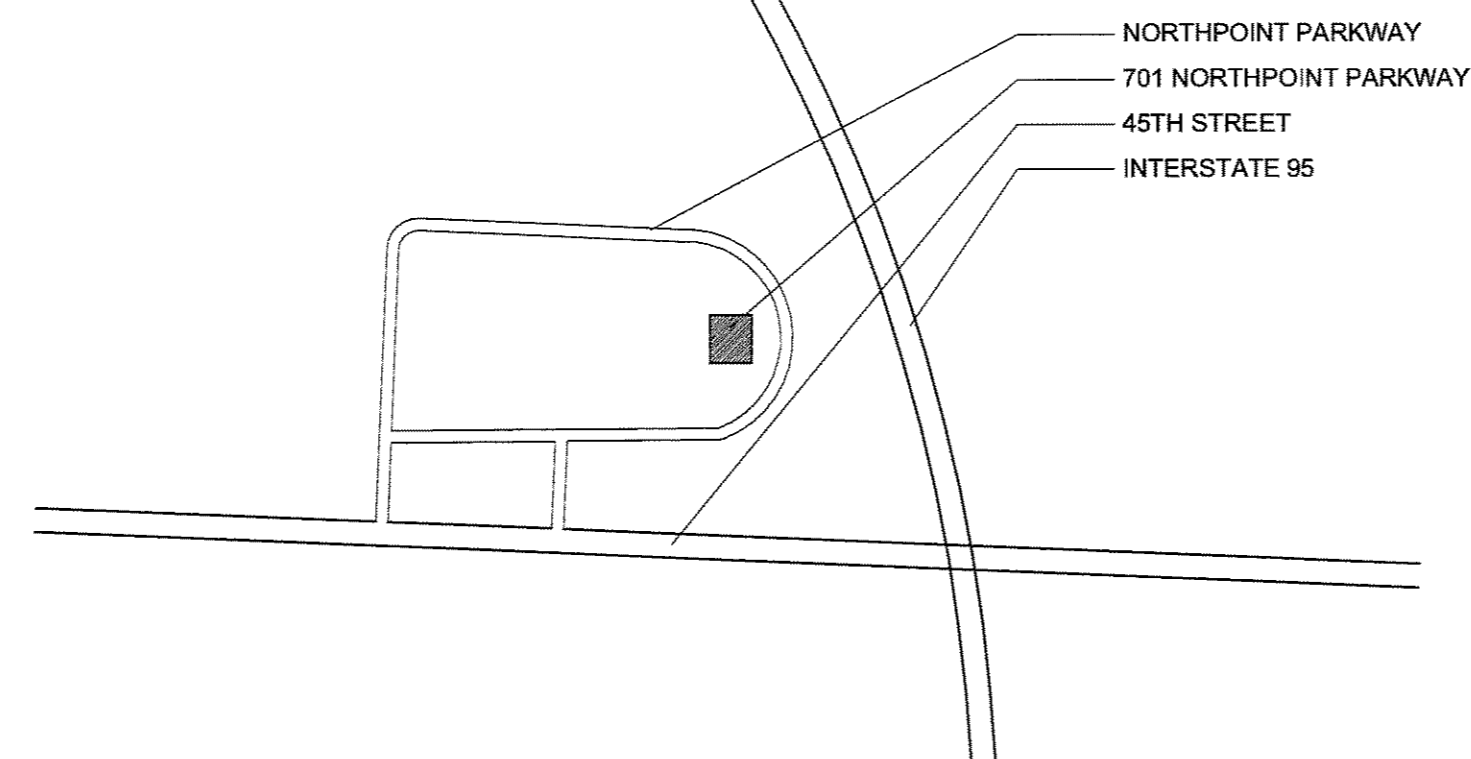




birse design inc + architecture + interior design + planning

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1 LOCATION MAP
NOT TO SCALE

INDEX OF SHEETS:

