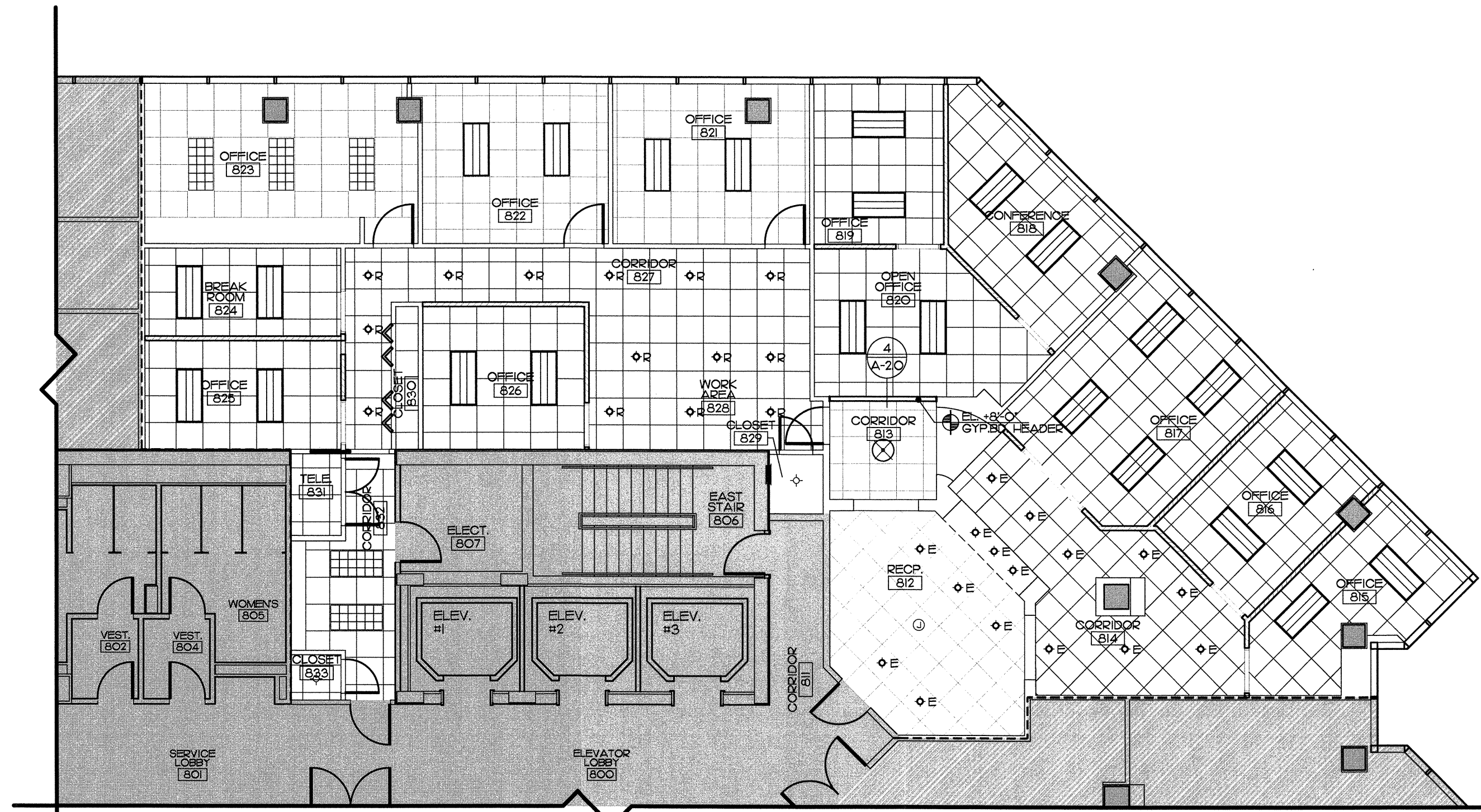


**1 FLOOR PLAN**  
SCALE: 1/8"=1'-0"



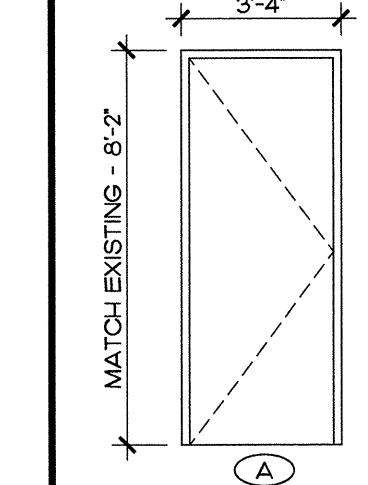
**2 REF. CEILING PLAN**  
SCALE: 1/8"=1'-0"

DOOR NUMBER	DOOR TYPE	DOOR						FRAME		FIRE RATING LABEL	HWR GRP	NOTES
		SIZE			MATL.	FINISH	MATL.	FINISH				
		WD	HGT	THK								
815	A	3'-0"	8'-0"	1 3/4"	WOOD	PAINT	WOOD	PAINT	--	A	--	
816	A	3'-0"	8'-0"	1 3/4"	WOOD	PAINT	WOOD	PAINT	--	A	--	
817	B	6'-0"	8'-0"	1 3/4"	WOOD	PAINT	WOOD	PAINT	--	A	REUSED	
818	A	3'-0"	8'-0"	1 3/4"	WOOD	PAINT	WOOD	PAINT	--	A	--	
819	A	3'-0"	8'-0"	1 3/4"	WOOD	PAINT	WOOD	PAINT	--	A	--	
824	A	3'-0"	8'-0"	1 3/4"	WOOD	PAINT	WOOD	PAINT	--	A	--	
825	A	3'-0"	8'-0"	1 3/4"	WOOD	PAINT	WOOD	PAINT	--	A	--	
826	A	3'-0"	8'-0"	1 3/4"	WOOD	PAINT	WOOD	PAINT	--	B	--	

- DOOR NOTES:**
- FINAL COORDINATION OF KEYING FUNCTIONS SHALL BE WITH TENANT. KEYING TO BE INCLUDED IN TOTAL PROJECT COSTS
  - ALL EXIT HARDWARE SHALL COMPLY WITH FBC. 2007 W/ 2009 AMENDMENTS SECTION 1108.19
  - LEVER HARDWARE SHALL MATCH EXISTING
  - CLOSURES TO BE LCN & FINISH TO MATCH LEVER
  - HINGES TO BE BY HAGER, FINISH US22D
  - SILENCERS TO BE BY HAGER
  - WALL STOP BY HAGER
  - FLUSH BOLT - HAGER
  - DOOR STOP BY GLYNN-JOHNSON, FINISH US32D

- HARDWARE SETS:**
- A) LEVER MATCH EXISTING OFFICE SET  
CLOSURE MATCH EXISTING  
HINGES MATCH EXISTING  
SILENCER MATCH EXISTING  
DOOR STOP MATCH EXISTING
- B) LEVER MATCH EXISTING PASSAGE SET  
CLOSURE MATCH EXISTING  
HINGES MATCH EXISTING  
SILENCER MATCH EXISTING  
DOOR STOP MATCH EXISTING

**DOOR ELEVATIONS**



SOLID CORE WOOD  
PAINT GRADE DOOR  
MATCH EXISTING

**PARTITION AND SYMBOL KEY**

- 1 EXISTING EXTERIOR WALL
- 2 NEW PARTITION SEE DETAIL 3/A-2.0
- 3 EXISTING 1-HR RATED DEMISING WALL  
G.C. SHALL CHECK ALL EXISTING RATED WALLS TO MAKE SURE THAT THE REQUIRED WARNING SIGNAGE IS PAINTED ABOVE CEILINGS. IF NOT THE CONTRACTOR SHALL PAINT ABOVE THE CEILING TO BE VISIBLE FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS
- 4 NOT USED
- 5 EXISTING PARTITION TO REMAIN-GC TO PATCH AND REPAIRS WALLS TO RECEIVE PAINT
- 6XV DOOR NUMBER
- 7FC FIRE EXTINGUISHER CABINET - SEE DETAIL 8/A-2.0
- 8 NEW CEILING MOUNTED EXIT LIGHTS AS REQ'D - SEE ELECTRICAL DRAWINGS

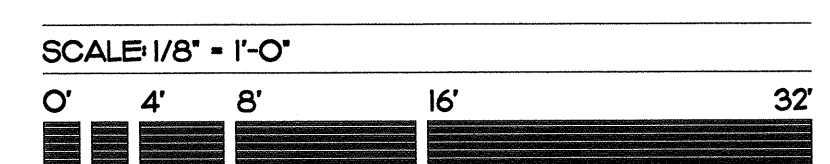
**REFLECTED CEILING LEGEND**

- NEW 2'x2' SUSPENDED ACOUSTICAL CEILING SYSTEM - SEE FINISH NOTES SHEET A-1.2 FOR SPECIFICATION
  - EXISTING 2'x4' FLUORESCENT LIGHT FIXTURE
  - 2'x4' FLUORESCENT INDIRECT LIGHT FIXTURE
  - EXISTING DOWNLIGHT
  - RELOCATED DOWNLIGHT
  - EXISTING PENDANT TO REMAIN
  - CEILING HEIGHT - ALL CEILING TO BE 8'-6" UNLESS OTHERWISE NOTED
- NOTES  
1. ALL EMERGENCY LIGHT FIXTURES SHALL HAVE THE TEST BUTTONS MOUNTED INSIDE THE FIXTURE

**CEILING KEY NOTES**

- 1 NEW PAINTED GYPSUM BOARD SOFFIT.
- 2

**FLOOR PLAN & REF. CEILING PLAN**



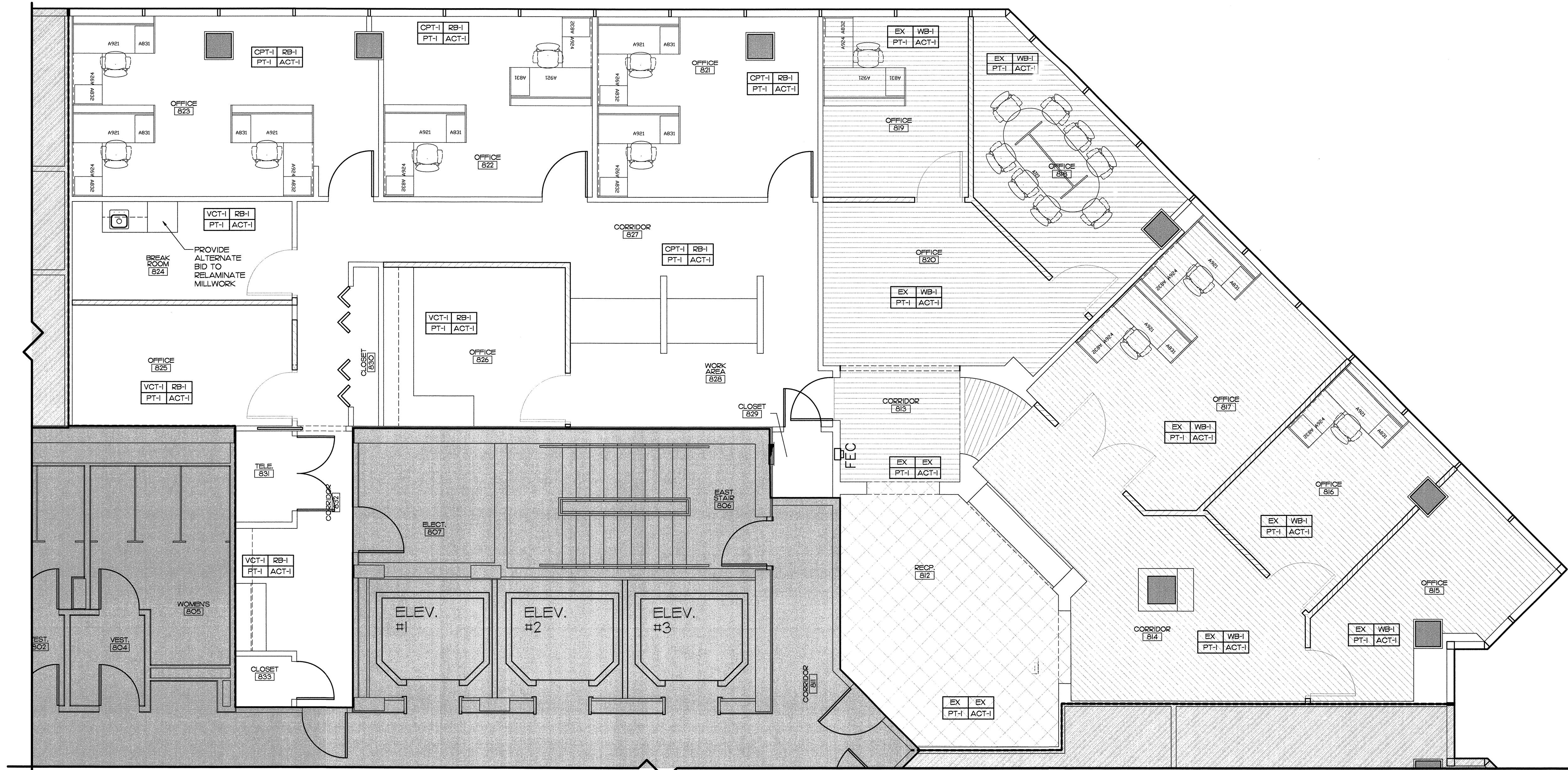
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project no: 11197  
date: 11/08/11  
drawn by: BJOJOE  
checked by: KS

**A-1.0**



### FINISH SPECIFICATIONS

**GENERAL NOTE:**  
GLIDDEN AND SPINA SHALL QUALIFY GENERAL CONTRACTORS AND SUBCONTRACTORS FOR WALL COVERINGS, CARPET AND TILE FINISHES.

**FLOOR FINISHES**

- CONTRACTOR SHALL REMOVE EXISTING FLOOR COVERING, AND PREPARE CONCRETE SLAB TO ACCEPT FLOOR FINISHES AS PER FINISH SCHEDULE AT MATERIAL TRANSITIONS, CONTRACTOR TO PROVIDE LEVELING TO EXTEND 2' TO CREATE A GRADUAL SLOPE AND TRANSITIONS SHALL NOT BE GREATER THAN 1/2".
- FINISH TO BE WITHIN 1/2" IN 10' UNLESS OTHERWISE APPROVED IN NON-CIRCULATION AREAS.
- PROVIDE SLAB FLASHING AT TRANSITION BETWEEN STONE / TILE AND CARPET WITH 1/8" PER FOOT MAX. SLOPE.
- CONTRACTOR SHALL PROVIDE TRANSITION STRIPS AS MANUFACTURED BY SCHLUTER AT TILE/CARPET TRANSITIONS MODEL #H225 AT 3/4" STONE AND MODEL #H60 AT 1/2" STONE TRANSITIONS, FINISH-BRUSHED CHROME, GO TO VERIFY FIELD CONDITIONS WORK WITH MODEL #S.
- ALL FLOOR MATERIAL CHANGES TO HAVE THE APPROPRIATE SCHLUTER TRANSITION.
- CARPET TO BE SUPPLIED AND INSTALLED BY OWNER.
- CONTRACTOR SHALL TOUCH-UP WOOD BASE, DOORS, AND CASING AFTER CARPET IS INSTALLED.

**CARPET -**

- CARPET SHALL BE INSTALLED DIRECT GLE DOWN.
- AT MATERIAL TRANSITIONS, SUBCONTRACTOR TO PROVIDE LEVELING TO EXTEND 6' TO CREATE A GRADUAL SLOPE AND TRANSITIONS SHALL NOT BE GREATER THAN 1/2".
- SUBCONTRACTOR SHALL PROVIDE SEAMING DIAGRAM TO DESIGNER FOR APPROVAL.
- CARPET ADHESIVE SHALL NOT EXCEED THE VOC CONTENT LIMITS OF ADHESIVES, SEALANTS AND SEALANT PRIMERS SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQM) RULE #168 REQUIREMENTS IN EFFECT ON JULY 1, 2005 AND SLAMMENDMENT DATED JANUARY 7, 2006.
- CARPET MEETS THE CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM.
- CARPET IS RECLAIMABLE AND IS RECLAIMED, NO PVC BACKING.
- CARPET ADHESIVE SHALL NOT EXCEED VOC LIMIT 50 G/L.

**CPT-1= CARPET 1: PROVIDE \$30/SF. ALLOWANCE FOR MATERIAL AND INSTALLATION**

**VCT-1 = VINYL COMPOSITION TILE - ARMSTRONGS EXCELON**

**WALL BASES**

- ALL WOOD SHALL BE FINISHED BY A QUALITY AWI WORKSHOP.
- ALL MILLWORK SHALL BE SHOP FINISHED.
- FINISH SAMPLE SHALL BE SUBMITTED TO INTERIOR DESIGNER FOR APPROVAL PRIOR TO FABRICATION.
- BASE/TRIM SHALL BE TOUCHED UP AFTER CARPET IS INSTALLED BY GENERAL CONTRACTOR.

**WOOD BASE**

- WB-1 = WOOD BASE -**
- PAINT GRADE WOOD TO MATCH EXISTING

**RUBBER BASE -**

- RUBBER BASE MATERIAL AND INSTALLATION BY G.C.
- RB-1= RUBBER BASE, 4" CONTINUOUS COVE BASE WITH PRE-FORMED CORNERS COLOR \_\_\_\_\_ TBS\_\_\_\_\_**

**WALL FINISHES**

- GYPSUM BOARD - SMOOTH SLICK FINISH (LEVEL 4, SMOOTH TEXTURE) READY TO RECEIVE PAINT OR SMOOTH FINISH READY TO RECEIVE WALLPAPER.
- GENERAL CONTRACTOR SHALL PRIME WITH A LOW-VOC PRIMER ON GYPSUM BOARD TO RECEIVE WALL COVERING AND SHALL NOT EXCEED THE VOC CONTENT LIMITS ESTABLISHED IN GREEN SEAL STANDARD GS-II, PAINTS, FIRST EDITION MAY 20, 1993 AND SHALL PROVIDE FULL COVERAGE TO PROHIBIT "TELEGRAPHING" OF TAPE JOINTS THROUGH THE WALLCOVERING. SEE FINISH SCHEDULE FOR LOCATIONS.

**PAINT**

- 2 COATS OF PROGREEN 200 PAINT SEE PLANS AND INTERIOR ELEVATIONS FOR LOCATIONS, PROVIDE WALL SAMPLE FOR DESIGNER APPROVAL.
- PT-1 = PAINT #1**
- MANUFACTURE: SHERWIN WILLIAMS
- COLOR: T.B.D.
- FINISH: T.B.D.

**CEILING FINISHES**

ALL NEW BULKHEADS OR SOFFITS SHALL BE PAINTED. PAINT SHALL NOT EXCEED THE VOC CONTENT LIMITS ESTABLISHED IN GREEN SEAL STANDARD GS-II, PAINTS, FIRST EDITION MAY 20, 1993. SEE REFLECTED CEILING PLAN FOR PAINT FINISH LOCATIONS.

CONTRACTOR TO LAYOUT CEILING GRID AS SHOWN ON PLAN.

REGULAR EDGES IN ANY VISIBLE AREAS CONTAINING LINEAR AIR BARS, LIGHTS AND SOFFITS SHALL BE FACTORY PAINTED.

**DRYWALL SOFFITS:**

- 2 COATS OF PROGREEN 200 LATEX FLAT WALL PAINT ON ALL NEW GYPSUM BOARD CEILINGS AS NOTED ON PLAN.
- PT-4 = PAINT #4**
- MANUFACTURE: SHERWIN WILLIAMS
- COLOR: T.B.D.
- FINISH: T.B.D.

