1	20	1	2	1	20	RECEPTACLES-GROUND	6			1/2" #12
1/2" #12	9			LIGHTING POOL CEILING	3		4				RECEPTACLES-GROUND	5			
1/2" #10			10	MEZZANINE			5			6	REFRIGERATOR			6	
	9			OFFICES			7			8	ELEC.WTR CLR			6	
1/2" #10			9	OFFICES			9			10	REST RM GFI RECP			3	
	5			LTG REST RMS CHEM RM			11			12	RECEPTACLES-MEZZANINE			9	
1/2" #12	3			ROOF RECEPTACLE			13			14	RECEPTACLES-MEZZANINE			9	
3/4" #8			28	ROOFTOP A/C	3	50	15			16	DUCT SMOKE DETECTORS			3	
	28						17			18	UV SANITIZER-1.3 KW			16	1/2" #12
	28						19			20				16	
3/4" #8			28	ROOFTOP A/C	3	50	20			22	BECSISS & STERNER FEEDER			4	1/2" #12
	28						23			24	ELECTRIC WATER HEATER			28.8	3/4" #8
	28						25			26				28.8	
3/4" #8			32.5	HEATWAVE-SQ175BHD5BTK	3	50	27			28				28.8	
	32.5						29			30	POOL VENTILATION EF			6.6	1/2" #12
	32.5						31			32				6.6	
3/4" #8			17.5	5 HP SPECK PUMP	3	50	33			34				6.6	
	17.5						35			36	CHEM.RM.VENTILATION FAN			6	1/2" #12
	17.5						37			38	SPACE				
1/2" #12			10	POOL LIGHTING SPACE	1	20	39			40					
							41			42					
TOTAL AMPS		BUS A=		163.6		BUS B=		170.8		BUS C=		162.8		CONNECTED KVA=	



ELECTRICAL RISER DIAGRAM NTS

OCCUPANCY SENSOR DEVICE SCHEDULE

- MANUFACTURED BY SENSOR SWITCH.
- ⊠ WALL SWITCH W/OCCUPANCY SENSOR & BUILT IN POWER PACK SENSOR SWITCH #WSD-PDT-WHITE
 - ⊡ HIGH BAY OCCUPANCY SENSOR TO CONTROL THE POWER PACK. SENSOR SWITCH #CM-6-PDT (WHITE).
 - ⊡ 20 AMP POWER PACK THAT IS CONTROLLED BY THE OCCUPANCY SENSOR(S). LOCATE ABOVE ACCESSIBLE CEILING. WIRE AHEAD OF ANY LOCAL SWITCHING. 14 SENSORS MAX. PER PP. SENSOR SWITCH #PP-20.
 - ⊡ LOW CEILING MOUNTED OCCUPANCY SENSOR TO CONTROL THE POWER PACK. SENSOR SWITCH #CM-9-PDT(WHITE).

LIGHTING FIXTURE SCHEDULE

TYPE	MANUFACTURER	CATALOG NO.	LAMPS	REMARKS
A	DAYBRITE	2TG8332-01-120-1/3-EB	(3)F32 T8	2X4 RECESSED TROFFER, PRISMATIC ACRYLIC LENS, GRID CEILING MOUNT.
B	DAYBRITE	1TF232-01-120-1/2-EB	(2)F32 T8	1X4 RECESSED TROFFER, PRISMATIC ACRYLIC LENS, FLANGE CEILING MOUNT.
C	DAYBRITE	1FD232-PP-120-1/4-EB	(4)F32 T8	8 FT INDUSTRIAL FLUORESCENT.
D	COOPER	MPEB-ENGR 16-M-250	(1)M-250	METAL HALIDE
X	CHLORIDE	E-R-B-1-120/6	INCLUDED	LED SINGLE FACE EXIT WITH BATTERY.
Y	CHLORIDE	GM1	INCLUDED	WALL MOUNTED EMERGENCY LIGHT WITH BATTERY.