- T TITLE SHEET
- ARCHITECTURAL SHEETS
- A-1 FLOOR PLANS/NOTES
- A-2 FLOOR PLANS/NOTES/FINISHES

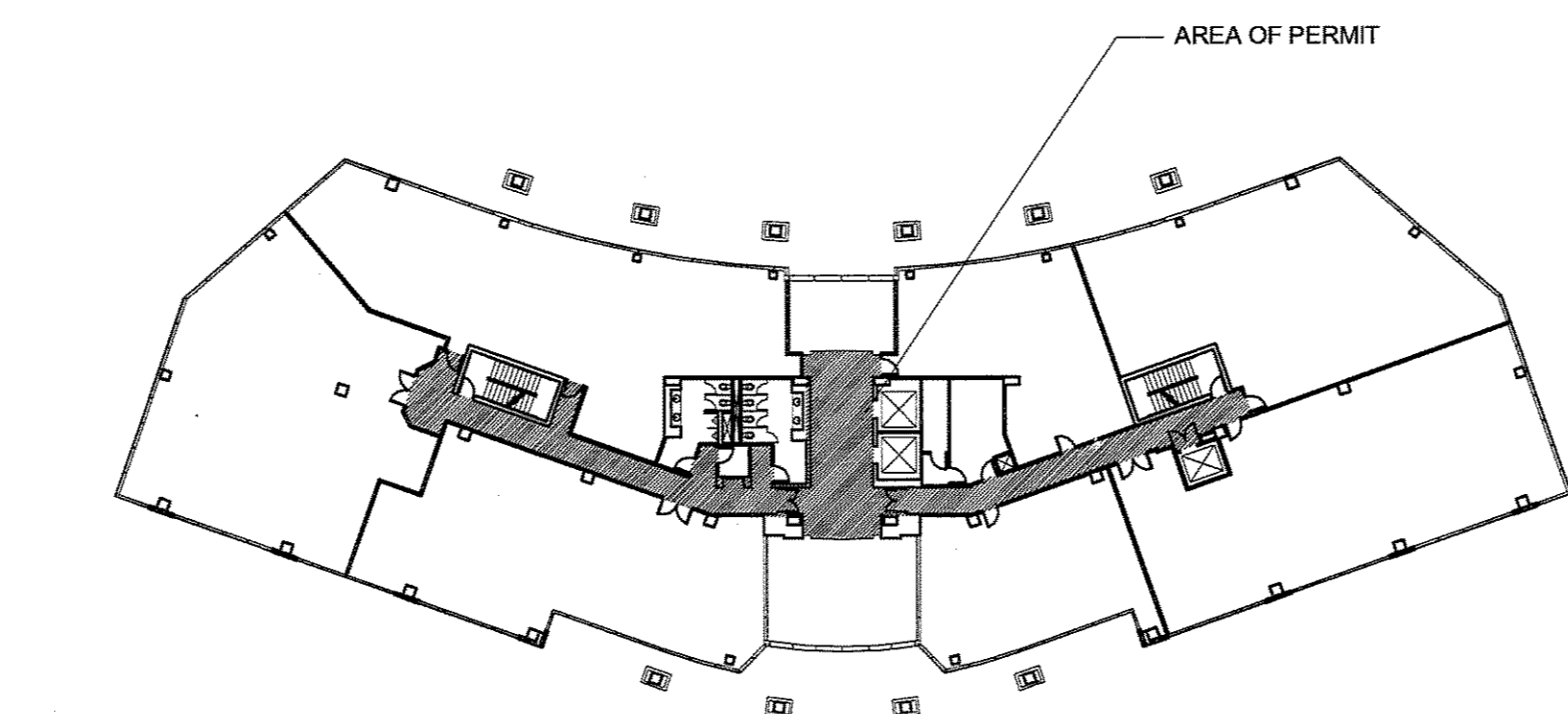
REFERENCE STANDARDS:

THIS PROJECT IS DESIGNED IN ACCORDANCE WITH THE FOLLOWING CODES:

1. THE FLORIDA BUILDING CODE (FBC), 2007 EDITION WITH 2008, AND 2009 REVISIONS (BUILDING, MECHANICAL, PLUMBING, FUEL GAS, EXISTING BUILDING).
2. NATIONAL ELECTRIC CODE (NEC), 2005 EDITION.
3. FLORIDA FIRE PREVENTION CODE, 2007 EDITION.
4. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 101, LIFE SAFETY CODE, 2006 EDITION.
5. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 1, UNIFORM FIRE CODE, 2006 EDITION.