**ACOUSTICAL CEILING**

**ACT-1= TILE #1 -**

- MATCH EXISTING

**COVER PLATES**

COLOR: WHITE

**FINISH TAG LEGEND**

EX=EXISTING FINISH TO REMAIN

FLOOR FINISH: XX-X XX-X

WALL FINISH: XX-X XX-X

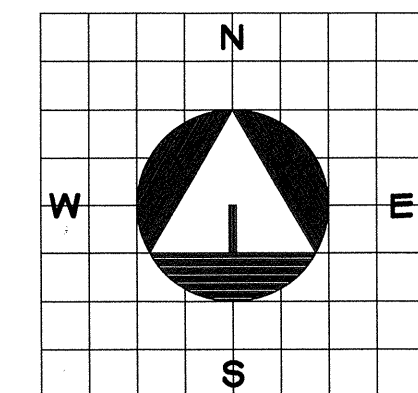
BASE FINISH

CEILING FINISH

### FINISH & FURNITURE PLAN

SCALE 1/4" = 1'-0"

0' 2' 4' 8' 16'



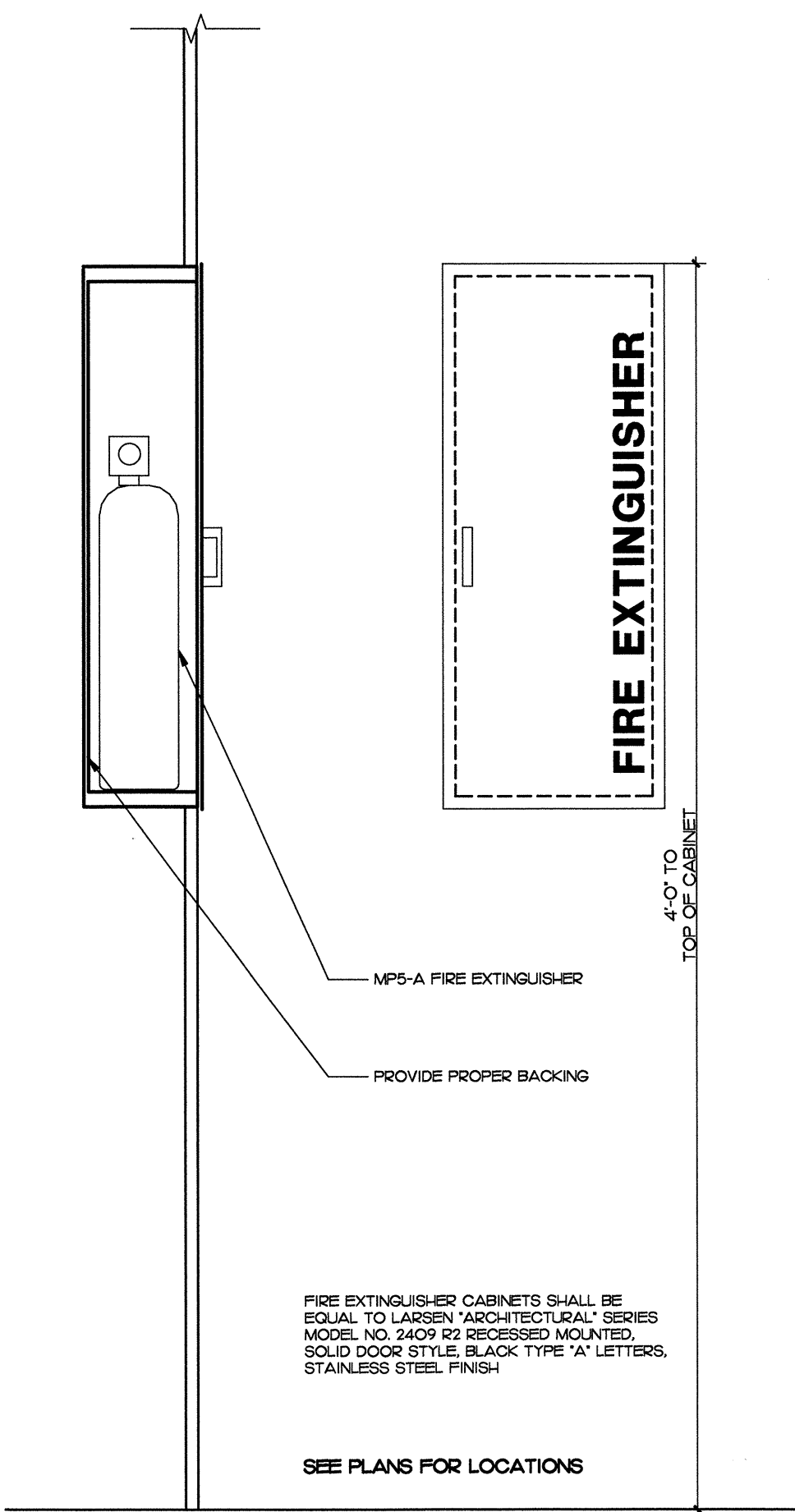
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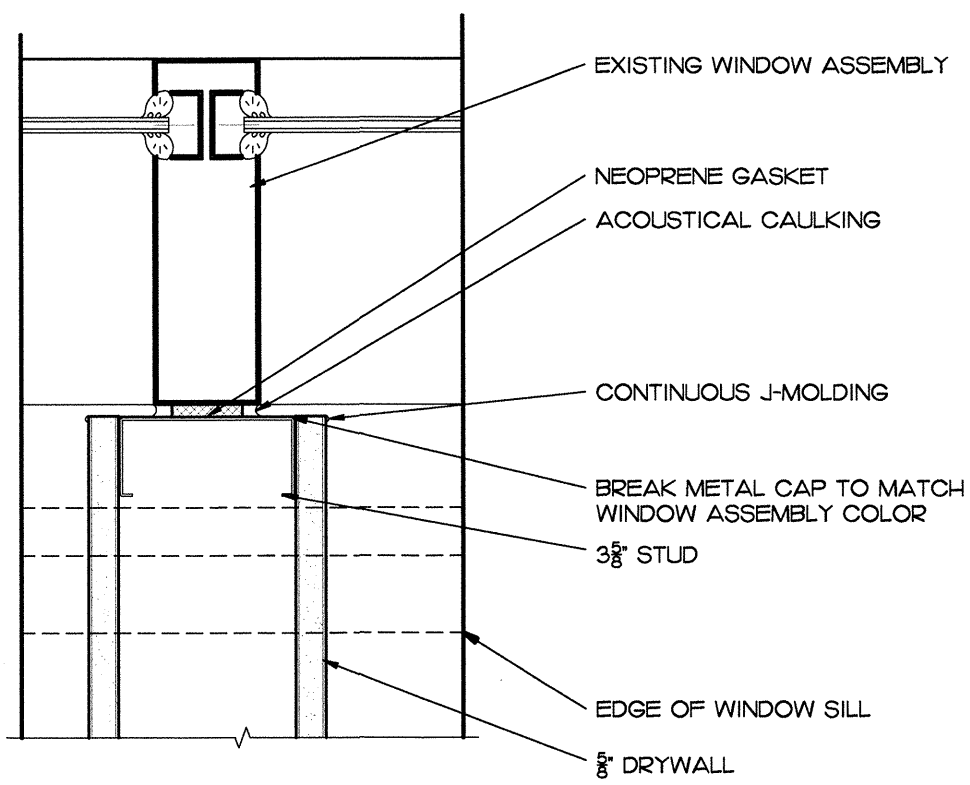
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drawn by: BJJOE  
checked by: KS

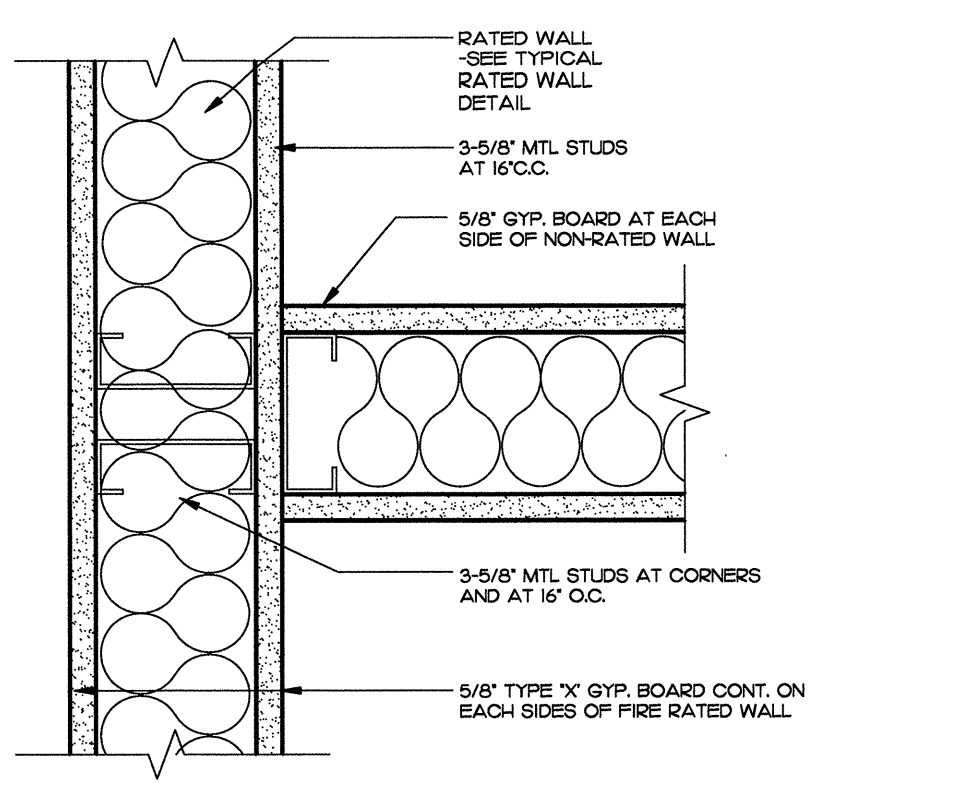
**A-1.1**



8 SECTION / ELEVATION  
FIRE EXTINGUISHER MOUNTING  
SCALE: 1/2"=1'-0"



5 EXTERIOR WALL/ MULLION  
SCALE: 3/4"=1'-0"



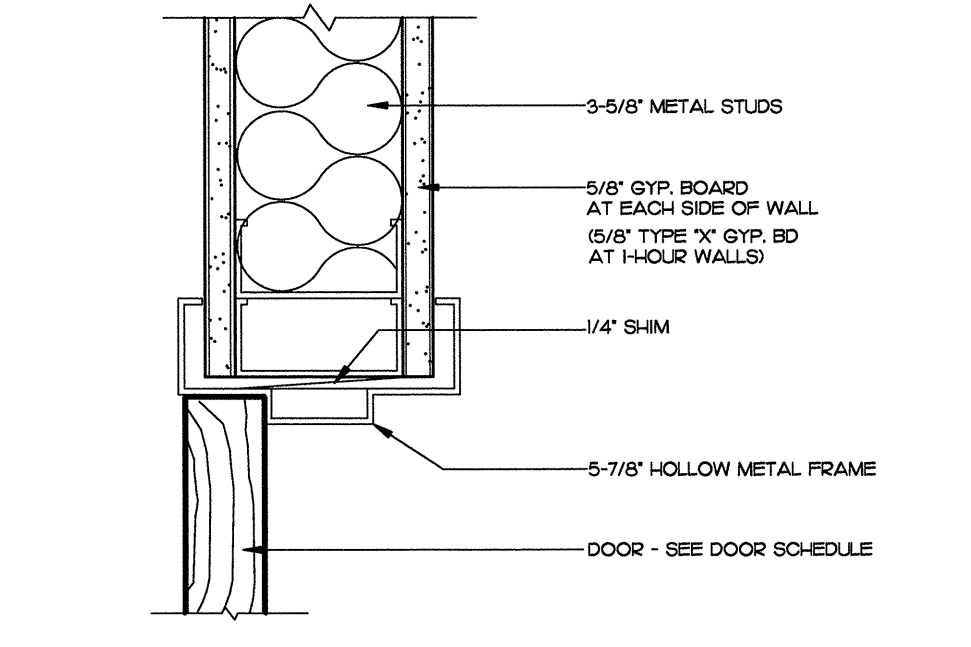
1 PLAN DETAIL AT  
INTERSECTION AT 1-HR WALL  
SCALE: 3/4"=1'-0"

**INTERIOR FRAMING LIMITING HEIGHTS**

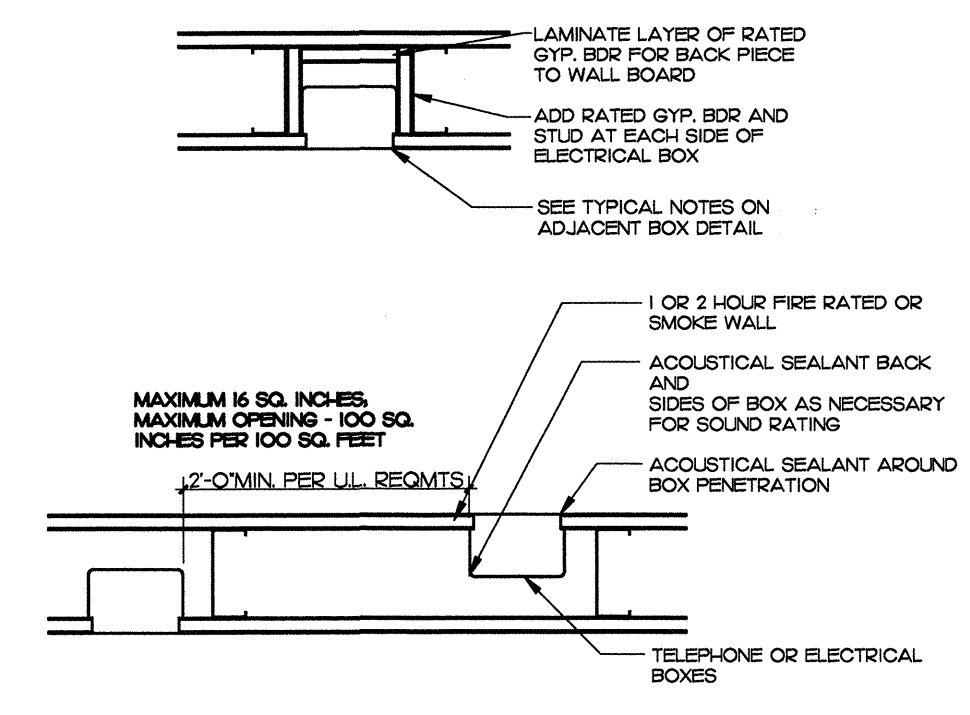
STUD DEPTH	STUD SPACING (IN)	DESIGN LIMIT (PSF)	ALLOWABLE DEFLECTION	20 GAUGE PZIN
1 1/2"	16	5	L/240	9'-6"
2"	16	5	L/240	12'-10"
3 1/2"	16	5	L/240	16'-5"
4"	16	5	L/240	14'-6"
6"	16	5	L/240	24'-6"

NOTES:  
 1. LIMITING HEIGHTS APPLY TO WALLS CONSTRUCTED WITH A MINIMUM 1/2" THICKNESS OF GYPSUM BOARD AND WITH A MINIMUM OF ONE FULL-HEIGHT LAYER ON BOTH SIDES OF THE STUD FRAMING.  
 2. LIMITING HEIGHTS ARE BASED ON TESTS CONDUCTED WITH GYPSUM BOARD ATTACHED WITH SCREWS SPACED 12" O.C. TO FRAMING MEMBERS.  
 3. THIS LIMITING HEIGHT DATA IS FROM ASTM C754. GSPSP PRESENTS THIS INFORMATION ONLY AS REFERENCE AND WILL NOT BE RESPONSIBLE FOR THE PERFORMANCE OF WALLS BASED ON THIS TABLE. CONSULT CURRENT INFORMATION FROM ASTM C754 AND SSMA AND THE STUD MANUFACTURERS FOR LIMITING HEIGHT CHARACTERISTICS OF THEIR PARTICULAR PRODUCT.  
 4. CONTRACTOR TO SUBMIT PRODUCT APPROVAL AND MANUFACTURER SPECIFICATIONS TO ARCHITECT.  
 5. INSTALL 20 GA. FRAMING AT ALL WALLS WITH CABINETRY OR PANELING.

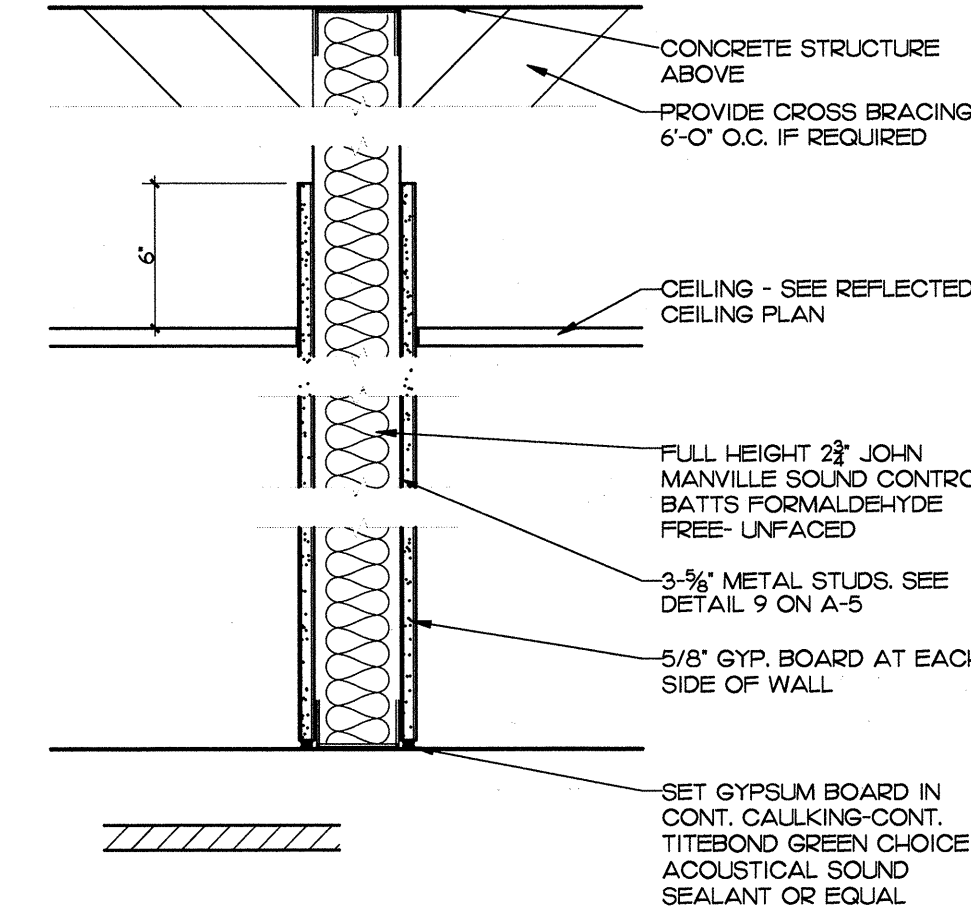
6 INTERIOR FRAMING  
SCALE: NOTE: ALL GYPSUM BOARD MUST BE PRODUCED AND MANUFACTURED IN NORTH AMERICA