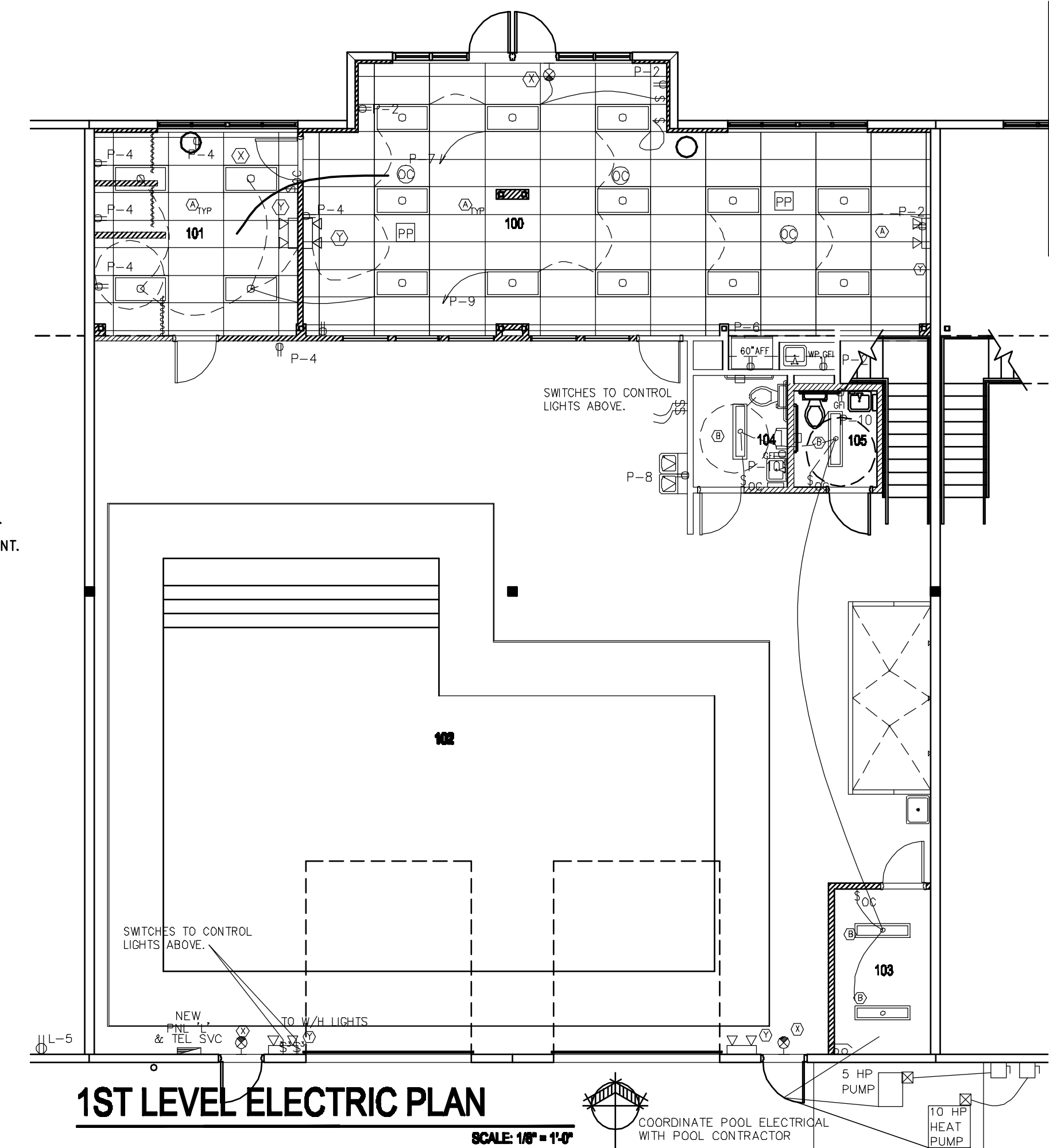
LIGHTING POWER CALCULATION

SPACE	AREA (SQFT)	LPD (W/SQFT)	ALLOWABLE (W)	DESIGN (W)
OFFICES 1ST LEVEL	1014	1.1	1115	1440
OFFICES MEZZ LEVEL	355	1.1	390	480
MEZZ-STORAGE	450	0.9	405	512
POOL AREA-EXERCISE	3152	0.9	2837	2250
TOILETS	99	0.9	89	64
POOL RM STORAGE	99	0.9	81	64
TOTAL	5169		4917	4810

THE DESIGN WATTAGE OF 4416 W IS LESS THAN THE ALLOWABLE WATTAGE OF 6680 W. LIGHTING POWER CALCULATION AS PER FBC 13-415.B.1 (SPACE BY SPACE METHOD)