GENERAL NOTES:

1. THE CONTRACTOR SHALL AS A PART OF THIS CONTRACT FURNISH ALL MATERIALS, LABOR, TOOLS, EQUIPMENT, TRANSPORTATION, AND INSURANCE NECESSARY TO PROPERLY EXECUTE AND COMPLETE THE WORK ACCORDING TO THE PLANS AND SPECIFICATIONS.
2. THE CONTRACTOR IN THE WORK OF ALL TRADES SHALL PROTECT ALL EXISTING BUILDING AND PROPERTY FROM DAMAGE CAUSED BY THE ACTIVITIES OF THE CONTRACTOR AND SUBCONTRACTORS. THE CONTRACTOR SHALL REPAIR AND RESTORE THE JOB SITE AND SURROUNDING AREAS TO ITS ORIGINAL CONDITION. OWNER TO VERIFY SATISFACTION.
3. THE CONTRACTOR SHALL VISIT THE JOB SITE TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BID. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS BEFORE PROCEEDING WITH ANY WORK.
4. THE CONTRACTOR SHALL MAKE NO CHANGES TO THE CONSTRUCTION DRAWINGS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.
5. ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST CODES AND ORDINANCES.
6. THESE CONSTRUCTION DOCUMENTS ARE DIAGRAMATIC AND ARE TO CONVEY DESIGN INTENT. IT IS NOT THE INTENT OF THESE CONSTRUCTION DRAWINGS TO SHOW ALL DETAILS OF THE EXISTING CONDITIONS. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
7. EACH CONTRACTOR SHALL ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR MECHANICAL, ELECTRICAL, AND PLUMBING WITH THE APPROPRIATE TRADES.
8. ALL INDICATED UTILITY AND STUB-IN LOCATIONS ARE FOR REFERENCE ONLY. THE EXACT LOCATIONS SHALL BE VERIFIED ON THE JOB SITE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ENGINEERING AND THE ARCHITECTURAL DRAWINGS FOR THE ACTUAL PLACEMENT OF THE WORK RELATIVE TO FIELD CONDITIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OBTAINING INSTALLATION REQUIREMENTS FOR ALL BUILT-IN APPLIANCES, FIXTURES, AND EQUIPMENT. VERIFY EXACT ROUGH-IN DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO ROUGH-IN FRAME.
11. THE COST OF ADDITIONAL DESIGN WORK DUE TO ERRORS OR OMISSIONS IN CONSTRUCTION SHALL BE BORNE BY THE RESPECTIVE CONTRACTOR.
12. DETAILS ON THE STRUCTURAL DRAWINGS (IF PROVIDED) ARE TYPICAL. VERIFY ALL DIMENSIONS WITH THE STRUCTURAL DRAWINGS. CONTRACTOR.
13. CONTRACTOR TO BE RESPONSIBLE FOR CHECKING STRUCTURAL CALCULATIONS FOR SPECIFIC REQUIREMENTS OF STRUCTURAL CONNECTIONS. SUBMIT STEEL TRUSS CALCULATIONS AND SHOP DRAWINGS OF ALL STRUCTURAL STEEL AND MISCELLANEOUS METAL FABRICATION BEFORE COMMENCING FABRICATION.
14. BIRSE DESIGN, INC. SHALL IN NO WAY BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNOLOGIES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. (THESE ARE SOLELY THE CONTRACTORS RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION).
15. EACH CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BRACING, SHORING, GUYING, OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS ASSOCIATED WITH WORK IN PLACE DURING CONSTRUCTION.
16. PROVIDE PORTABLE FIRE EXTINGUISHERS DURING CONSTRUCTION AS REQUIRED BY LOCAL CODES.
17. SPRINKLER SYSTEM: INSTALL FULL BUILDING SPRINKLER SYSTEM IN COMPLIANCE WITH THE REQUIREMENTS OF NFPA 13. SHOP DRAWINGS MUST BE APPROVED BEFORE INSTALLATIONS. PROVIDE OWNER WITH 2 COPIES OF PERMIT SETS.
18. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR MEETING THE REQUIREMENTS OF ALL CURRENT APPLICABLE BUILDING CODES AND ENFORCEMENT AGENCIES, FIRE MARSHALL, OR ANY OTHER BUILDING CODE ENFORCEMENT OFFICER AT NO EXTRA COST TO THE OWNER. NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO SUBMITTING A BID FOR THE PROJECT.
19. BASE BID SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:



2 KEY MAP (TYPICAL FLOOR)
NOT TO SCALE

PROJECT DATA:

- * PROJECT ADDRESS: NORTHPOINT CORPORATE CENTER
701 NORTHPOINT PARKWAY
WEST PALM BEACH, FL 33407
- * EXISTING BUILDING IS TYPE II "A"
- * EXISTING BUILDING IS A 4 STORY BUILDING
- * EXISTING BUILDING CLASSIFICATION IS GROUP "B"
- * LEVEL 2 ALTERATION PER "EXISTING BUILDING CODE 2007"
- * 2ND, 3RD, 4TH, 5TH FLOORS ARE MULTI TENANT FLOORS

PROJECT NOTES:

SYMBOL INDEX:

- ADMIN. ROOM NAME
- 108 ROOM NUMBER
- (A) DOOR MARK/NUMBER
- (1) WINDOW MARK/NUMBER
- 1/WA-2 WALL SECTION/SHEET NUMBER
- 4/WA-1, 4/WA-2 BUILDING SECTION/SHEET NUMBER
- 5/WA-3 ELEVATION TARGET/SHEET NUMBER
- 1/WA-2 DETAIL NUMBER/SHEET NUMBER
- (8'-6") CEILING HEIGHT
- (F.E.) FIRE EXTINGUISHER
- (2x4) 2x4' FLUORESCENT LIGHT FIXTURE
- (W) WALL MOUNTED LIGHT FIXTURE
- (R) RECESSED LIGHT DOWN FIXTURE

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CORRIDOR UPGRADE

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WEST PALM BEACH, FL 33401

PROJECT NUMBER NP16

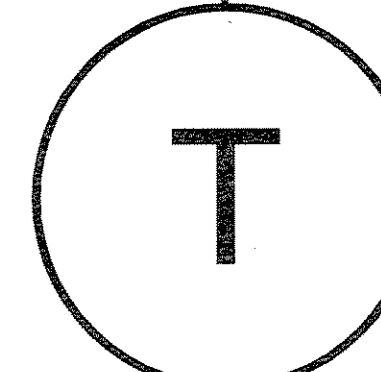
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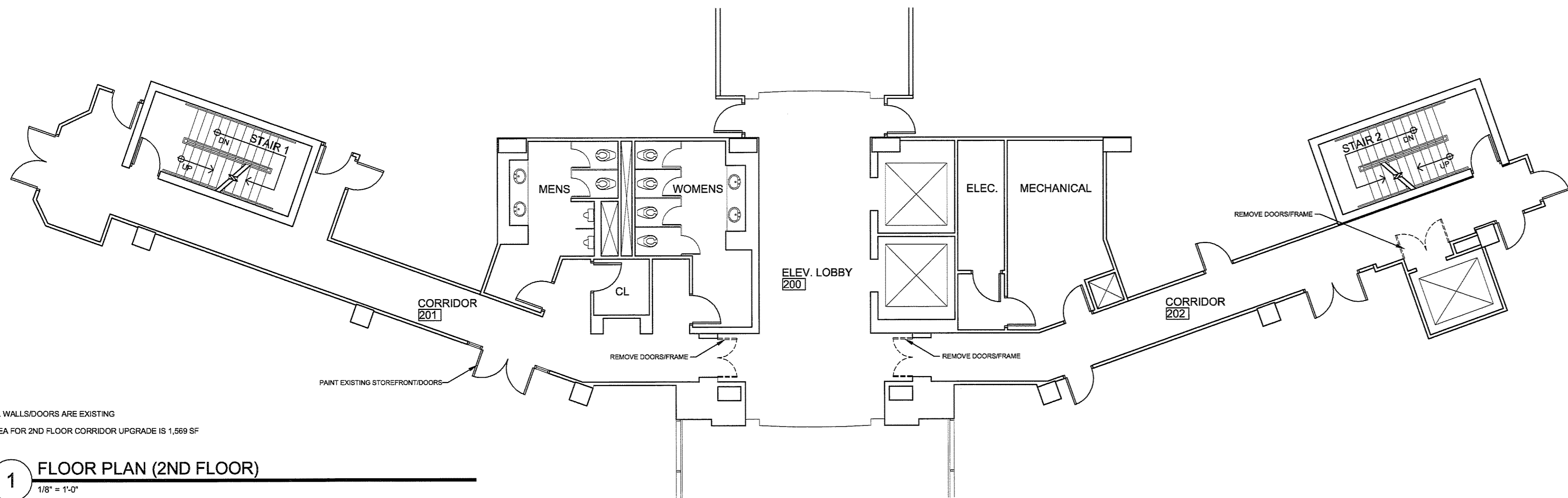
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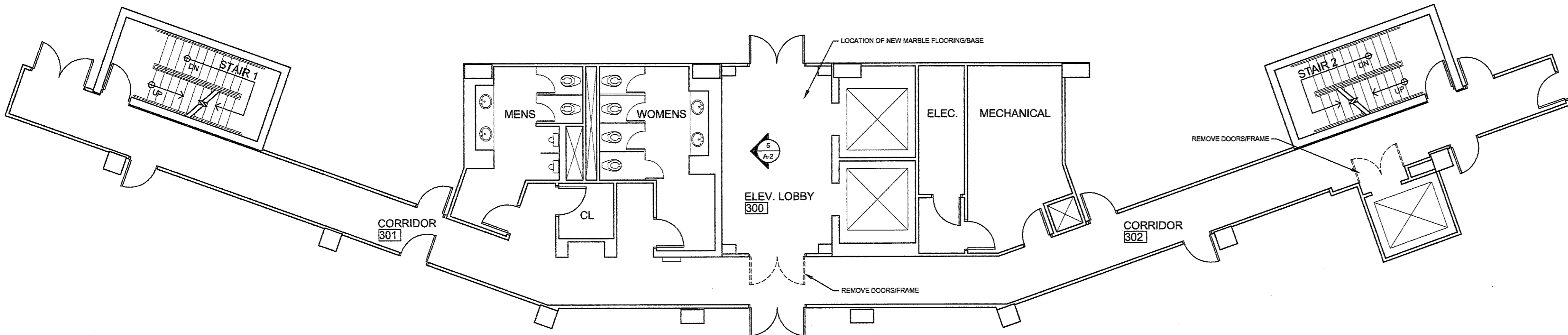