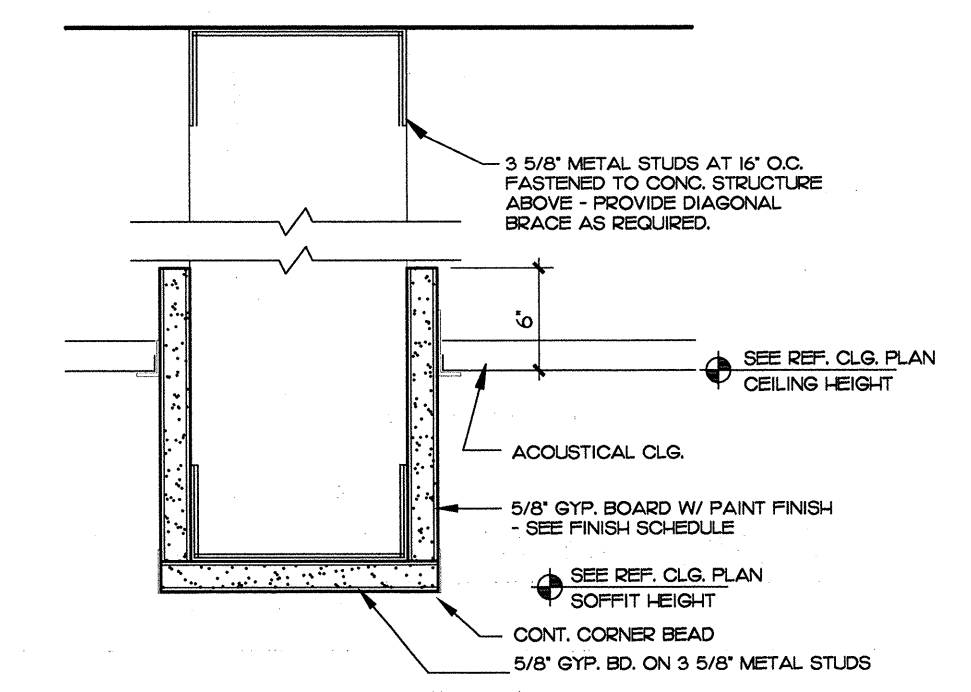
2 DETAIL AT  
INT. DOOR HEAD/JAMB  
SCALE: 3/4"=1'-0"



7 RATED WALL OPENINGS  
SCALE: 1/2"=1'-0"



3 TYP. WALL SECTION  
SCALE: 1/2"=1'-0"



4 SECTION AT  
GYP. BD. HEAD DETAIL  
SCALE: 3/4"=1'-0"

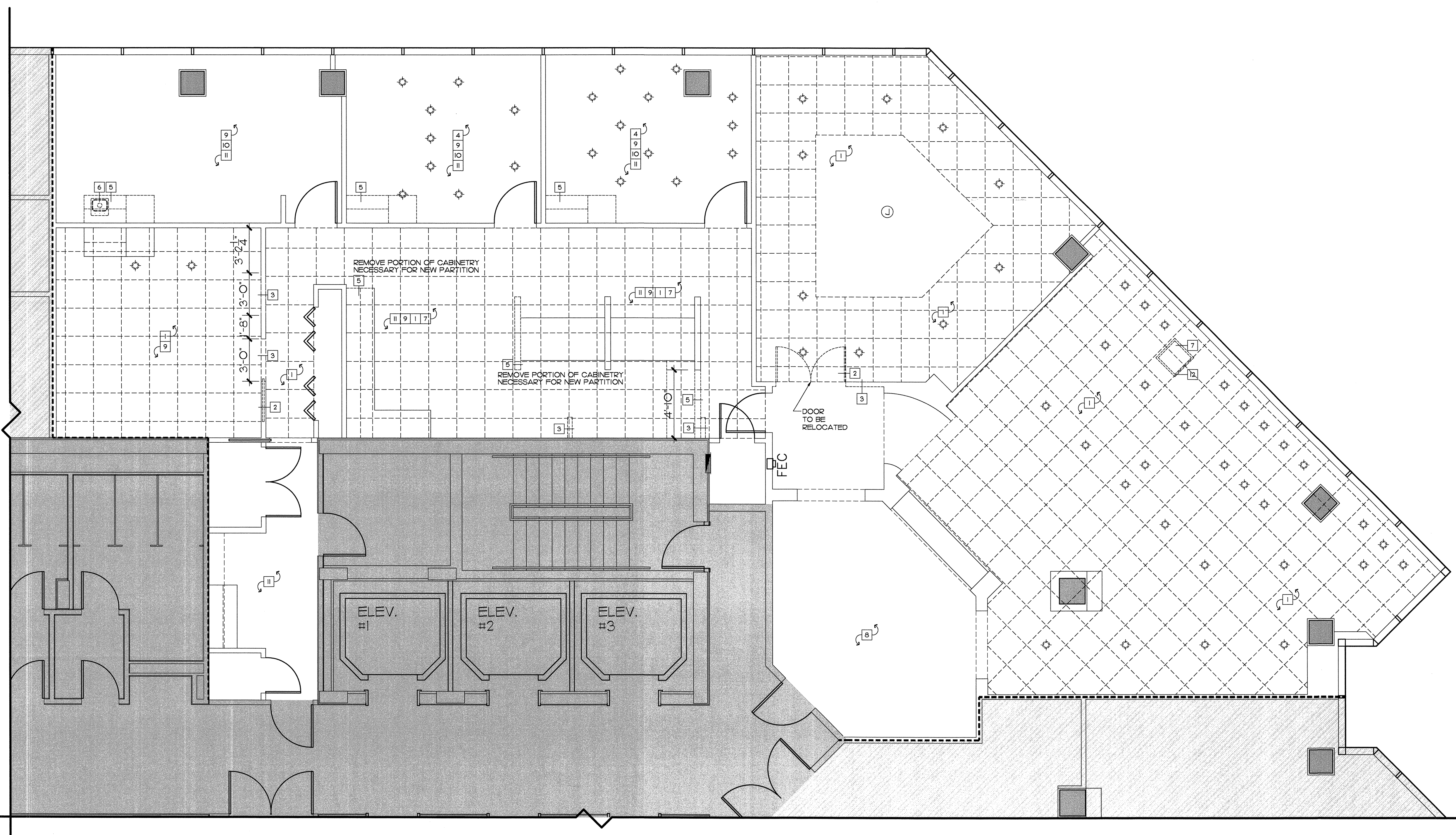
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 checked by: KS  
 revisions:

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**1 DEMOLITION PLAN**  
SCALE 1/4" = 1'-0"

**DEMOLITION GENERAL NOTES**

- CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ANY AND ALL DISCREPANCIES IN THE PROPOSED DEMOLITION PLAN PRIOR TO EXECUTION OF THE ITEMS IN QUESTION.
- DEMOLITION SHALL INCLUDE:
  - REMOVAL OF EXISTING WALLS, DOORS AND FRAMES AS SHOWN ON PLAN.
  - REMOVAL OF ALL EXISTING CEILINGS AND CEILING FIXTURES NOT SHOWN, BUT NOTED.
  - REMOVAL OF EXISTING FLOOR FINISHES IN AREAS OF REMOVED WALLS AND AS NOTED.
  - REMOVAL OF ALL ELECTRICAL WIRING AND DEVICES AT ALL REMOVED WALLS AND CEILINGS. ALL WIRING, DEVICES, CONDUIT, AND EQUIPMENT TO BE ABANDONED SHALL BE REMOVED.
  - FIRE SPRINKLER SYSTEM SHALL REMAIN IN DEMOLITION PHASE. FIRE SPRINKLER LAYOUT AND HEAD LOCATIONS WILL BE RELOCATED AS REQUIRED IN NEW CONSTRUCTION PHASE OF WORK. CARE SHALL BE TAKEN IN DEMOLITION PHASE TO PROTECT EXISTING HEADS AND PIPING TO KEEP SYSTEM IN OPERABLE CONDITION FOR FIRE PROTECTION.
- CONTRACTOR SHALL REMOVE AND STOCKPILE REMOVED MATERIALS AS DIRECTED BY OWNER, FOR BUILDING OWNER'S FUTURE USE.
- ALL EXISTING WALLS TO REMAIN SHALL BE PATCHED AND PREPARED TO RECEIVE NEW FINISH.
- GENERAL CONTRACTOR MAY NEED ADDITIONAL DIMENSIONS TO COMPLETE DEMOLITION ACCURATELY.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL AREAS NOT INCLUDED IN THIS WORK.
- ALL WORK SHALL BE COORDINATED AND APPROVED BY BLDG. MGMT. PRIOR TO COMMENCEMENT.
- PROTECT ALL WINDOW BLINDS REMOVE AND BAG AND PLACE BACK IN ORIGINAL LOCATION FOR PROTECTION IN DEMO PROCESS.
- CONTRACTOR TO COORDINATE WITH BUILDING MANAGEMENT FOR ANY DEMOLITION WORK THAT NEEDS TO BE PERFORMED 'AFTER-HOURS'
- PROTECT ELEVATOR SHAFT AT ALL ELEVATOR OPENINGS.

**ELECTRICAL DEMO NOTES**

- REMOVE ALL EXISTING LIGHTING FIXTURES IN AREA TO BE DEMOLISHED, INCLUDING ALL ASSOCIATED BRANCH CIRCUIT WIRING (CONDUCTORS CONDUITS, FIXTURE WHIPS AND SWITCH WIRING) NO LONGER IN USE. REUSE WIRING WHEREVER POSSIBLE. STOCKPILE (80) 2X2 LIGHT FIXTURES FOR RE-USE.
- REMOVE ALL WIRING DEVICES IN EXISTING PARTITION WALL TO BE REMOVED, INCLUDING ALL BRANCH CIRCUIT WIRING (CONDUCTORS AND CONDUIT) NO LONGER IN USE.
- ALL ELEVATOR CONTROLS, ELEVATOR LIGHTS, FIRE ALARM PULLS, SMOKE DETECTORS, FIRE ALARM STROBES, FIRE ALARM HORNS AND SPEAKERS SHALL BE PROTECTED AS REQUIRED AND SHALL REMAIN OPERATIONAL DURING CONSTRUCTION.
- ALL HIGH VOLTAGE PANELS TO REMAIN OPERATIONAL TO POWER HEAT PUMPS.
- ALL LOW VOLTAGE PANELS AND ASSOCIATED TRANSFORMERS TO BE REMOVED FROM TENANT SPACES.
- FIRE ALARM CONTRACTOR TO DISCONNECT DEVICES FROM PANEL, AS NEEDED. PLACE ITEMS IN A MARKED BOX AND GIVE IT TO BUILDING CHIEF ENGINEER.
- NECESSARY EMERGENCY/LIFE SAFETY LIGHTING TO REMAIN.
- EXIT SIGNS TO REMAIN AS NEEDED.
- REMOVE FLOOR OUTLETS INCLUDING ANY RELATED ACCESSORIES AND CONDUITS ON FLOOR BELOW - PATCH HOLE TO MEET FIRE RATING.
- ELECTRICAL ROOM AND MECHANICAL ROOM TO REMAIN.

**MECHANICAL DEMO NOTES**

- CAREFULLY REMOVE ALL THERMOSTATS AND TEMPERATURE SENSORS AT WALLS TO BE DEMOLISHED AND RE-CONNECT TO MAINTAIN HEAT PUMPS OPERATIONAL.
- ALL EXISTING HEAT PUMPS TO REMAIN OPERATIONAL AND IN TACKED (INCLUDING POWER, CONDENSATE, AND CONDENSER WATER PIPING, ETC)
- ALL DUCT WORK AND GRILLS TO BE REMOVED.

**PLUMBING DEMO NOTES**

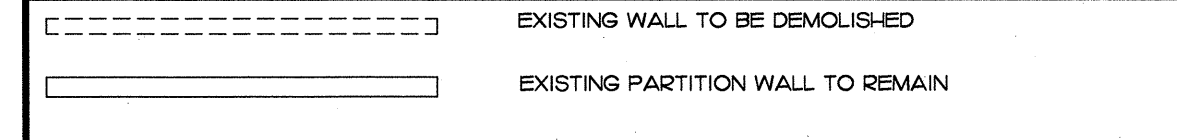
- AT EXISTING TENANT AREAS, THE NOTED PLUMBING FIXTURES TO BE REMOVED SHALL BE REMOVED AND PIPING SHALL BE CAPPED ABOVE FLOOR.

**DEMOLITION KEY NOTES**

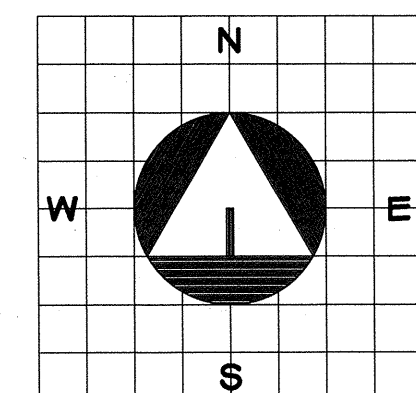
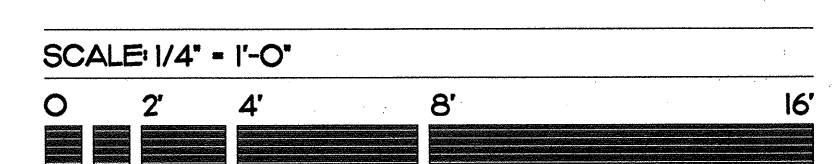
- REMOVE EXISTING CEILING, LIGHTING FIXTURES AND ALL RELATED ACCESSORIES IN AREAS TO BE DEMOLISHED.
- REMOVE EXISTING DOORS, FRAME, AND ALL RELATED ACCESSORIES. SALVAGE DOORS FOR POSSIBLE REUSE. COORDINATE WITH BUILDING MANAGEMENT FOR STORAGE.
- REMOVE EXISTING METAL STUD PARTITION AS DESIGNATED ON WALL LEGEND. REMOVAL SHALL INCLUDE ANY AND ALL GYPSUM BOARD, BASE AND TRIM, METAL STUDS, TOP AND BOTTOM RUNNERS AND ANY EXISTING BRACING AND BLOCKING THAT MAY BE PRESENT. SEE ARCH. DWGS. FOR HEADER HEIGHT TO REMAIN.
- REMOVE EXISTING LIGHTING FIXTURES AND ALL RELATED ACCESSORIES.
- REMOVE EXISTING BUILT-IN CABINETS, COUNTERS AND ALL RELATED ACCESSORIES.
- REMOVE EXISTING SINK AND ALL RELATED PLUMBING. CAP PIPES 6" ABOVE FLOOR.
- REPAIR ALL EXISTING FLOOR FINISH AND BASE.
- REMOVE EXISTING SPEAKERS AND REPLACE CEILING TILES FROM DEMOLITIONED CEILINGS TO MATCH CEILING TO REMAIN.
- REMOVE EXISTING FLOORING.
- REMOVE EXISTING CHAIRRAIL.
- REMOVE EXISTING WALLCOVERING AND PREPARE WALLS FOR NEW PAINT FINISH.
- REMOVE EXISTING FALSE COLUMN.

○ LIGHT FIXTURES BEING REMOVED SHOULD BE STOCKPILED FOR FUTURE USE. SEE REF. CEILING PLAN FOR AMOUNT AND LOCATIONS.

**WALL LEGEND**



**DEMOLITION PLAN**



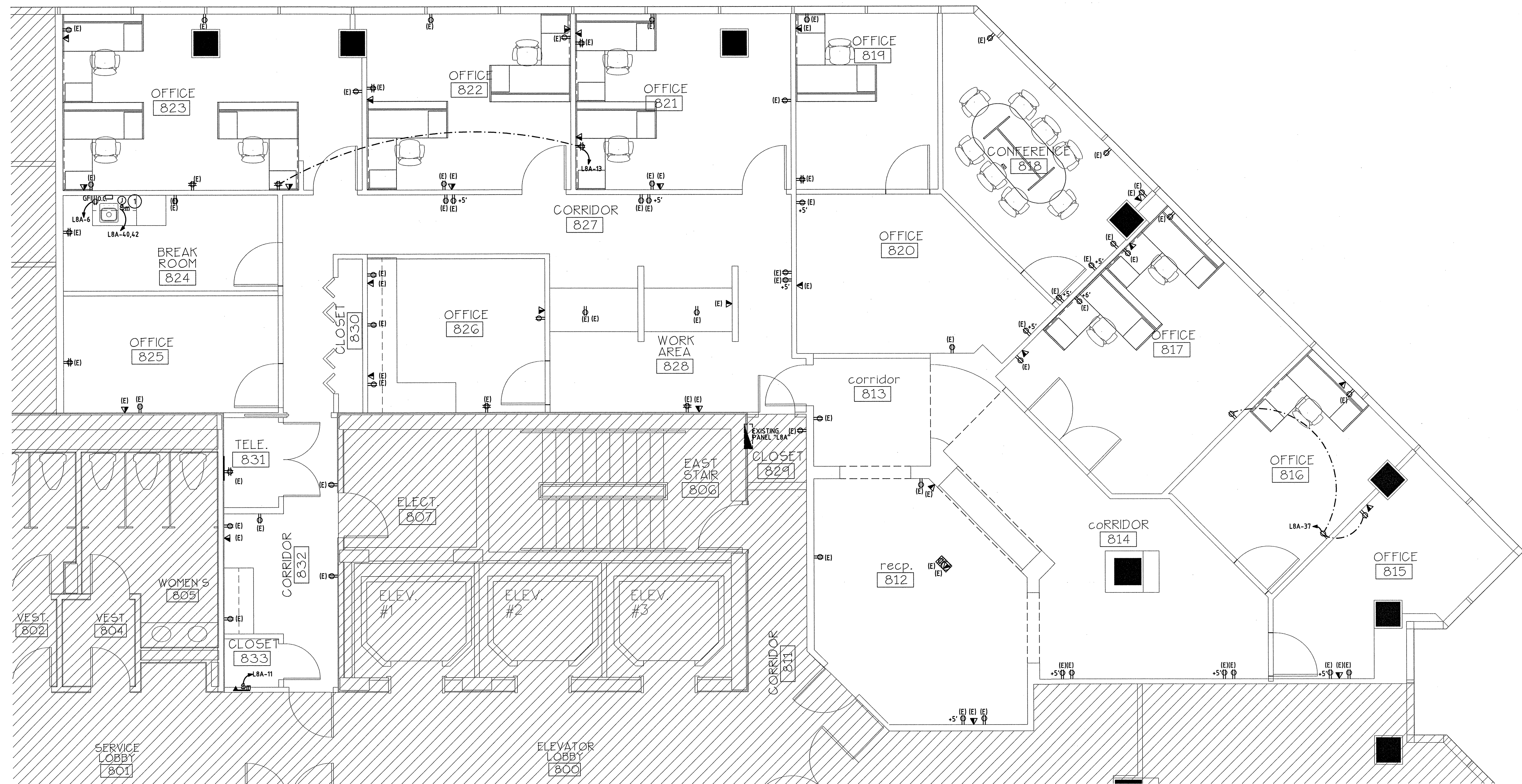
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project no: 11197	checked by: KS
date: 11/08/11	drawn by: BJJOE

**D-1.0**



**1 POWER PLAN**  
SCALE: 1/4"=1'-0"

ELECTRICAL SYMBOL LEGEND	
	110V RECEPTACLE
	SWITCHED RECEPTACLE
	QUAD-PLEX RECEPTACLE
	WATER PROOF RECEPTACLE
	GROUND FAULT CIRCUIT INTERRUPTER
	220V RECEPTACLE
	FLOOR RECEPTACLE & FLOOR TELE/DATA PORT; FLUSH WITH FLOOR; PROVIDE BRASS COVER PLATE
	FLOOR RECEPTACLE; FLUSH WITH FLOOR; PROVIDE BRASS COVER PLATE
	J-BOX
	LOW VOLTAGE TRANSFORMER
	TELE/FAX/DATA PORT **
	TELEPHONE JACK **
	CABLE TV J-BOX & CONDUIT
	TELEPHONE BOARD / CATV BOARD (SEE NOTE NO. 3)
	THERMOSTAT
	REMOTE ALARM TEST STATION
	OVER COUNTER, VERIFY HEIGHT W/ OWNER/ARCH
	EXISTING TO REMAIN
	SWITCH
	3-WAY SWITCH
	MOTOR RATED SWITCH
	FACTORY INSTALLED PULL DISCONNECT
	FUSE DISCONNECT
	ELECTRICAL CIRCUIT BREAKER
	ELECTRICAL PANEL
	ASTRONOMICAL TIME CLOCK
	AUTOMATIC TRANSFER SWITCH
	FIRE ALARM CONTROL PANEL
	ELECTRICAL METER
	EXHAUST FAN
	CARD READER
	# POLES $\frac{\text{FRAME SIZE}}{\text{FUSE SIZE}}$ (NEMA ENCLOSURE)
	JUNCTION BOX FOR FURNITURE POWER
	JUNCTION BOX FOR FURNITURE TELE/DATA
	NO SYMBOL NEW

\*\* PROVIDE 3/4" C WITH PULL WIRE. STUB ABOVE CEILING WITH A BOX.  
NOTES: 1. ALL SYMBOLS MAY NOT BE USED FOR THIS PROJECT  
2. ALL LIGHT SWITCHES AND RECEPTACLES SHALL BE STANDARD WHITE DECORA TYPE.

