

TENANT IMPROVEMENTS FOR

LOVE FUNDING

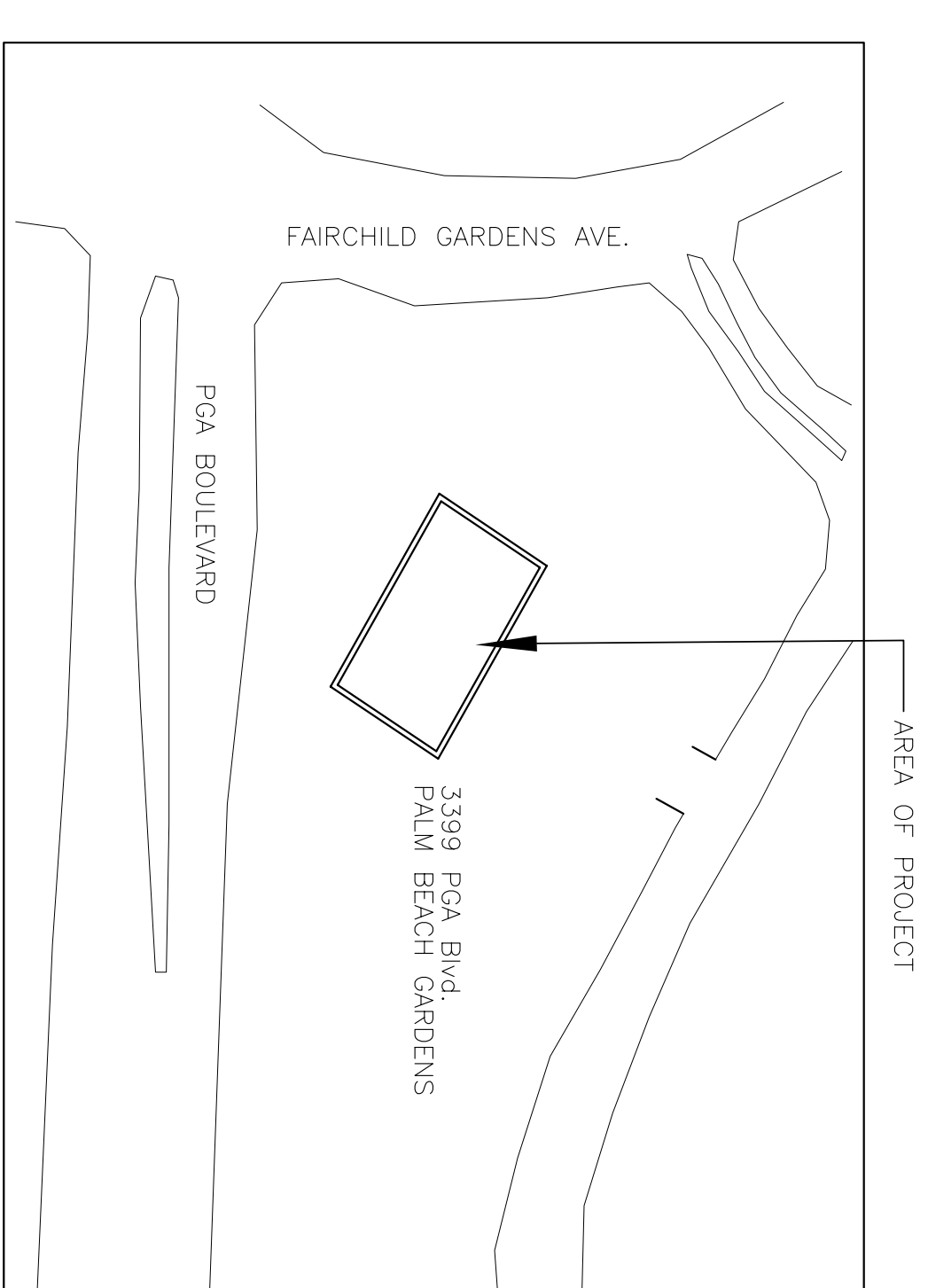
**3399 PGA BOULEVARD - SUITE 220
PALM BEACH GARDENS, FLORIDA**

ARCHITECT

ALAN STRASSLER ARCHITECTS, INC.
8895 N. MILITARY TRAIL #201-D
PALM BEACH GARDENS, FL 33410
(561) 627-0336 FAX: (561) 624-0720
E-MAIL: astrassler@aol.com

MECHANICAL/ELECTRICAL ENGINEERS

JONES & CONDE, LLC
4440 PGA Boulevard, Suite 600
PALM BEACH GARDENS, FL 33410
(561) 309-9017
E-MAIL: david_jones_conde@bellsouth.net



LOCATION MAP
NOT TO SCALE (NTS)

CODE SUMMARY

- 1.0 APPLICABLE CODES:**
1.1 FLORIDA BUILDING CODE 2010
1.2 NFPA 101 (2009 EDITION)
1.3 FLORIDA FIRE CODE & ELECTRICAL MECHANICAL CODE 2010
CODE - LATEST EDITIONS