1 FLOOR PLAN (2ND FLOOR)
 1/8" = 1'-0"

- DEMO NOTES:**
1. REMOVE ALL EXISTING CARPETING
 2. REMOVE ALL EXISTING WALL COVERING
 3. REMOVE ALL EXISTING CEILING TILE AND GRID (LIGHTS TO REMAIN)
 4. REMOVE SMOKE DOORS/FRAME AT SERVICE ELEVATOR (PATCH/REPAIR WALL AS NECESSARY)
 5. REMOVE SMOKE DOORS TO ATRIUM (PATCH/REPAIR WALL AS NECESSARY)

- IMPROVEMENT NOTES:**
1. PROVIDE NEW WALL COVERING THROUGHOUT COMMON AREA CORRIDORS
 2. PROVIDE NEW CARPETING THROUGHOUT COMMON AREA CORRIDORS
 3. PROVIDE NEW CEILING TILE/GRID THROUGHOUT COMMON AREA CORRIDORS
 4. STRIP WOOD BASE AND STAIN TO MATCH DOORS
 5. PAINT EXISTING HARD CEILINGS (ATRIUM CEILING TO BE PAINTED) (FLAT LATEX)
 6. STRIP AND RESTAIN ALL DOORS ON CORRIDOR SIDE (STAIN COLOR TO MATCH SAMPLE)
 7. REPLACE DAMAGED DOORS AS NECESSARY
 8. HARD FLOOR AT ELEVATOR LOBBY TO REMAIN AS EXISTING
 9. REPLACE ALL EXIT SIGNS TO MATCH "LCD CEILING HUNG" ON FIRST FLOOR
 10. REPLACE ALL LIFE SAFETY DEVICES TO MATCH BUILDING STANDARD DEVICES ON FIRST FLOOR
 11. ALL SPRINKLERS TO BE BUILDING STANDARD WHITE WITH CONCEALED HEADS
 12. ALL METAL DOOR FRAMES TO BE PAINTED (2 COATS SEMI-LATEX ENAMEL)
 13. SERVICE ELEVATOR DOOR TO BE PAINTED (2 COATS SEMI-LATEX ENAMEL)
 14. PROVIDE NEW WHITE BUILDING STANDARD SUPPLY/RETURN GRILLS
 15. REPLACE ALL EXISTING KICKPLATES