**KEY NOTES**  
1. PROVIDE JUNCTION BOX AND DISCONNECT SWITCH FOR TANKLESS WATER HEATER. COORDINATE EXACT LOCATION AND REQUIREMENTS WITH SUPPLIER PRIOR TO ROUGH-IN.

**CEILING IS COMMON PLENUM  
NO COMBUSTIBLE MATERIAL ALLOWED**

**COORDINATION NOTE**  
CONTRACTOR TO COORDINATE ALL FINAL LOCATIONS AND TYPES OF ALL DEVICES AND EQUIPMENT WITH ARCHITECT PRIOR TO CONSTRUCTION.

**LOW VOLTAGE NOTE**  
CONTRACTOR TO COORDINATE LOCATION AND REQUIREMENTS OF ALL LOW VOLTAGE WIRING AND TELEPHONE/DATA/TV DEVICES WITH OWNER PRIOR TO CONSTRUCTION.

**FIRE RATING NOTE**  
ALL RECEPTACLES PENETRATING FIRE RATED WALLS SHALL BE PROVIDED WITH UL APPROVED FIRE RATED RECEPTACLE BOXES. (EQUAL TO WALL FIRE RATING - SEE ARCHITECTURAL DRAWINGS)

**PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.**

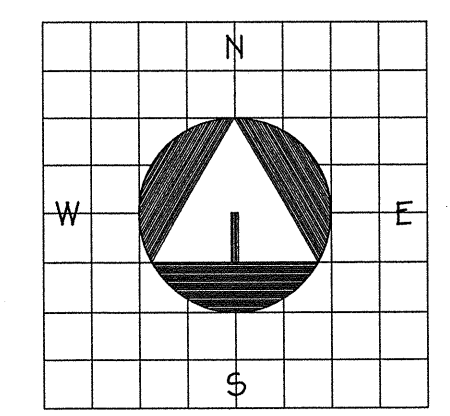
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**8TH FLOOR**

SCALE: 1/4" = 1'-0"

0 4 8 16 32



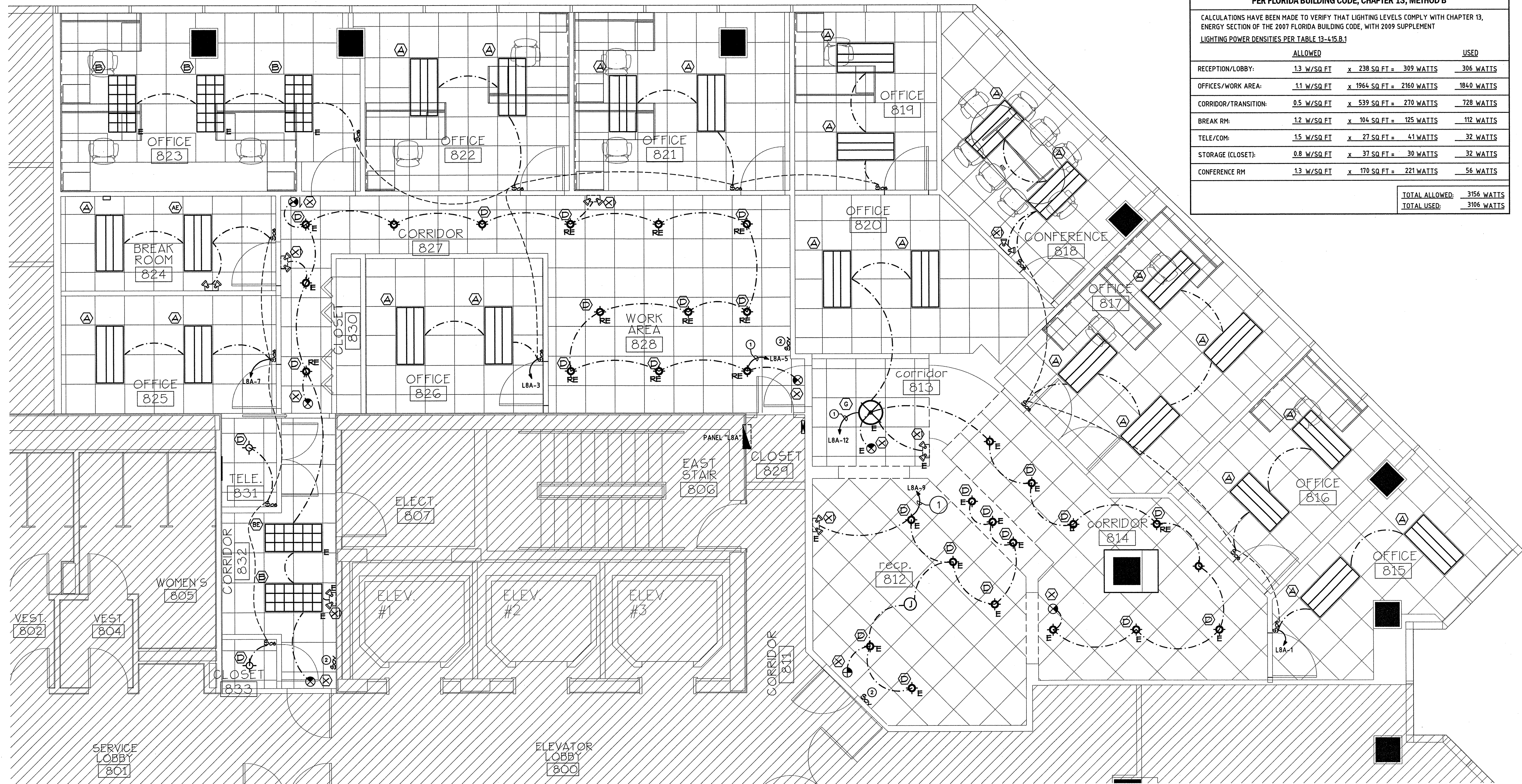
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project no: 11432	date: 11/09/11
drawn by: CJS/KAB	checked by: UI



2ND. FLOOR INTERIOR LIGHTING POWER ALLOWANCE PER FLORIDA BUILDING CODE, CHAPTER 13, METHOD B			
CALCULATIONS HAVE BEEN MADE TO VERIFY THAT LIGHTING LEVELS COMPLY WITH CHAPTER 13, ENERGY SECTION OF THE 2007 FLORIDA BUILDING CODE, WITH 2009 SUPPLEMENT			
LIGHTING POWER DENSITIES PER TABLE 13-115.B.1			
	ALLOWED		USED
RECEPTION/LOBBY:	13 W/SQ FT	x 238 SQ FT =	309 WATTS
OFFICES/WORK AREA:	11 W/SQ FT	x 1964 SQ FT =	2160 WATTS
CORRIDOR/TRANSITION:	0.5 W/SQ FT	x 539 SQ FT =	270 WATTS
BREAK RM:	12 W/SQ FT	x 104 SQ FT =	125 WATTS
TELE/COM:	15 W/SQ FT	x 27 SQ FT =	41 WATTS
STORAGE (CLOSET):	0.8 W/SQ FT	x 37 SQ FT =	30 WATTS
CONFERENCE RM:	13 W/SQ FT	x 170 SQ FT =	221 WATTS
		TOTAL ALLOWED:	3156 WATTS
		TOTAL USED:	3106 WATTS

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LIGHTING FIXTURE SCHEDULE OR EQUAL				
TYPE	MFG/MOD NO	LAMP	MOUNTING	DESCRIPTION
Ⓐ	DAYBRITE "ARIOSO SERIES" 2AVG28-PHW-UNV-EB10R	2-28T5	RECESSED	2'x4' FLUORESCENT DIRECT/INDIRECT
Ⓑ	EXISTING	2-32T8	RECESSED	2'x4' FLUORESCENT
Ⓒ	EXISTING FLUORESCENT DOWNLIGHT	1-32DTT	RECESSED	OPEN REFLECTOR DOWNLIGHT, CLEAR TRIM, AND SPECULAR LOW IRIDESCENT FINISH
Ⓓ	EXISTING PENDANT IN CORRIDOR	CALCULATED @ 200W	PENDANT	
ⓧ	MCPHILBEN (SHALL MATCH 8TH FLOOR) COLOR RED	INCLUDED	EXIT LIGHT	LED EXIT LIGHT - COLOR RED W/ 90 MIN. BATTERY PACK
ⓧ	MCPHILBEN (SHALL MATCH 8TH FLOOR) COLOR RED	INCLUDED	WALL	EMERGENCY BATTERY PACK W/ 90 MIN. BATTERY PACK

**NOTES:**

- PROVIDE ELECTRONIC BALLAST FOR ALL FLUORESCENT LAMPED FIXTURES.
- FLUORESCENT LAMP COLOR TEMPERATURE SHALL BE 3500K.
- SEE LIGHTING PLAN FOR EXIT SIGN CHEVRON REQUIREMENTS AND NUMBER OF FACES.
- COORDINATE ALL LIGHTING FIXTURE TYPES WITH ARCHITECT PRIOR TO BID/PURCHASE.
- ALL EMERGENCY LIGHTING TEST BUTTONS TO BE MOUNTED INSIDE LIGHT FIXTURE.

**NOTES TO CONTRACTOR:**

- REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR THE FINAL LOCATION OF ALL FIXTURES, DEVICES, ETC.
- VERIFY LIGHTING REQUIREMENTS WITH OWNER/VENDOR PRIOR TO BID & CONSTRUCTION.
- ALL SWITCHES AND THERMOSTATS SHALL BE MOUNTED @ 42" A.F.F. COORDINATE EXACT LOCATIONS ON WALL IN FIELD WITH ARCHITECT PRIOR TO ROUGH IN.
- ALL SWITCH AND OUTLET PLATES SHALL MATCH THE COLOR OF SWITCH AND OUTLET PLATES ON 20TH FLOOR.

LIGHTING CONTROL SYMBOL LEGEND	
⌚	TIME CLOCK "TC-1"
Ⓞ	OCCUPANCY SENSOR SWITCH LEVITON OSSMT-MDW
Ⓢ	SWITCH
Ⓢ₃	3-WAY SWITCH
Ⓢ₄	4-WAY SWITCH
Ⓢ <sub>o</sub>	DIMMER SWITCH
Ⓢ <sub>t</sub>	TIMER SWITCH FOR EXHAUST FAN
Ⓢ <sub>v</sub>	OVERRIDE SWITCH LEVITON LV240
Ⓢ <sub>o</sub>	OCCUPANCY SENSOR LEVITON OSC10-R
RE	RELOCATED LIGHT FIXTURE
E	EXISTING

**NOTE:**  
1. ALL SYMBOLS MAY NOT BE USED FOR THIS PROJECT.

**GENERAL LIGHTING NOTES**

- ALL EXIT, EMERGENCY, AND BATTERY PACKS IN FLUORESCENT FIXTURES TO BE WIRED AHEAD OF CONTROL SWITCH.
- IF APPLICABLE, ALL DIMMER SWITCHES SHALL HAVE A PRESET MINIMUM RATING OF 1.0 KW.
- ALL FIXTURE COUNTS, SELECTIONS, AND EXACT LOCATIONS MUST BE VERIFIED WITH OWNER/ARCHITECT PRIOR TO PURCHASE.
- CONTRACTOR TO VERIFY IF ANY LOW VOLTAGE LIGHT FIXTURES REQUIRE STEP-DOWN TRANSFORMERS, QUANTITY AND LOCATION TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- ALL FIXTURES TO HAVE UL CERTIFICATION.
- ALL LUMINAIRES SHALL COMPLY WITH SECTION 4.10.73.G OF THE NEC.

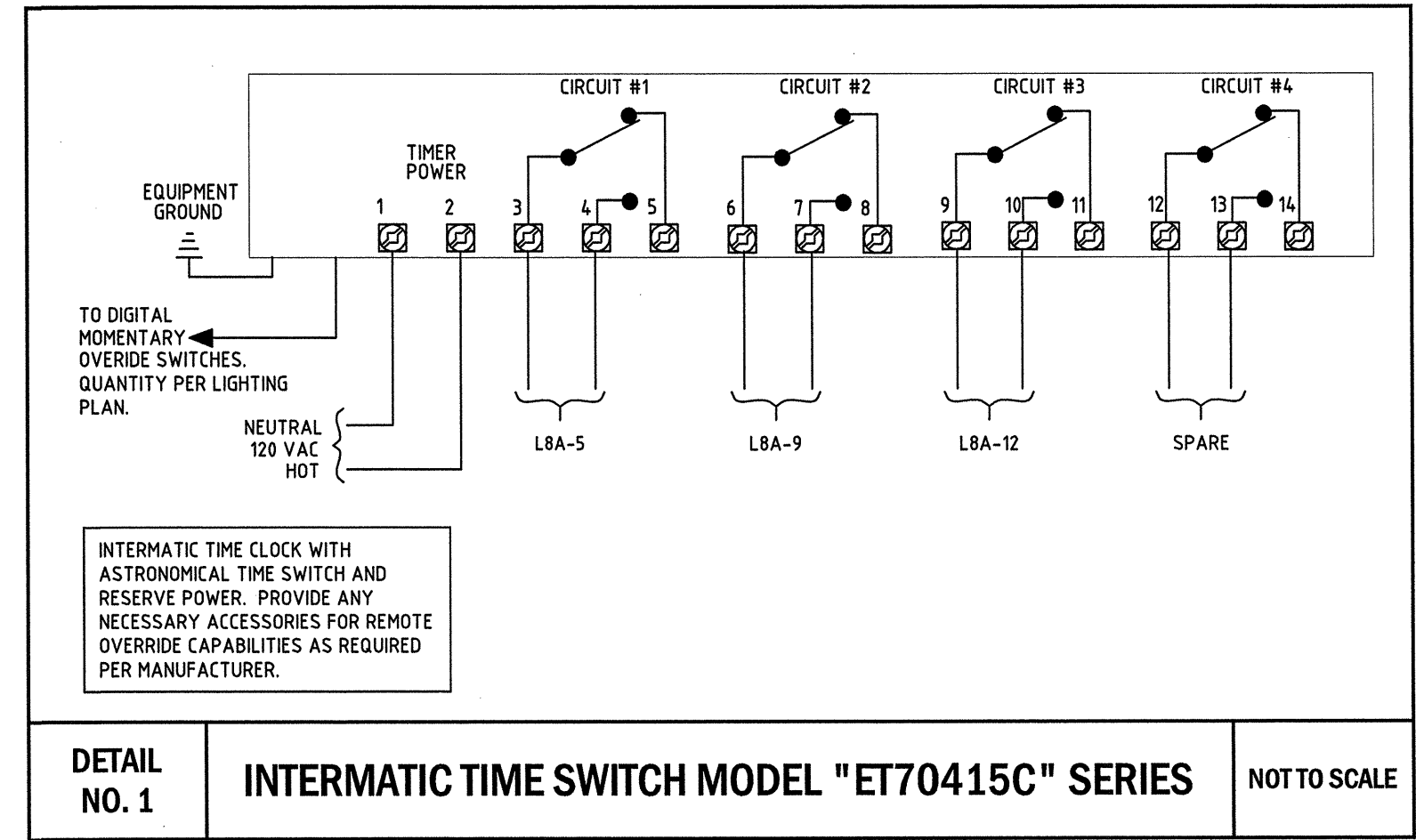
**ENERGY COMPLIANCE NOTE**

- OCCUPANCY SENSORS SHALL BE THE MEANS OF AUTOMATIC LIGHTING SHUTOFF FOR NEW AREAS PER FBC 13-415.AB.1. OCCUPANCY SENSORS MUST TURN LIGHTS OFF WITHIN 30 MINUTES AFTER AN OCCUPANT LEAVES THE SPACE.
- RECORD DRAWINGS OF INSTALLATION AND OPERATION MANUALS ARE TO BE PROVIDED TO THE OWNER WITHIN 30 DAYS AS SPECIFIED IN THE FLORIDA BUILDING CODE SECTION 13-413.1ABC.2.