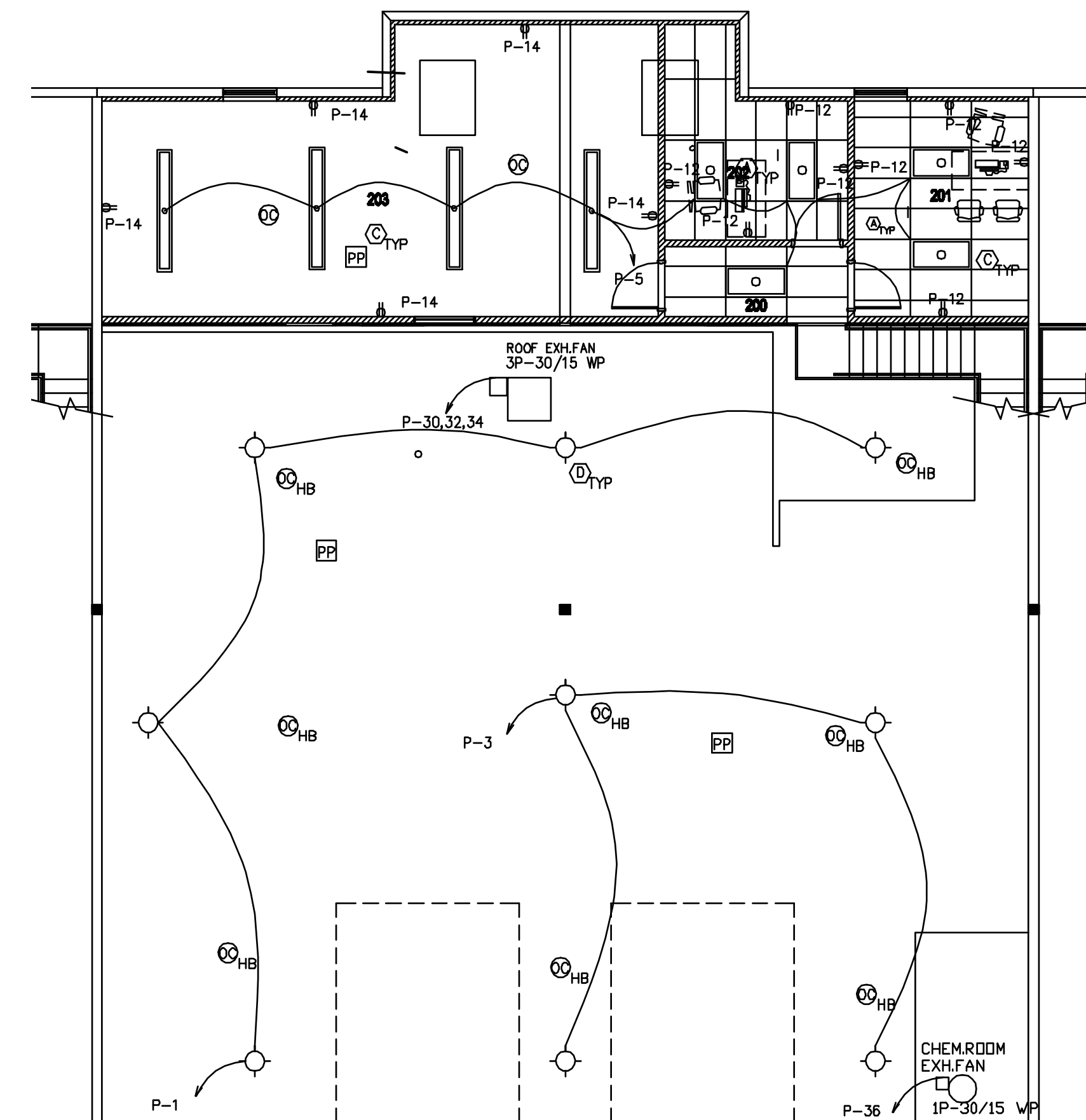
ELECTRICAL LEGEND:

- ⊠ RECESSED FLUORESCENT.
- ⊡ 8 FT STEM-MOUNTED FLUORESCENT.
- ⊡ EXIT LIGHT.
- ⊡ EMERGENCY LIGHT.
- ⊡ LIGHT FIXTURE TYPE DESIGNATION.
- ⊡ DUPLEX RECEPTACLE.
- ⊡ QUAD-PLEX RECEPTACLE.
- ⊡ JUNCTION BOX. 4" SQUARE UNLESS NOTED.
- ⊡ DATA OUTLET.
- ⊡ TELEVISION OUTLET.
- ⊡ TELEPHONE OUTLET.
- ⊡ WEATHERPROOF.
- ⊡ GROUND FAULT INTERRUPTER.
- ⊡ TOGGLE TYPE WALL SWITCH (3 = 3 WAY)
- ⊡ TWO POLE RECEPTACLE
- ⊡ OCCUPANCY SENSOR (SEE DEVICE SCHEDULE).
- ⊡ POWER PACK (SEE DEVICE SCHEDULE).
- ⊡ EXHAUST FAN.
- ⊡ DISCONNECT.
- ⊡ DUCT SMOKE DETECTOR.
- ⊡ TEST/RESET STATION.



1ST LEVEL ELECTRIC PLAN

SCALE: 1/8" = 1'-0"



MEZZANINE-POOL CEILING ELECTRIC PLAN

SCALE: 1/8" = 1'-0"

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