2 2ND FLOOR NOTES

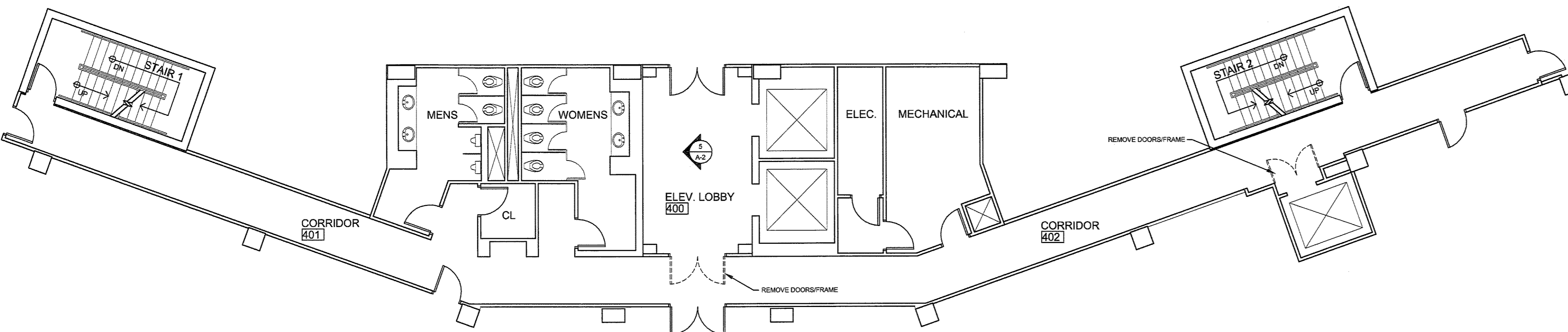


3 FLOOR PLAN (3RD FLOOR)
 1/8" = 1'-0"

- DEMO NOTES:**
1. REMOVE ALL EXISTING CARPETING
 2. REMOVE ALL EXISTING WALL COVERING (HARD SURFACE BETWEEN ELEVATORS TO REMAIN)
 3. REMOVE ALL EXISTING CEILING TILE (GRID AND LIGHTS TO REMAIN) (REPLACE GRID AS NECESSARY)
 4. REMOVE SMOKE DOORS/FRAME AT SERVICE ELEVATOR (PATCH/REPAIR WALL AS NECESSARY)
 5. REMOVE SMOKE DOORS AT ELEVATOR LOBBY (PATCH/REPAIR WALL AS NECESSARY)
 6. REMOVE FABRIC PANELS AT ELEVATOR LOBBY (SKIM-COAT/PATCH/REPAIR WALL TO RECEIVE WALL COVERING)

- IMPROVEMENT NOTES:**
1. PROVIDE NEW WALL COVERING THROUGHOUT COMMON AREA CORRIDORS
 2. PROVIDE NEW CARPETING THROUGHOUT COMMON AREA CORRIDORS
 3. PROVIDE NEW MARBLE FLOORING/BASE IN ELEVATOR LOBBY (SEE 3/A-1)
 4. PROVIDE NEW CEILING TILE THROUGHOUT COMMON AREA CORRIDORS
 5. STRIP WOOD BASE AND STAIN TO MATCH DOORS
 6. PAINT EXISTING HARD CEILINGS (FLAT LATEX)
 7. STRIP AND RESTAIN ALL DOORS ON CORRIDOR SIDE (STAIN COLOR TO MATCH SAMPLE)
 8. REPLACE DAMAGED DOORS AS NECESSARY
 9. REPLACE ALL EXIT SIGNS TO MATCH "LCD CEILING HUNG" ON FIRST FLOOR
 10. REPLACE ALL LIFE SAFETY DEVICES TO MATCH BUILDING STANDARD DEVICES ON FIRST FLOOR
 11. ALL SPRINKLERS TO BE BUILDING STANDARD WHITE WITH CONCEALED HEADS
 12. ALL METAL DOOR FRAMES TO BE PAINTED (2 COATS SEMI-LATEX ENAMEL)
 13. SERVICE ELEVATOR DOOR TO BE PAINTED (2 COATS SEMI-LATEX ENAMEL)
 14. PROVIDE NEW WHITE BUILDING STANDARD SUPPLY/RETURN GRILLS
 15. REPLACE ALL EXISTING KICKPLATES

4 3RD FLOOR NOTES



5 FLOOR PLAN (4TH FLOOR)
 1/8" = 1'-0"

- DEMO NOTES:**
1. REMOVE ALL EXISTING CARPETING
 2. REMOVE ALL EXISTING WALL COVERING (HARD SURFACE BETWEEN ELEVATORS TO REMAIN)
 3. REMOVE SMOKE DOORS/FRAME AT SERVICE ELEVATOR (PATCH/REPAIR WALL AS NECESSARY)
 4. REMOVE SMOKE DOORS AT ELEVATOR LOBBY (PATCH/REPAIR WALL AS NECESSARY)
 6. REMOVE MIRRORS AT ELEVATOR LOBBY (SKIM-COAT/PATCH/REPAIR WALL TO RECEIVE WALL COVERING)