**LIGHTING KEY NOTES**

- WIRE CIRCUIT THROUGH ELECTRONIC TIME CLOCK "TC-1". SEE THIS SHEET FOR DETAILS.
- PROVIDE DIGITAL MOMENTARY SWITCH TO OVER-RIDE TIME "OFF" FOR CIRCUITS "LBA-5, LBA-9, LBA-12"

**1 LIGHTING PLAN**  
 SCALE: 1/4"=1'-0"



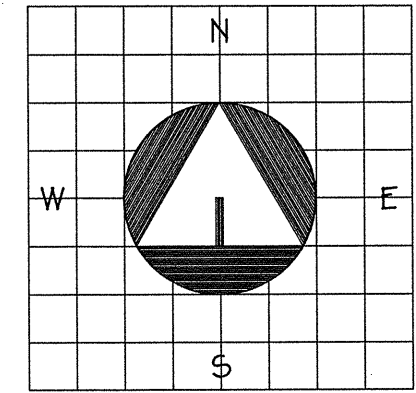
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**8TH FLOOR**

SCALE: 1/4" = 1'-0"

0 4 8 16 32



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 checked by: UI

revisions:

**E2.1**

MFG. EXISTING		TYPE		MAIN LUGS ONLY		PANEL RATING		225 AMPS									
VOLTS 208/120V 3Ø4W		PANEL "LBA"		POS 42		BUS		BUS KVA									
A	B	C	LOAD	COND. WIRE SIZE	POLE	AMPS	CKT.	BUS	CKT.	AMPS	POLE	WIRE SIZE	COND.	LOAD	A	B	C
0.7			LIGHTING - OFFICES	Ø 1/2"	#12	1	20	1		4	20	-	-	KITCHEN RECEPT	Ø 10		
	0.7		LIGHTING - OFFICES	Ø 1/2"	#12	1	20	3		4	20	-	-	SPARE			
		0.7	LIGHTING - WORK AREA	Ø 1/2"	#12	1	20	6		6	20	1	#12 1/2"	KITCHEN RECEPT	Ø 10		
0.4			LIGHTING - BREAK RM, OFFICES	Ø 1/2"	#12	1	20	7		8	20	1	#12 1/2"	DISPOSAL RECEPT	Ø 12		
	0.5		RECEPTION LTS	Ø 1/2"	#12	1	20	9		10	20	1	#12 1/2"	LOUNGE RECEPT	Ø 10		
		0.6	MOTORIZED DAMPER	Ø 1/2"	#12	1	20	11		12	20	1	#12 1/2"	RECEPTION LTS	Ø 10		0.6
		0.8	RECEPT. - OFFICES	Ø 1/2"	#12	1	20	13		14	20	1	#12 1/2"	DISPLAY RM RECEPT	Ø 10		0.6
			SPARE	-	-	-	-	15		16	20	1	#12 1/2"	CONFERENCE RM RECEPT	Ø 10		0.8
		0.6	DISPLAY LTS	Ø 1/2"	#12	1	20	17		18	20	1	#12 1/2"	HALL RECEPT	Ø 10		0.6
	0.6		DISPLAY LTS	Ø 1/2"	#12	1	20	19		20	20	1	#12 1/2"	OFFICE 3 RECEPT	Ø 10		0.6
		0.8	OFFICE 1 RECEPTS	Ø 1/2"	#12	1	20	21		22	20	1	#12 1/2"	COPY FILE RM RECEPT	Ø 10		0.6
		0.8	OFFICE 2 RECEPTS	Ø 1/2"	#12	1	20	23		24	20	-	-	SPARE			
		0.8	WEST WALL LOUNGE RECEPTS	Ø 1/2"	#12	1	20	25		26	20	1	#12 1/2"	COPY MACHINE	Ø 10		
		0.8	AV RECEPT	Ø 1/2"	#12	1	20	27		28	20	-	-	SPARE			
		1.0	KITCHEN RECEPT	Ø 1/2"	#12	1	20	29		30	20	-	-	SPARE			
		0.8	RECEPTION NORTH RECEPTS	Ø 1/2"	#12	1	20	31		32	20	1	#12 1/2"	KITCHEN RECEPTS	Ø 10		
			SPARE	-	-	-	-	33		34	20	1	#12 1/2"	IT ROOM	Ø 10		
		0.6	STAFF STATIONS	Ø 1/2"	#12	1	20	35		36	20	-	-	SPARE			
		0.4	RECEPT. - OFFICES	Ø 1/2"	#12	1	20	37		38	20	-	-	SPARE			
			SPACE	-	-	-	-	39		40	30	2	#10 3/4"	TANKLESS WATER HEATER	Ø 1.8		
			SPACE	-	-	-	-	41		42							1.8

**REMARKS & KEY NOTES:**

- Ø EXISTING BRANCH CIRCUIT AND CIRCUIT BREAKER TO REMAIN.
- Ø EXISTING BRANCH CIRCUIT WITH LOAD MODIFIED FOR THIS PROJECT.
- Ø PROVIDE NEW CIRCUIT BREAKER AS INDICATED, INST. IN EXISTING SPACE IN PANEL, AND CONNECT NEW BRANCH CIRCUIT FOR OPERATION.
- Ø PROVIDE NEW BRANCH CIRCUIT AND CONNECT TO EXISTING SPARE BREAKER AS INDICATED.

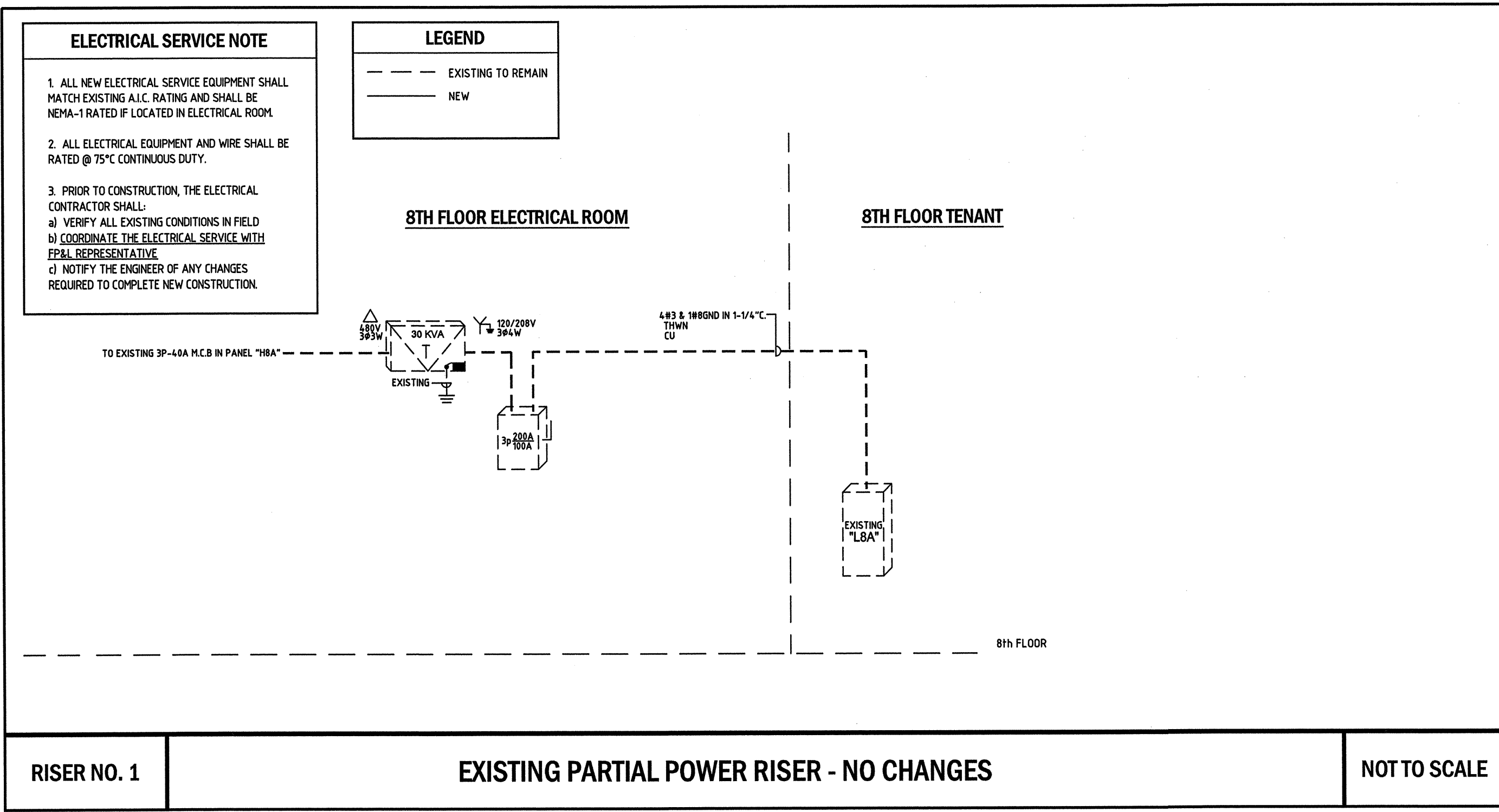
KVA ØA 9.1      KVA ØB 8.0      KVA ØC 8.3

la 75.8 AMPS      lb 66.7 AMPS      lc 69.2 AMPS

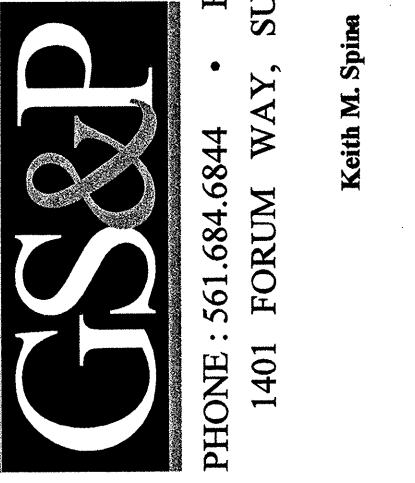
FEEDER SIZE EXISTING      CONDUIT SIZE 1-1/4"      MOUNT RECESSED      MIN. A.I.C. EXISTING

- ### ELECTRICAL SPECIFICATIONS
- DO NOT SCALE THE ELECTRICAL DRAWING. REFER TO THE ARCHITECTURAL PLAN AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT AND CONFORM WITH OWNERS REPRESENTATIVE.
  - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2008 EDITION OF THE NATIONAL ELECTRICAL CODE, 2008 EDITION OF NFPA 70, 2005 EDITION OF NFPA 72, 2003 EDITION OF NFPA 75, 2006 EDITION OF NFPA 101, 2005 EDITION OF NFPA 110, AND 2007 EDITION OF FBC W/ 2009 SUPPLEMENT.
  - UNLESS OTHERWISE NOTED, ALL CONDUCTORS SHALL BE COPPER, WITH "THHN" INSULATION FOR SIZE #10 AND SMALLER, CONDUCTORS LARGER THAN #10 SHALL HAVE "THWN" INSULATION. ALL CONDUCTORS IN WET LOCATIONS MUST HAVE "THWN" INSULATION. ALL CONDUCTORS #10 AND SMALLER MAY BE SOLID. ALL CONDUCTORS #8 AND LARGER SHALL BE STRANDED. ALL CONDUCTORS MUST COMPLY WITH ARTICLE 310 OF THE 2005 NEC.
  - OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
  - DISCONNECT SWITCHES SHALL BE H.P. RATED, HEAVY DUTY, QUICK MAKE, QUICK BREAK, WITH ENCLOSURES AS REQUIRED BY EXPOSURE.
  - THESE PLANS DO NOT SHOW EVERY MINOR DETAIL OF CONSTRUCTION, THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND MEET ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
  - THE ELECTRICAL SYSTEM SHALL BE COMPLETELY AND EFFECTIVELY GROUNDED AS REQUIRED IN ARTICLE 250, NATIONAL ELECTRICAL CODE. THE GROUNDING SYSTEM SHALL BE TESTED AND SHALL MEASURE A MAXIMUM OF 5 OHMS. PROVIDE A COPY OF THE TEST REPORT TO ENGINEER.
  - ALL MATERIALS SHALL BE NEW AND SHALL BEAR U.L. LABELS WHERE APPLICABLE.
  - ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANSHIP MANNER. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIVE AND ACCEPTANCE BY ENGINEER/ARCHITECT MUST BE A CONDITION OF THE SUBCONTRACTOR.
  - THE ELECTRICAL INSTALLATION SHALL MEET ALL STANDARD REQUIREMENTS OF POWER, LIGHT COMPANY AND TELEPHONE COMPANY.
  - CIRCUITS SHOWN ON PLANS ARE TO DETERMINE LOAD DATA AND PANEL SIZE. THE CONTRACTOR SHALL PROVIDE CIRCUITS TO SUIT JOB CONDITIONS.
  - SEE NOTES ON PLANS FOR OTHER REQUIREMENTS.
  - FURNISH AND INSTALL LIGHTING FIXTURES AND LAMPS AS CALLED FOR ON PLANS, OR AS SELECTED BY OWNER.
  - ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROCESS OF CONSTRUCTION.
  - CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY PHASE OF THE INSTALLATION WHICH MAY BE DAMAGED.
  - ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY OF PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
  - CHECK ALL EQUIPMENT FOR PROPER VOLTAGE, PHASE, AND CURRENT BEFORE CONNECTION TO CIRCUITS.
  - ELECTRICAL CONTRACTOR SHALL CHECK AND VERIFY EQUIPMENT FURNISHED AGAINST THOSE SPECIFIED OR INTENDED AND REVISE BRANCH CIRCUITS AS MAY BE REQUIRED WITH PRIOR APPROVAL OF ENGINEER/ARCHITECT.

- ### SCOPE OF WORK
- THE SCOPE OF ELECTRICAL WORK SHALL INCLUDE, BUT IS NOT LIMITED TO THE FOLLOWING:
- ELECTRICAL CONTRACTOR SHALL IDENTIFY ALL THE BRANCH CIRCUITS BEING FED FROM EXISTING PANELS.
  - ELECTRICAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BID AND INSTALLATION, INFORM THE ENGINEER OF RECORD OF ANY DISCREPANCY BETWEEN THE DOCUMENTS AND THESE CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER THE CONTRACT HAS BEEN AWARDED.
  - ELECTRICAL CONTRACTOR SHALL KEEP AS-BUILTS AND SUBMIT TO ENGINEER OF RECORD FOR REVIEW. ALL CHANGES SHALL BE FORWARDED A MINIMUM OF (2) WEEKS PRIOR TO FINAL INSPECTION. ANY EXPENSES, SUCH AS REVISIONS OR AS-BUILTS, NECESSARY FOR FINAL C.O. SHALL BE AT THE EXPENSE OF THE OWNER.



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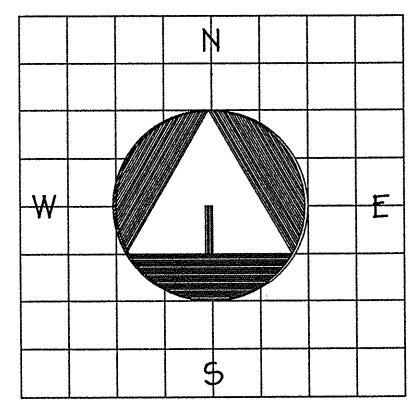
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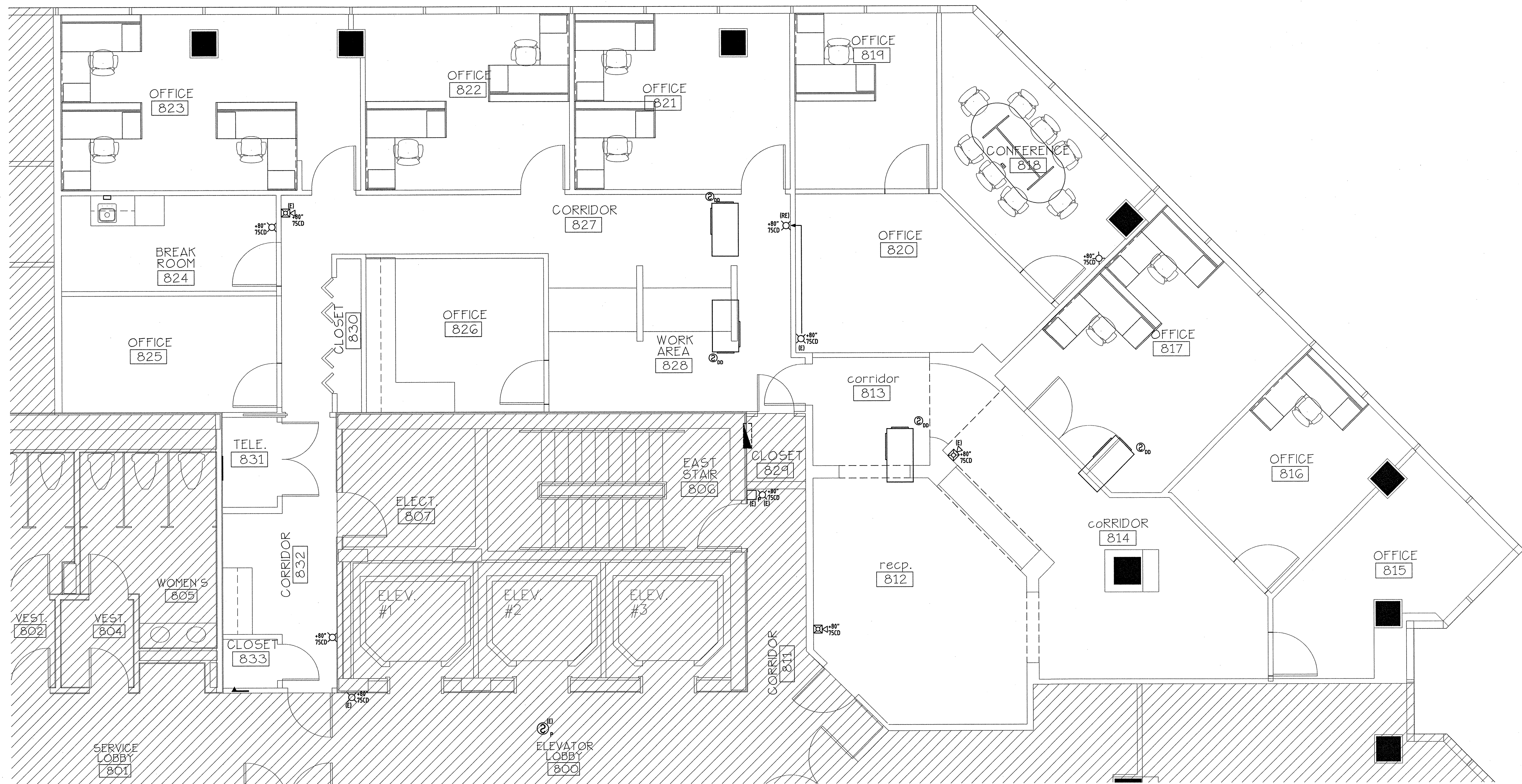
**ELECTRICAL PANELS, RISERS, & SPECS**

SCALE: 1/8" = 1'-0"

0' 4' 8' 16' 32'



PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.



ALL FIRE ALARM WORK OR COORDINATION OF FIRE ALARM SYSTEM SHALL BE COORDINATED WITH BUILDING MANAGEMENT.

CEILING IS COMMON PLENUM  
NO COMBUSTIBLE MATERIAL ALLOWED

ALL HVAC UNITS TO TIE INTO THE FIRE ALARM SYSTEM AND HAVE GLOBAL SHUT DOWN. COORDINATE WITH BUILDING ENGINEER.

**FIRE ALARM NOTE**  
FIRE ALARM DEVICES ON THIS PLAN ARE SHOWN FOR INTENT ONLY. FIRE ALARM CONTRACTOR TO PROVIDE SHOP DRAWINGS AND CUT SHEETS FOR APPROVAL BY THE LANDLORD AND BY THE FIRE MARSHALL. FIRE ALARM DEVICES SHALL TIE INTO THE BUILDING'S MAIN FIRE ALARM SYSTEM.

**SPRINKLER NOTE**  
BUILDING IS FULLY SPRINKLED, THEREFORE SMOKE DETECTORS ARE NOT REQUIRED AND ONLY (1) PULL STATION IS REQUIRED PER BUILDING.

**GENERAL NOTE**  
PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS. THE ENGINEER IS NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED.

FIRE ALARM SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	WALL MOUNTED STROBE LIGHT (CD AS INDICATED)
	WALL MOUNTED HORN/STROBE (CD AS INDICATED)
	PULL STATION
	SMOKE DUCT DETECTOR (GROUND TEST STATION) (CONTROL MODULE)
	PHOTOELECTRIC SMOKE DETECTOR (STANDARD BASE WITH TRIM RING) (ADDRESSABLE MONITOR MODULE)
	FIRE SMOKE DAMPER
(E)	EXISTING DEVICE TO REMAIN
(RE)	RELOCATED DEVICE
NO SYMBOL	NEW DEVICE

ALL NEW DEVICES SHALL TIE INTO BUILDING'S EXISTING FIRE ALARM SYSTEM. ALL FIRE ALARM DEVICES SHALL MATCH EXISTING BUILDING'S STANDARDS.

1 FIRE ALARM PLAN  
SCALE: 1/4"=1'-0"

PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.