2.0 BUILDING CODE:

- 2.1 OCCUPANCY GROUP:
BUSINESS: GROUP B OFFICES
- 2.2 TYPE OF CONSTRUCTION:
CONSTRUCTION - TYPE II B
FULLY SPRINKLERED NFPA 13
ALTERATIONS - LEVEL 2
- 2.3 FIRE RESISTIVE RATING REQUIREMENTS PER TABLE 601:
STRUCTURAL FRAME - 0 HOUR
BEARING WALLS
INTERIOR - 0 HOUR
NONBEARING WALLS EXTERIOR - 0 HOUR
FLOOR CONSTRUCTION - 0 HOUR
ROOF CONSTRUCTION - 0 HOUR
- 2.4 PLUMBING REQUIREMENTS:
PLUMBING FIXTURE REQUIREMENTS PROVIDED BY COMMON AREA RESTROOMS

DRAWING SYMBOLS

ROOM NAME	SYMBOL	DESCRIPTION
100	(100)	ROOM NAME & NUMBER
	—	DOOR NUMBER
	△	WINDOW NUMBER
	◇	EQUIPMENT NUMBER
	▽	ELEVATION
	◁ ▷	WALL SECTION / SECTION DETAIL
	○	PLAN DETAIL
	□	PARTITION TYPE
	—	REFER TO SHEET 8.1
	—	TOILET ACCESSORY
	—	REFER TO SHEET 8.6, 8.7 & 8.8
	—	PLAN NOTES
	—	REFER TO FLOOR PLAN SHEETS.
	○	DATUM ELEVATION
	○	COLUMN LINE
	□	FLUORESCENT LIGHT FIXTURE
	□	INCANDESCENT LIGHT FIXTURE
	□	EMERGENCY LIGHT FIXTURE
	□	EXIT LIGHT
	□	SUPPLY AIR DIFFUSER
	□	RETURN AIR DIFFUSER
	□	NEW WALL CONSTRUCTION
	□	NEW TILT-UP WALL CONSTRUCTION

GENERAL NOTES

PROJECT DESCRIPTION: ALTERATIONS - LEVEL 2
THE SCOPE OF THIS PROJECT INCLUDES A TENANT IMPROVEMENT FOR SUITE 220. MAJOR AREAS OF CONSTRUCTION INCLUDE INTERIOR DRYWALL CONSTRUCTION, INTERIOR FINISHES, HVAC, AND ELECTRICAL EQUIPMENT AND SYSTEMS.

TENANT SPACE AREA: EXISTING 2,100 S.F. +/-

GENERAL NOTES:

THESE DRAWINGS INDICATE THE BASIC DESIGN AND INTENT OF THE DESCRIBED PROJECT. CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES. ITEMS DEFINED ARE CONSIDERED TO BE THE BASIC REQUIREMENT. EQUAL PRODUCTS ARE ACCEPTABLE.

ALL ASPECTS OF THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION. ALL SHOP DRAWINGS SHALL BE REVIEWED AND STAMPED BY GENERAL CONTRACTOR PRIOR TO SUBMISSION TO ARCHITECT.

APPLICABLE INDUSTRY STANDARDS SHALL HAVE SAME FORCE AND EFFECT ON PERFORMANCE OF THE WORK AS IF COPIED DIRECTLY INTO THESE DOCUMENTS. ALL DIMENSIONS SHALL BE VERIFIED PRIOR TO INSTALLATION OF WORK.

ALL INTERIOR FINISHES INCLUDING COLORS AND MATERIALS (EXCEPT AS OTHERWISE NOTED) SHALL BE SELECTED BY ARCHITECT IF NOT ALREADY IDENTIFIED IN THESE DOCUMENTS. COORDINATE ALL FINISHES WITH ARCHITECT.

WHERE CEILING IS SCHEDULED OR SHOWN TO BE EXPOSED STRUCTURE, WALLS AND FINISHES SHALL EXTEND TO UNDERSIDE OF EXPOSED DECK.

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NO.	DESCRIPTION	STATUS
1.1	COVER SHEET	■ DRAWINGS THIS ISSUE
3.1	FLOOR PLAN	■ DRAWINGS THIS ISSUE
3.2	INTERIOR ELEVATIONS	■ DRAWINGS THIS ISSUE
9.1	REFLECTED CEILING PLAN	□ DRAWINGS NOT ISSUED
10.1	MECHANICAL SCHEDULES	■ DRAWINGS THIS ISSUE
11.1	ELECTRICAL SCHEDULES	■ DRAWINGS THIS ISSUE

MECHANICAL PLAN
PLUMBING PLAN
ELECTRICAL LIGHTING PLAN
ELECTRICAL POWER PLAN

ALAN STRASSLER ARCHITECTS, INC.
8895 NORTH MILITARY TRAIL, SUITE 201-D
PALM BEACH GARDENS, FLORIDA 33410
(561) 627-0336 FAX (561) 624-0720
CERTIFICATE OF AUTHORIZATION #AA26000610
ALAN M. STRASSLER #7405

PROPOSED TENANT IMPROVEMENT FOR SUITE 220
3399 PGA BLVD., PALM BEACH GARDENS, FL

DATE: 10/25/13
DRAWN BY: GP
PROJ. NO. 1309
REVISED:

SHEET:
1.1