PERMIT SET: 11/09/11

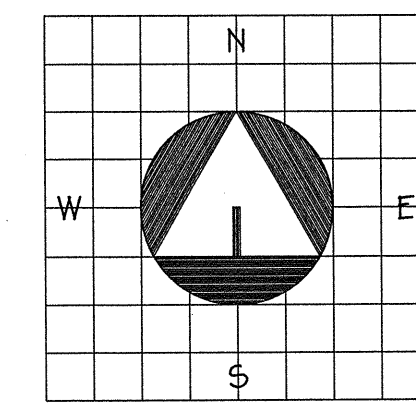
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8TH FLOOR

SCALE: 1/4" = 1'-0"

0 4 8 16 32



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date: 11/09/11  
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checked by: UI

revisions:

**FA1.1**



## GENERAL NOTES

- THESE CONSTRUCTION DOCUMENTS ARE DIAGRAMMATIC ONLY. IT IS NOT THE INTENT OF THESE DOCUMENTS TO SHOW EVERY DETAIL OF CONSTRUCTION. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL FURNISH AND INSTALL ALL ITEMS NECESSARY FOR COMPLETION AS INDICATED ON THESE DRAWINGS.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE FAMILIAR WITH THE CONSTRUCTION DOCUMENTS PRIOR TO SUBMITTING BIDS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK.
- ALL DIMENSIONS, SPECIFICATIONS AND NOTES PROVIDED HEREIN SHALL BE VERIFIED BY EACH CONTRACTOR PRIOR TO PERFORMANCE OF THE WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- WHEN TWO OR MORE REQUIREMENTS OR STANDARDS ARE SPECIFIED ESTABLISHING DIFFERENT OR CONFLICTING LEVELS OF QUALITY, THE MOST STRINGENT REQUIREMENT IS INTENDED AND WILL BE ENFORCED.
- CONTRACTOR SHALL MAKE NO CHANGES OR SUBSTITUTIONS WITHOUT WRITTEN APPROVAL BY ADDENDUM FROM THE ARCHITECT.
- CONTRACTOR SHALL MEET WITH THE BUILDING OWNER OR MANAGER PRIOR TO THE BID IN ORDER TO OBTAIN A COPY OF THE BUILDING STANDARD GUIDELINES AND TO DISCUSS THE BUILDING MANAGEMENTS REQUIREMENTS FOR PROTECTION OF PUBLIC SPACES, DAILY CLEANING, CONSTRUCTION, STAGING, MATERIAL, DELIVERIES, LOCATION OF CONSTRUCTION DUMPSTERS, PARKING, ETC. THE COST TO MEET THESE REQUIREMENTS SHALL BE INCLUDED IN BID.
- REPLIES TO ALL REQUESTS FOR CLARIFICATION WILL BE ISSUED TO ALL PRIME BIDDERS, AS ADDENDA TO THE DRAWINGS AND SPECIFICATIONS, AND WILL BECOME PART OF THE CONTRACT. THE ARCHITECT AND OWNER WILL NOT BE RESPONSIBLE FOR ORAL CLARIFICATION.
- ALL WORK SHALL CONFORM TO THE LATEST REQUIREMENTS OF APPLICABLE LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.
- CONTRACTOR FOR CONSTRUCTION SHALL BE AIA DOCUMENT A101, STANDARD FORM FOR AGREEMENT BETWEEN OWNER AND CONTRACTOR, STIPULATED SUM - 1997 EDITION AND SHALL INCORPORATE THE 1997 EDITION OF DOCUMENT A201, GENERAL CONDITIONS.
- GENERAL CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE TO THE ARCHITECT AND OWNER FOR REVIEW PRIOR TO COMMENCING WORK.
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL COORDINATE AND OBTAIN ALL PERMITS REQUIRED TO COMPLETE THE CONSTRUCTION OF THE WORK AS INDICATED ON THE DRAWINGS AND SPECIFICATIONS.
- GENERAL CONTRACTOR SHALL INCLUDE IN THE BASE BID ALL FEES ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT, INCLUDING BUT NOT LIMITED TO PERMIT FEES AND ALL SUBCONTRACTOR PERMIT FEES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY COORDINATING ALL ASPECTS OF THE CONSTRUCTION INCLUDING CROSS REFERENCING ALL OBVIOUSLY RELATED DOCUMENTS AND DRAWINGS. SHOULD PROBLEMS ARISE OUT OF A LACK OF COORDINATION IN AREAS THAT COULD HAVE REASONABLY BEEN FORESEEN, NO ADDITIONAL PAYMENT SHALL BE WARRANTED OR APPROVED BY THE OWNER OR THE ARCHITECT. SHOULD THE SERVICES OF THE ARCHITECT AND/OR HIS CONSULTANTS BE REQUIRED TO REMEDY OR REVISE THE CONSTRUCTION DUE TO ERRORS AND/OR OMISSIONS BY THE CONTRACTOR, COMPENSATION FOR THESE SERVICES SHALL BE MADE BY THE GENERAL CONTRACTOR THROUGH THE CHANGE ORDER PROCESS OR BY SEPARATE AGREEMENT WITH THE ARCHITECT AND/OR HIS CONSULTANTS.
- ALL WORK DETAILED IN THESE CONSTRUCTION DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR WHO SHALL SUBCONTRACT AND/OR ASSIGN PORTIONS OF THE WORK TO THE MOST QUALIFIED TRADE. FAILURE BY ANY SUBCONTRACTOR TO INCLUDE CERTAIN WORK REQUIRED SHALL NOT RELIEVE THE GENERAL CONTRACTOR OF HIS RESPONSIBILITY AS PART OF THE CONTRACT FOR CONSTRUCTION TO PROVIDE A COMPLETE JOB.
- CONTRACTOR IS TO COORDINATE AND ORGANIZE THE CONSTRUCTION PROCESS AND COMPLETE SAME IN A MANNER WHICH LEAST IMPACTS THE ADJOINING COMMON AREAS IN ORDER TO MINIMIZE INCONVENIENCE TO THE EXISTING TENANTS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO EMPLOY THOSE CONTROL MEASURES NECESSARY TO ENSURE THAT THE BUILDING COMMONS AREAS AS WELL AS EXISTING TENANT SPACES ARE NOT IMPACTED BY AIRBORNE CONTAMINANTS CAUSED BY THE CONSTRUCTION OF THE TENANT SPACE. THE METHODS EMPLOYED SHALL COMPLY WITH THE INDOOR AIR QUALITY (IAQ) GUIDELINES FOR OCCUPIED BUILDINGS UNDER CONSTRUCTION 1ST EDITION PUBLISHED BY SMOAQA. QUALITY CONTROL METHODS USED TO MONITOR AIR QUALITY, I.E. TESTING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW. SHOP DRAWINGS SHALL BE OF SUFFICIENT DETAIL AND SCALE TO DETERMINE COMPLIANCE WITH THE INTENT OF THE SPECIFIED QUALITY STANDARDS. INCOMPLETE SHOP DRAWINGS WILL BE RETURNED TO THE GENERAL CONTRACTOR WITHOUT REVIEW. THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWING SCHEDULE INDICATING THE TYPE AND CRITICAL RETURN DATES TO THE ARCHITECT FOR REVIEW. THE RETURN OF SHOP DRAWINGS TO THE GENERAL CONTRACTOR, WITH OR WITHOUT COMMENT, DOES NOT RELIEVE THE GENERAL CONTRACTOR AND THEIR SUB CONTRACTORS OF THE RESPONSIBILITY TO CONSTRUCT THE BUILDING PER THE PLANS AND SPECIFICATIONS, EVEN THOUGH THE SHOP DRAWINGS MAY INCORRECTLY DEVIATE FROM THE CONSTRUCTION DOCUMENTS. IN ADDITION, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DEVIATION FROM THE CONTRACT DOCUMENTS CONTAINED IN THE SHOP DRAWINGS. THE ARCHITECT, THEIR CONSULTANTS OR THE OWNER ARE NOT RESPONSIBLE FOR ANY CORRECTIVE CONSTRUCTION RESULTING FROM SHOP DRAWINGS THAT DEVIATE FROM THE CONTRACT DOCUMENTS.
- A PUNCH LIST SHALL BE PREPARED BY THE CONTRACTOR LISTING ALL ITEMS WHICH NEED TO BE COMPLETED, MODIFIED, CORRECTED OR REPLACED AND SUBMITTED TO ARCHITECT/OWNER. THE ARCHITECT SHALL THEN VISIT THE SITE TO REVIEW AND, IF THE LIST IS NOT REASONABLY COMPLETE, SHALL DIRECT THE CONTRACTOR TO COMPLETE THE LIST. THE FINAL PUNCH LIST SUBMITTED BY THE CONTRACTOR SHALL BE REVIEWED AND SUPPLEMENTED BY THE ARCHITECT/OWNER.
- CONTRACTOR SHALL DELIVER TO OWNER PRIOR TO FINAL PAYMENT ALL GUARANTIES, WARRANTIES AND TWO COPIES OF ALL MANUALS AND OPERATING INSTRUCTIONS AND ARRANGE TO GIVE PHYSICAL DEMONSTRATION OF ALL EQUIPMENT TO OWNER OR HIS REPRESENTATIVE.
- ALL LABOR AND MATERIALS SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION EXCEPT LONGER AS REQUIRED IN THE DRAWINGS AND/OR SPECIFICATIONS.
- ALL NEW CONSTRUCTION MUST MEET FEDERAL AND STATE BARRIER FREE REQUIREMENTS.
- MATERIAL OR SYSTEMS SHALL BE INSTALLED ACCORDING TO EXACT MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- ALL MATERIALS USED DURING CONSTRUCTION SHALL BE NEW AND FREE FROM BLEMISHES. NO USED MATERIALS WILL BE ALLOWED, EXCEPT AS NOTED HEREIN. COORDINATE WITH ARCHITECT AND OWNER/REPRESENTATIVE IN ADVANCE.
- DELIVERY AND STORAGE OF ALL MATERIAL SHALL BE ACCEPTABLE TO MANUFACTURER'S PRODUCT, REVIEW BY THE ARCHITECT AND SHALL PROVIDE COMPLETE PROTECTION OF PRODUCT.
- GENERAL CONTRACTOR SHALL COORDINATE DIRECTLY WITH OWNER/TENANT ALL WORK BY 'OWNER' OR 'TENANT' AS INDICATED ON PLANS AND ANY ATTACHED SPECIFICATIONS.
- GENERAL CONTRACTOR SHALL VERIFY FINAL SELECTION OF ALL FINISHES WITH ARCHITECT AND OWNER/TENANT. SUBMIT SAMPLES FOR REVIEW.
- FIRE EXTINGUISHERS SHALL BE PROVIDED BY GENERAL CONTRACTOR AND LOCATED AS REQUIRED BY CODE DURING CONSTRUCTION.
- CONCRETE SLABS SHALL BE LEVELED AND PREPARED TO RECEIVE FLOOR FINISH PER FINISH SCHEDULE.
- WHEREVER DISSIMILAR METALS CONTACT EACH OTHER, AND ARE SEPARATED FURTHER ON THE BELOW SCALE THAN BY A SINGLE INTERMEDIATE METAL, THE CONTACTING SURFACES SHALL BE INSULATED FROM EACH OTHER BY A BITUMINOUS CASING, 1/8" THICK OR OTHER ARCHITECT APPROVED MEANS. METALS ARRANGED IN ORDER OF GALVANIC ACTIVITY: ALUMINUM, ZINC, GALVANIZED IRON, TIN ON STEEL, LEAD (HARD), STAINLESS STEEL, COPPER, MONEL.
- GENERAL CONTRACTOR SHALL COORDINATE AND INSTALL ALL NECESSARY BACKING SUPPORTS FOR CABINETRY, SHELVING, TOILET ACCESSORIES, PLUMBING/LIGHTING FIXTURES, ETC.
- ALL WOOD FRAMING AND BLOCKING LOCATED WITHIN CONCEALED SPACES, SUCH AS PARTITIONS ABOVE CEILINGS, ETC., SHALL BE FIRE RETARDANT.
- ALL GYPSUM BOARD SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE UNITED STATES GYPSUM "GYPSUM CONSTRUCTION HANDBOOK".
- ALL GYPSUM BOARD SHALL RECEIVE A SLICK FINISH (LEVEL 4, SMOOTH TEXTURE), UNLESS OTHERWISE NOTED.
- AT WALLS SCHEDULED TO RECEIVE WALLCOVERING SHALL BE PREPARED TO RECEIVE WALLCOVERING BY APPLYING A FLAT OIL BASE PRIMER TO PROVIDE FULL COVERAGE TO PROHIBIT TELEGRAPHING THROUGH THE WALLCOVERING.
- GENERAL CONTRACTOR AND THE APPROPRIATE SUBCONTRACTORS SHALL COORDINATE THE LOCATION OF OUTLETS, SWITCHES, THERMOSTATS, ETC. WITH THE FURNITURE LAYOUT AND WITH CONSIDERATION GIVEN TO THE PLACEMENT OF ART, PICTURES, PLAQUES, ETC. THIS SHALL BE REVIEWED WITH THE ARCHITECT AND TENANT.
- CONTRACTOR SHALL ADJUST EXISTING FIRE SPRINKLER SYSTEM AS REQUIRED BY CODE. ALL SPRINKLER HEADS SHALL BE FLUSH, FULLY CONCEALED TYPE. FIRE SPRINKLER SUB-CONTRACTOR SHALL PREPARE AND SUBMIT SHOP DRAWINGS TO BUILDING DEPARTMENT AS REQUIRED.
- PRIOR TO FINAL COMPLETION, CONTRACTOR SHALL THOROUGHLY CLEAN ALL SURFACES.
- DIVERT DEMOLITION DEBRIS FROM DISPOSAL IN LANDFILLS AND INCINERATION FACILITIES. REDIRECT RECOVERED RESOURCES BACK TO THE MANUFACTURING PROCESS AND REUSABLE MATERIALS TO APPROPRIATE SITES. CONTRACTOR SHALL PROVIDE DOCUMENTATION TO IDENTIFY THE MATERIALS TO BE DIVERTED FROM DISPOSAL AND CALCULATIONS IN WEIGHT OR VOLUME OF PERCENTAGE OF DEBRIS TO BE RECYCLED OR SALVAGED. CONTRACTOR TO ACHIEVE A MINIMUM OF 75% RECYCLED OR SALVAGED DEBRIS OR MORE.

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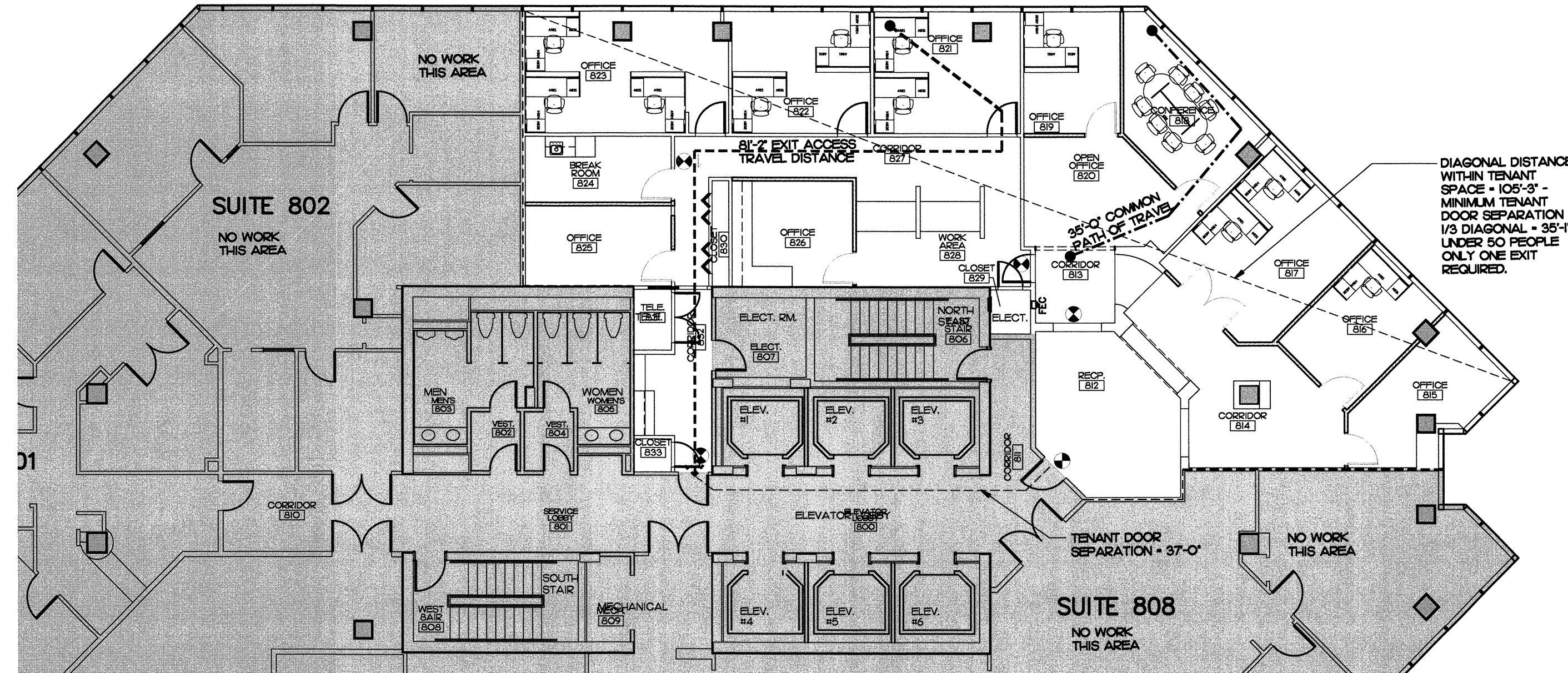
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**LIFE SAFETY PLAN**  
SCALE 3/32"=1'-0"

MEANS OF EGRESS (CHAP. 10 FBC)		
	ALLOWABLE	PROVIDED
SUITE 800 - 3,116 SF.		
BUSINESS - 1/100 SF		
OCCUPANT LOAD TABLE 1004.1.2	316 / 100 = 32	32
REQUIRED MEANS OF EGRESS	1	2
MINIMUM CLEAR OPENING OF EXIT DOORS SECTION 1004.11	32 IN.	34 IN.
COMMON PATH OF EGRESS TRAVEL (SPRINKLERED)	100 FT.	35 FT.
EXIT ACCESS TRAVEL DISTANCE (SPRINKLERED)	300 FT.	81'-2"
DEAD ENDS (SPRINKLERED)	50 FT.	0
EXIT CAPACITY	LEVEL TRAVEL: 0.3 INCHES PER PERSON TRAVEL BY STAIRS: 0.3 INCHES PER PERSON	
ARRANGEMENT OF EXITS	300' MAX. TRAVEL DISTANCE (NFPA 101, 562.2 FBC TABLE 1004) MAX. DEAD END 50' (NFPA 101, 561) COMMON PATH OF TRAVEL 100' MAX. (NFPA 101, 561)	
AREA OF REFUGED	NOT REQUIRED PER FBC 101-4.13 (9) FOR FULLY SPRINKLERED BUILDINGS	

LIFE SAFETY LEGEND	
	TRAVEL DISTANCE
	COMMON PATH OF TRAVEL
	DEADEND CORRIDOR
	EXIT LIGHT
	FIRE EXTINGUISHER CABINETS SHALL BE EQUAL TO LARSEN 'ARCHITECTURAL' SERIES MODEL NO. 2409 R2 RECESSED MOUNTED, SOLID DOOR STYLE, BLACK TYPE 'A' LETTERS, STAINLESS STEEL FINISH

## SCOPE OF WORK

THE SCOPE OF THE PROJECT INVOLVES THE INTERIOR RENOVATION OF EXISTING SUITE 800 AT 3,116 SF.

## INDEX OF DRAWINGS

ARCHITECTURAL	
LS-1	LIFE SAFETY PLANS
D-1-0	DEMOLITION PLAN
A-1-0	FLOOR PLAN & REFL. CEILING PLAN
A-1-1	FINISH & FURNITURE PLAN
A-2-0	DETAILS
MECHANICAL	
M 1-1	MECHANICAL PLAN
M 2-1	MECHANICAL DATA, DTLS. & SPECS
PLUMBING	
P 1-1	PLUMBING PLAN
ELECTRICAL	
E 1-1	POWER PLAN
E 2-1	LIGHTING PLAN
E 3-1	ELECT. PANELS, RISERS & SPECS
FIRE ALARM	
FA 1-1	FIRE ALARM PLAN

## CODE RESEARCH

- 2007 FLORIDA BUILDING CODE / WITH 2009 REVISIONS/ SUPPLEMENTS
- FLORIDA ACCESSIBILITY CODE
- NFPA 101, LIFE SAFETY CODE 2006 EDITION
- NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS
- 2005 NFPA-70 2005 EDITION - NATIONAL ELECTRIC CODE
- 2002 NFPA-72 2002 EDITION
- 2002 NFPA-13 2002 EDITION

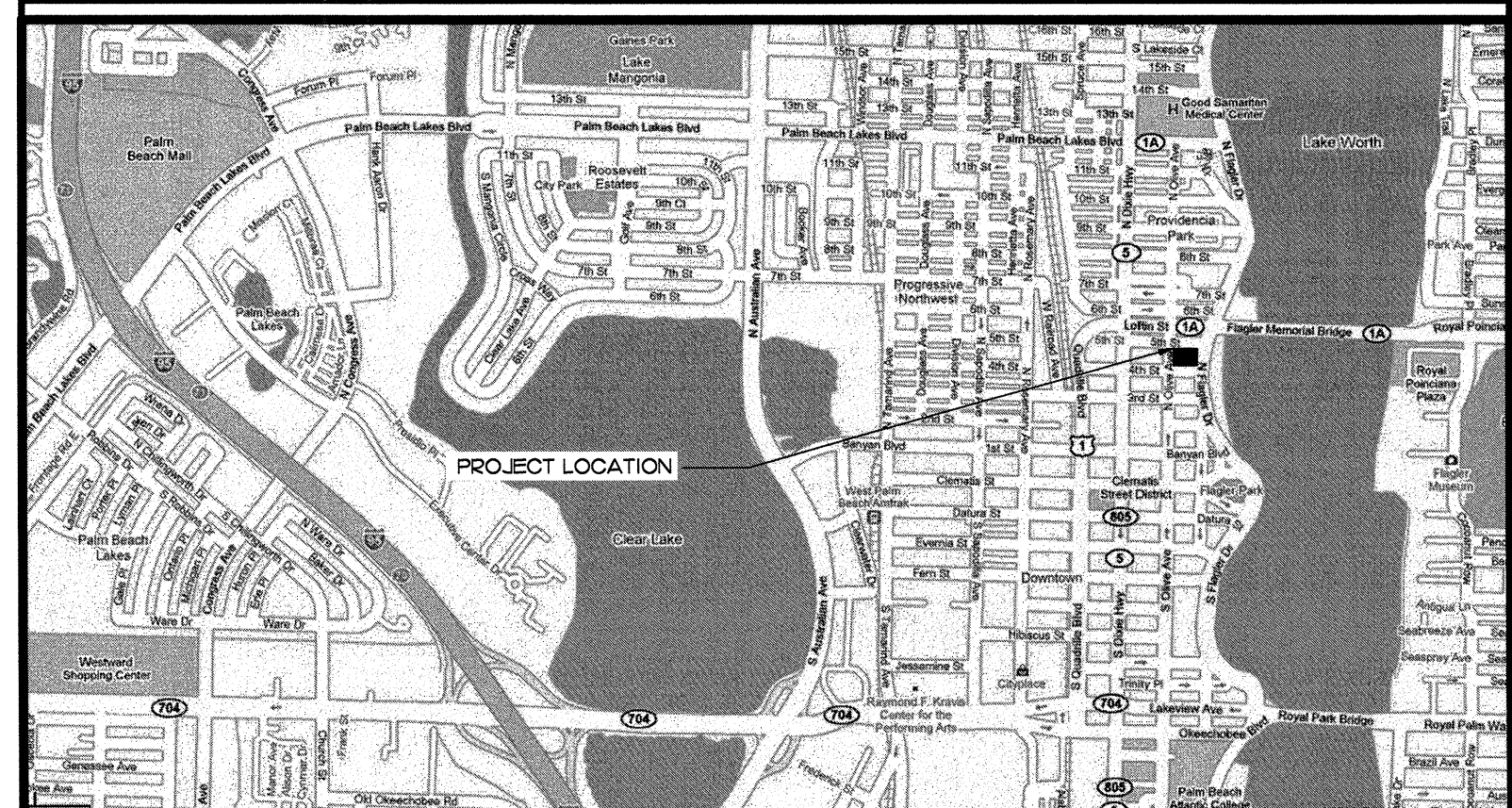
CLASSIFICATION OF WORK:  
2007 FLORIDA EXISTING BUILDING CODE W/ 2009 AMENDMENTS  
SECTION 404 - ALTERATION = LEVEL II

OCCUPANCY:  
CLASSIFICATION (TYPE) GROUP B (BUSINESS)  
LOAD (SEE OCCUPANT LOAD CALCULATIONSON LS-1)  
32 OCCUPANTS  
CONSTRUCTION TYPE I-A (SPRINKLERED)

OCCUPANT FINISHES:  
FBC TABLE 803.5 - FOR TYPE 'B' OCCUPANCY, FULLY SPRINKLERED,  
CLASS 'C' IS ALLOWABLE. NFPA 101 SEC. 10.2.8.1 & 39.3.3.2.1 &  
TABLE A.10.2.2

THE BUILDING HAS EXISTING AUTOMATIC FIRE SPRINKLER SYSTEM.  
G.C. TO SUBMIT FOR SEPARATE PERMIT FOR ANY CHANGES TO  
EXISTING FIRE SPRINKLER SYSTEM AND FIRE ALARM SYSTEM.

## LOCATION MAP



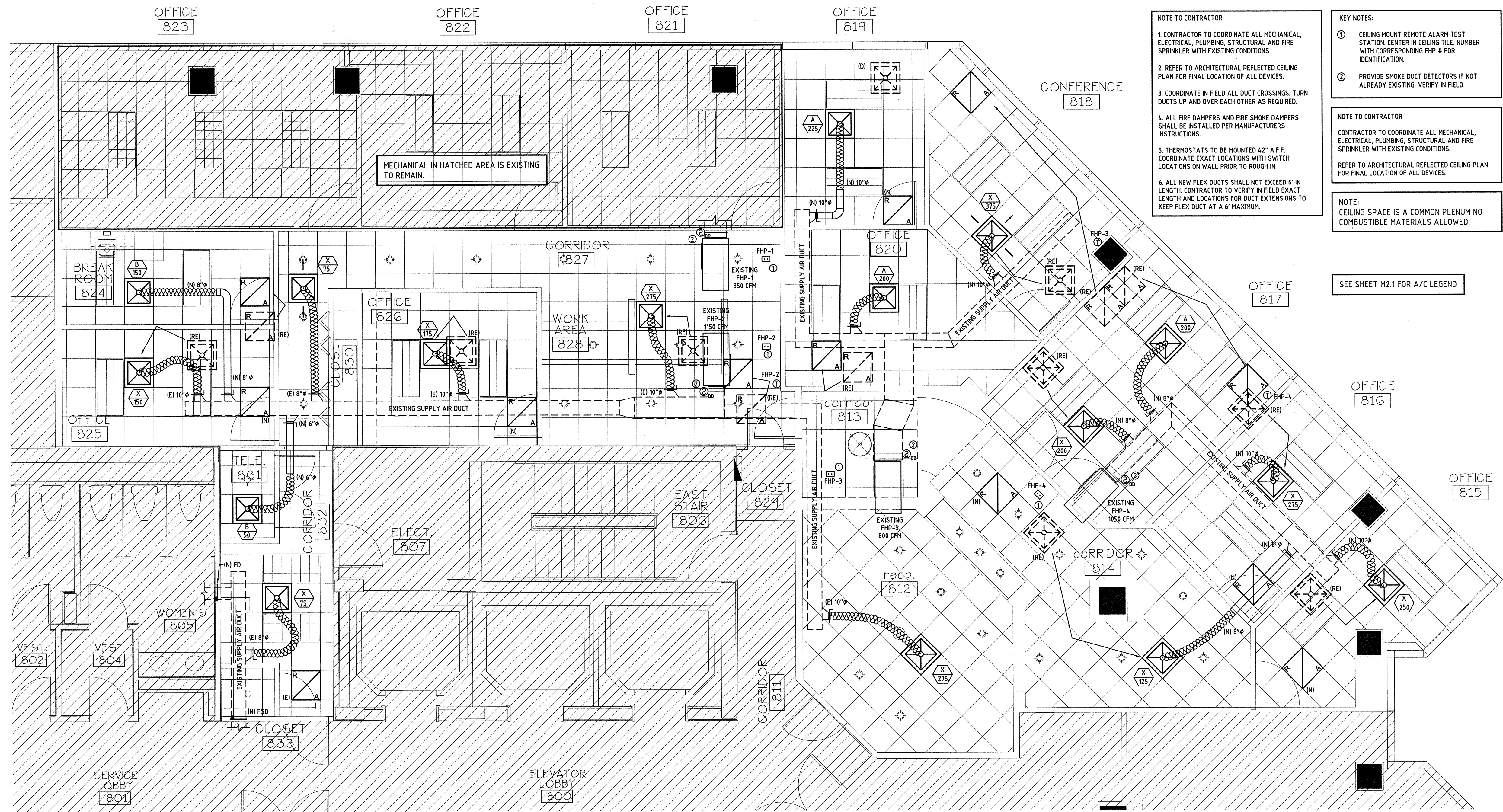
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REVISIONS:  
sheet title: **LS-1**  
file name:  
project no: 11187  
date: 11/08/11  
drawn by: BJJOE  
checked by: KS

**LS-1**



**NOTE TO CONTRACTOR**

- CONTRACTOR TO COORDINATE ALL MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL AND FIRE SPRINKLER WITH EXISTING CONDITIONS.
- REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR FINAL LOCATION OF ALL DEVICES.
- COORDINATE IN FIELD ALL DUCT CROSSINGS. TURN DUCTS UP AND OVER EACH OTHER AS REQUIRED.
- ALL FIRE DAMPERS AND FIRE SMOKE DAMPERS SHALL BE INSTALLED PER MANUFACTURERS INSTRUCTIONS.
- THERMOSTATS TO BE MOUNTED 42" A.F.F. COORDINATE EXACT LOCATIONS WITH SWITCH LOCATIONS ON WALL PRIOR TO ROUGH IN.
- ALL NEW FLEX DUCTS SHALL NOT EXCEED 6' IN LENGTH. CONTRACTOR TO VERIFY IN FIELD EXACT LENGTH AND LOCATIONS FOR DUCT EXTENSIONS TO KEEP FLEX DUCT AT A 6' MAXIMUM.

**KEY NOTES:**

- CEILING MOUNT REMOTE ALARM TEST STATION. CENTER IN CEILING TILE. NUMBER WITH CORRESPONDING FHP # FOR IDENTIFICATION.
- PROVIDE SMOKE DUCT DETECTORS IF NOT ALREADY EXISTING. VERIFY IN FIELD.

**NOTE TO CONTRACTOR**

CONTRACTOR TO COORDINATE ALL MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL AND FIRE SPRINKLER WITH EXISTING CONDITIONS. REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR FINAL LOCATION OF ALL DEVICES.

**NOTE:**

CEILING SPACE IS A COMMON PLENUM NO COMBUSTIBLE MATERIALS ALLOWED.

SEE SHEET M2.1 FOR A/C LEGEND

1 MECHANICAL PLAN  
SCALE: 1/4"=1'-0"

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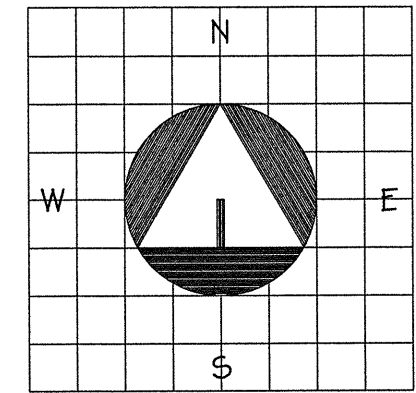
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sheet title: MECHANICAL PLAN	revisions:
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drawn by: CJ/SK/AB	checked by: UI

PERMIT SET: 11/09/11

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8th FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
0 4 8 16 32



**PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.**

**M1.1**



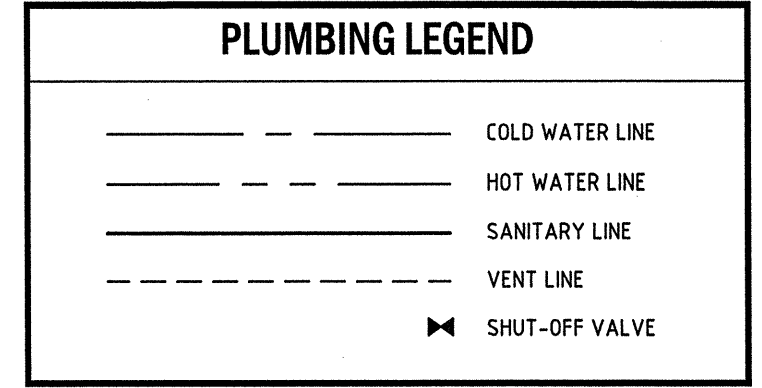
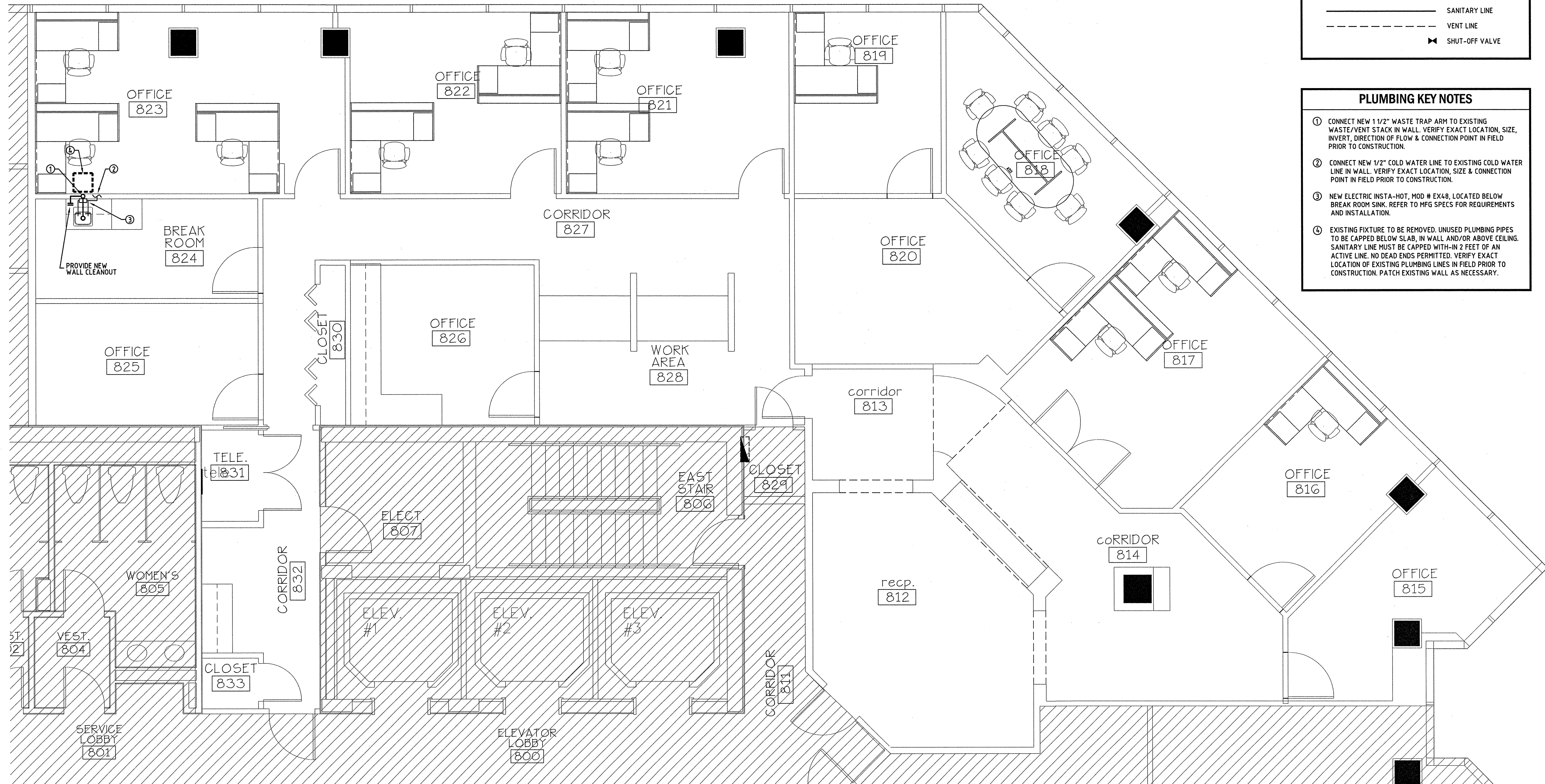
**PLUMBING SPECIFICATIONS**

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2007 EDITION PLUMBING SECTION, WITH 2009 AMENDMENTS, AND SHALL COMPLY WITH ALL LOCAL RULES AND ORDINANCES.

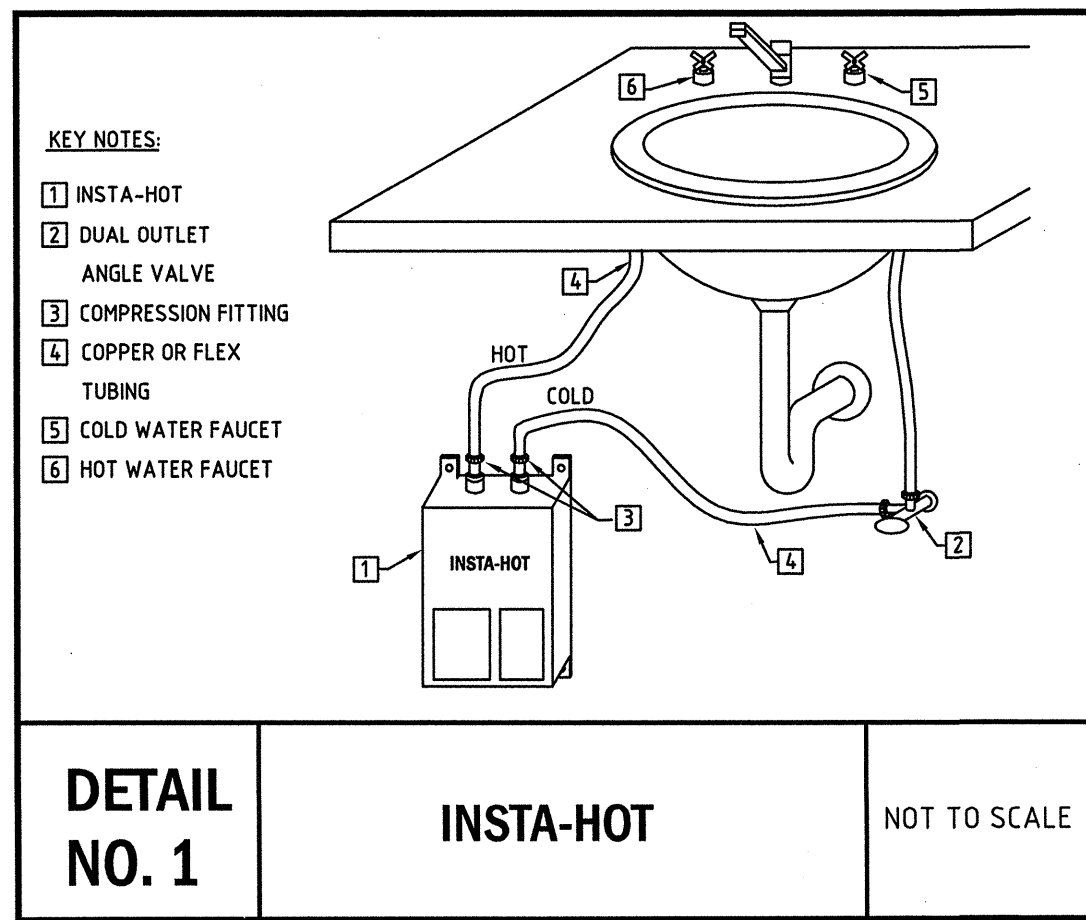
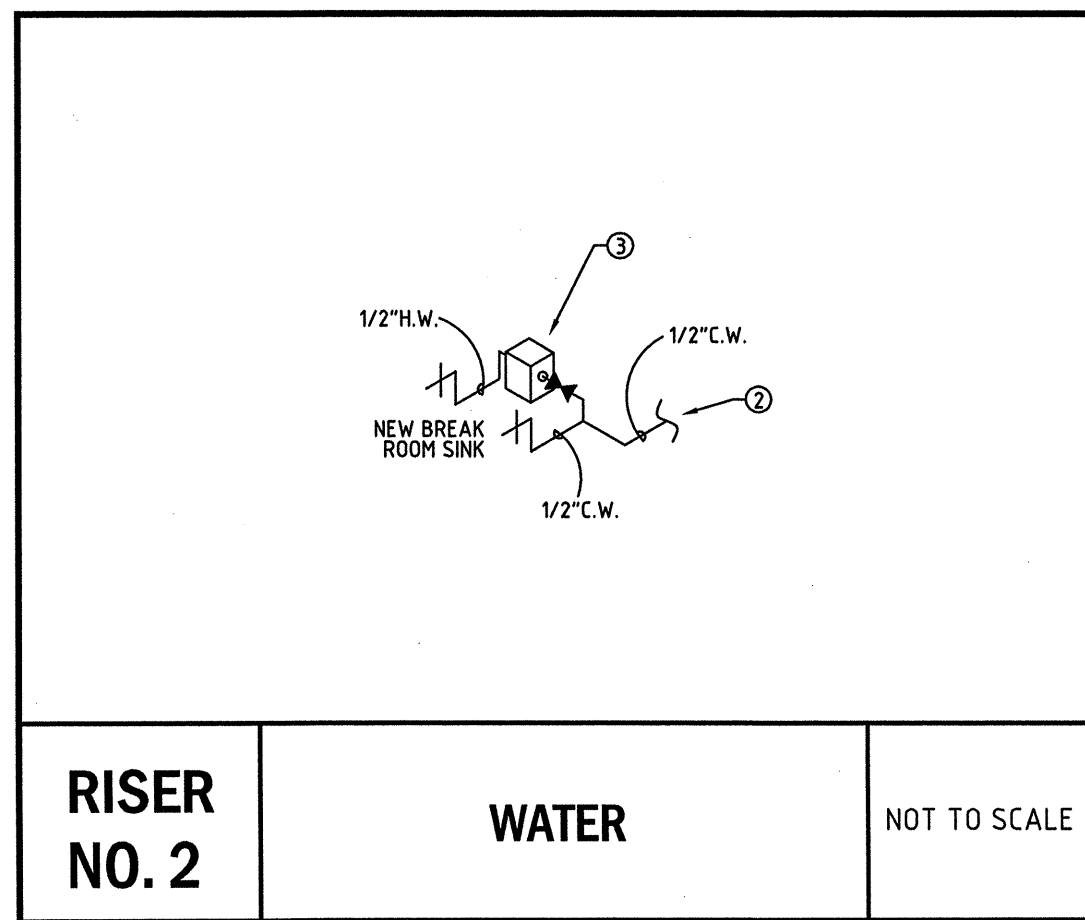
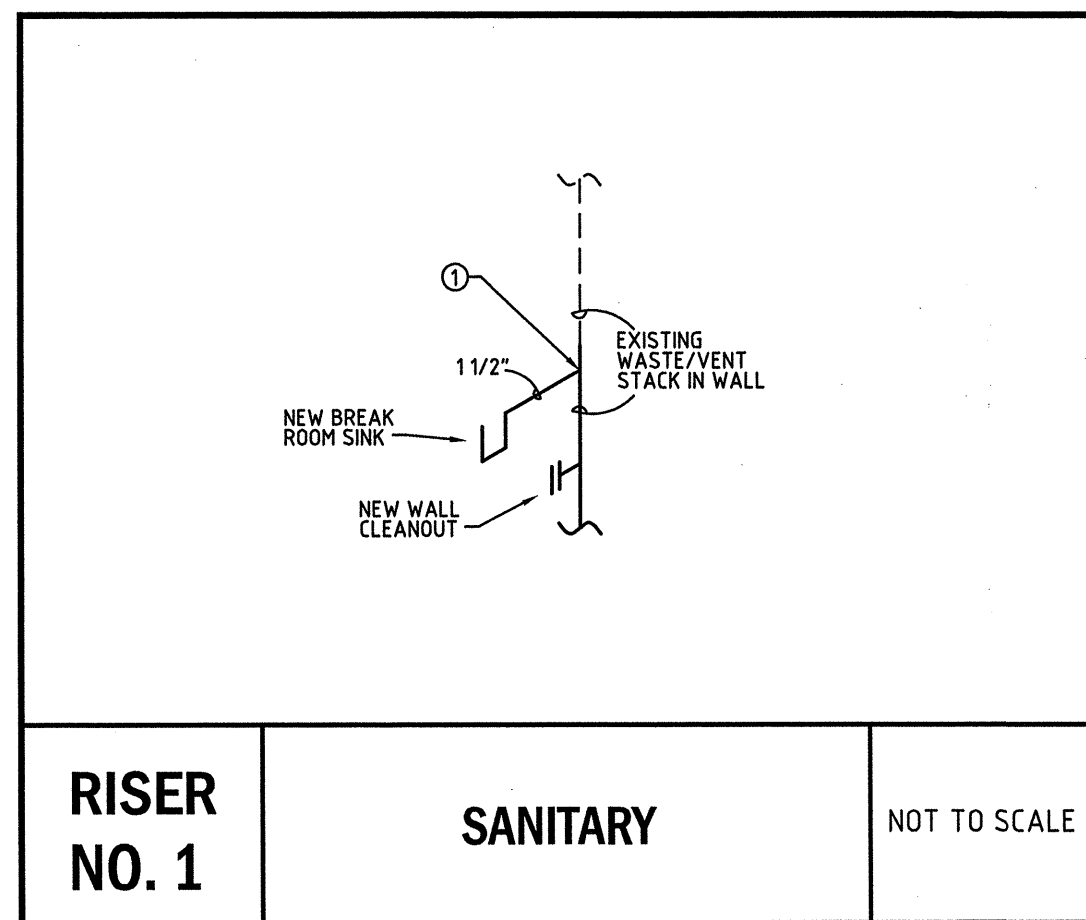
- ALL WORKMANSHIP & MATERIALS SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE NATIONAL, STATE, LOCAL CODES, RULES & ORDINANCES.
- CONTRACTOR SHALL VISIT THE JOB SITE & THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS.
- ALL MATERIALS SHALL BE NEW.
- ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR IN A FIRST-CLASS WORKMANLIKE MANNER. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIVE.
- ALL EXCAVATION & BACK FILL AS REQUIRED FOR THIS PHASE OF CONSTRUCTION SHALL BE A PART OF THIS CONTRACT.
- REQUIRED INSURANCE SHALL BE PROVIDED BY THIS CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY & PROPERTY DAMAGE FOR THE DURATION OF WORK.
- CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS & TEST. SUBSTITUTIONS BY THE CONTRACTOR SHALL HAVE PRIOR APPROVAL. ANY CHANGES MADE WITHOUT APPROVAL WILL BE PAID BY THE CONTRACTOR TO RETURN TO THE ORIGINAL DESIGN.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROCESS OF CONSTRUCTION.
- THE CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR REVIEW OF THE GENERAL NOTES, SPECIFICATIONS, AND ALL OTHER DRAWINGS FOR ADDITIONAL REQUIREMENTS WHICH MAY NOT BE SPECIFICALLY CALLED OUT IN THIS PORTION OF THE CONSTRUCTION DOCUMENTS.
- DRAWINGS FOR PLUMBING WORK ARE DIAGRAMMATIC, SHOWING THE GENERAL LOCATION, TYPE, LAYOUT, AND EQUIPMENT REQUIRED. THE DRAWINGS SHALL NOT BE SCALED FOR EXACT MEASUREMENT. FIELD VERIFY FINAL LOCATIONS FOR EQUIPMENT. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND EXACT LOCATION OF PLUMBING FIXTURES. REFER TO MANUFACTURER'S STANDARD INSTALLATION DRAWINGS FOR EQUIPMENT CONNECTIONS AND INSTALLATION REQUIREMENTS.
- DRAWINGS AND SPECIFICATIONS GOVERN WHERE THEY EXCEED CODE REQUIREMENTS.
- VERIFY LOCATION, SIZE, TRAPS, INVERTS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ADVISE ENGINEER OF ANY DISCREPANCIES. ANY COST RESULTING FROM DISCREPANCIES NOT REPORTED AT THIS TIME SHALL BE PAID BY THE CONTRACTOR.
- INSTALL AIR CHAMBERS OR SHOCK ABSORBERS IN PIPING SYSTEM TO PREVENT NOISE AND DAMAGE DUE TO WATER HAMMER.
- PROVIDE SHUT-OFF VALVES IN THE SUPPLY PIPING TO EVERY FIXTURE.
- ALL FIXTURES MUST BE PROVIDED WITH READILY ACCESSIBLE STOPS.
- IN AREAS WHERE AN EXISTING FIXTURE IS TO BE REMOVED AND THE SANITARY LINE IS TO BE CAPPED, THE LINE MUST BE CAPPED WITH IN 2 FEET OF AN ACTIVE SANITARY LINE. NO DEAD ENDS PERMITTED.
- CAP ALL PIPING OPENINGS DURING CONSTRUCTION UNTIL FINAL CONNECTIONS TO EQUIPMENT AND ACCESSORIES ARE MADE.
- SANITARY PIPE 3" AND SMALLER SHALL BE SLOPED AT 1/4" PER FOOT. SANITARY PIPE 4" AND LARGER SHALL BE SLOPED AT 1/8" PER FOOT. CONDENSATE PIPING SHALL BE SLOPED AT A MINIMUM OF 1/4" PER FOOT.
- ALL FLOOR PENETRATIONS MUST BE SLEEVED, FIRE STOPPED, GROUTED, SEALED AND MADE WATERPROOF IN ACCORDANCE WITH THE LANDLORDS REQUIREMENTS. SLEEVES MUST EXTEND A MINIMUM OF 4" A.F.F. COORDINATE ALL CONCRETE TRENCHING/CORING TO ENSURE THAT ANY UNDER SLAB UTILITIES, ETC. ARE NOT DAMAGED DURING FLOOR CUT. ANY DAMAGE TO BE REPAIRED AT CONTRACTOR EXPENSE. CUTTING AND PATCHING ACTIVITIES WHICH CREATE NOISE MUST BE PERFORMED AFTER-HOURS SO LONG AS ANY OTHER TENANTS ARE OCCUPYING THE BUILDING. PRIOR APPROVAL AND COORDINATION WITH PROPERTY MANAGEMENT IS REQUIRED FOR ALL CONCRETE CUTTING.
- DO NOT ROUTE ANY WET PIPING OVER ELECTRICAL EQUIPMENT.
- WATER PIPING TO BE TYPE "M" OR TYPE "L" COPPER ABOVE OR BELOW GRADE.
- SOIL, WASTE & VENT PIPING TO BE PVC #40 DWV. IF CEILING SPACE BELOW IS A COMMON PLENUM PVC MUST BE WRAPPED WITH UL LISTED FIRE WRAP OR CAST IRON SHALL BE USED.
- HOT AND HOT WATER RETURN LINES SHALL BE INSULATED WITH 1/2" TO 1" THICK ARMAFLEX INSULATION FROM THE WATER HEATER TO THE FURTHEST FIXTURE PER FBC 2007 CHAPTER 13, (WITH 2009 SUPPLEMENTS) SECTION 13-412 AB.4(1) AND TABLE 13-412 AB.2.
- WHERE DISSIMILAR METALS ARE TO BE JOINED, APPROVED INSULATING UNIONS SHALL BE USED.
- ALL PLUMBING PIPES PENETRATING FIRE RATED WALLS, CEILINGS AND/ OR FLOORS SHALL BE PROVIDED WITH U.L. APPROVED FIRE RATED ASSEMBLY. (EQUAL TO WALL FIRE RATING - SEE ARCHITECTURAL DRAWINGS).
- NO PVC PIPING TO BE USED IN COMMON PLENUM AREAS.
- CONDENSATE LINES TO BE COPPER/PVC DEPENDING ON PROJECT REQUIREMENTS. INSULATE WITH 1/2" THICK ARMAFLEX INSULATION.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS & WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BID AND INSTALLATION. INFORM THE ENGINEER OF RECORD OF ANY DISCREPANCY BETWEEN THE DOCUMENTS AND THESE CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER THE CONTRACT HAS BEEN AWARDED.
- CONTRACTOR SHALL KEEP AS-BUILTS AND SUBMIT TO THE ENGINEER OF RECORD FOR REVIEW. ALL CHANGES SHALL BE FORWARDED A MINIMUM OF (2) WEEKS PRIOR TO FINAL INSPECTION. ANY EXPENSES, SUCH AS REVISIONS OR AS-BUILTS, NECESSARY FOR FINAL C.O. SHALL BE AT THE EXPENSE OF THE OWNER.

**NOTES:**

- FLOOR SLABS ARE POST TENSIONED & MUST BE XRAYED PRIOR TO CORE DRILLING OR OTHER PENETRATIONS. CONTRACTOR SHALL OBTAINED THE BUILDING OWNER'S PERMISSION PRIOR TO COMMENCING ANY SLAB PENETRATIONS.
- ALL PIPING ROUTED BELOW FLOOR OF TENANT'S SPACE TO BE COORDINATED WITH EXISTING UTILITIES AND LANDLORD PRIOR TO CONSTRUCTION. PIPING TO BE ROUTED TIGHT TO SLAB WHERE EVER POSSIBLE.
- CEILING SPACE IS A COMMON PLENUM NO COMBUSTIBLE MATERIALS ALLOWED.



- PLUMBING KEY NOTES**
- CONNECT NEW 1 1/2" WASTE TRAP ARM TO EXISTING WASTE/VENT STACK IN WALL. VERIFY EXACT LOCATION, SIZE, INVERT, DIRECTION OF FLOW & CONNECTION POINT IN FIELD PRIOR TO CONSTRUCTION.
  - CONNECT NEW 1/2" COLD WATER LINE TO EXISTING COLD WATER LINE IN WALL. VERIFY EXACT LOCATION, SIZE & CONNECTION POINT IN FIELD PRIOR TO CONSTRUCTION.
  - NEW ELECTRIC INSTA-HOT, MOD # EX48, LOCATED BELOW BREAK ROOM SINK. REFER TO MFG SPECS FOR REQUIREMENTS AND INSTALLATION.
  - EXISTING FIXTURE TO BE REMOVED. UNUSED PLUMBING PIPES TO BE CAPPED BELOW SLAB, IN WALL AND/OR ABOVE CEILING. SANITARY LINE MUST BE CAPPED WITH IN 2 FEET OF AN ACTIVE LINE. NO DEAD ENDS PERMITTED. VERIFY EXACT LOCATION OF EXISTING PLUMBING LINES IN FIELD PRIOR TO CONSTRUCTION. PATCH EXISTING WALL AS NECESSARY.



- PLUMBING FIXTURES**
- SINK (HANDICAP) - ELKAY "LUSTERONE" - SINGLE BOWL SINK, MODEL # LRAD0151 COLOR STAINLESS STEEL, 6" DEPTH (3) HOLES, (PLUMBER TO VERIFY MOUNTING SYSTEM), FAUCET ELKAY COLOR CHROME MODEL # LR024388H.
  - INSTA-HOT - EEMAX MODEL EX48, 3.6 KW, 208 V, 1P, REFER TO MFG SPECS PRIOR TO INSTALLATION.
- NOTES:**
- OR APPROVED EQUAL TO BE SELECTED BY OWNER
  - 1. MOUNTING HEIGHT PER ADA STANDARD. INSULATE WATER AND DRAIN LINE.
  - 2. PROVIDE CUT SHEETS FOR REVIEW PRIOR TO PURCHASE.
  - 3. PLUMBING FIXTURES TO COMPLY WITH TABLE 604.4 F.B.C.
  - 4. ALL WALL HUNG PLUMBING FIXTURES SHALL COMPLY WITH F.B.C. 2517.5.11, 2517.5.12 AND 2517.5.13
  - 5. ALL EXPOSED PIPING AND SURFACES UNDER LAVATORIES SHALL COMPLY WITH FBC 404.6.4.

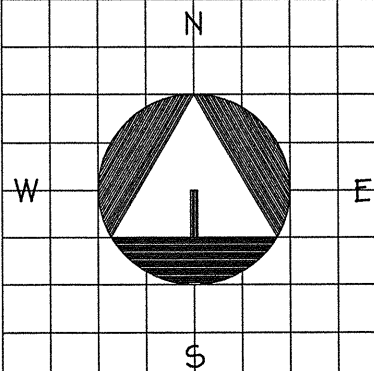
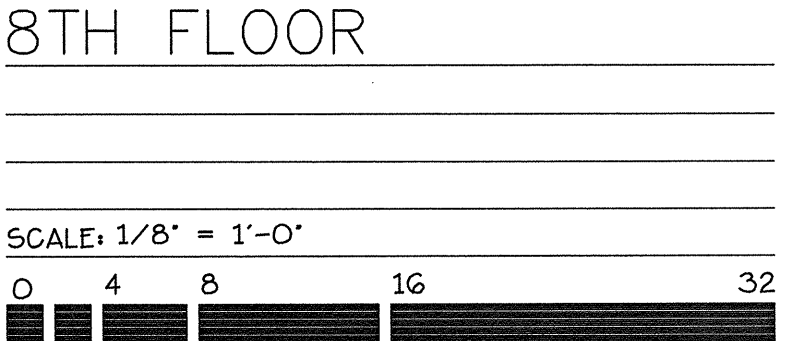
**1 PLUMBING PLAN**  
SCALE: 1/4"=1'-0"

PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.

PERMIT SET: 11/09/11

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