- IMPROVEMENT NOTES:**
1. PROVIDE NEW WALL COVERING THROUGHOUT COMMON AREA CORRIDORS
 2. PROVIDE NEW CARPETING THROUGHOUT COMMON AREA CORRIDORS
 3. CEILING TILE/GRID/LIGHTS TO REMAIN AS EXISTING
 4. STRIP WOOD BASE AND STAIN TO MATCH DOORS
 5. PAINT EXISTING HARD CEILINGS (FLAT LATEX)
 6. STRIP AND RESTAIN ALL DOORS ON CORRIDOR SIDE (STAIN COLOR TO MATCH SAMPLE)
 7. REPLACE DAMAGED DOORS AS NECESSARY
 8. HARD FLOOR AT ELEVATOR LOBBY TO REMAIN AS EXISTING
 9. REPLACE ALL LIFE SAFETY DEVICES TO MATCH BUILDING STANDARD DEVICES ON FIRST FLOOR
 10. ALL SPRINKLERS TO BE BUILDING STANDARD WHITE WITH CONCEALED HEADS
 11. ALL METAL DOOR FRAMES TO BE PAINTED (2 COATS SEMI-LATEX ENAMEL)
 12. SERVICE ELEVATOR DOOR TO BE PAINTED (2 COATS SEMI-LATEX ENAMEL)
 13. PROVIDE NEW WHITE BUILDING STANDARD SUPPLY/RETURN GRILLS
 14. REPLACE ALL EXISTING KICKPLATES

6 4TH FLOOR NOTES

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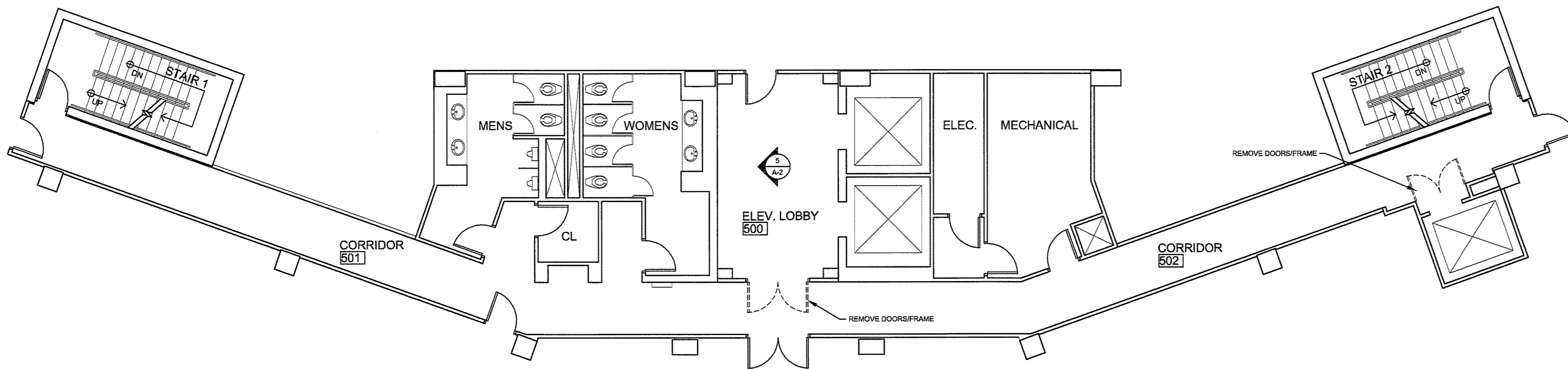
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A-1



1 FLOOR PLAN (5TH FLOOR)

1/8" = 1'-0"

DEMO NOTES:

1. REMOVE ALL EXISTING CARPETING
2. REMOVE ALL EXISTING WALL COVERING (HARD SURFACE BETWEEN ELEVATORS TO REMAIN)
3. REMOVE SMOKE DOORS/FRAME AT SERVICE ELEVATOR (PATCH/REPAIR WALL AS NECESSARY)
4. REMOVE SMOKE DOORS AT ELEVATOR LOBBY (PATCH/REPAIR WALL AS NECESSARY)
5. REMOVE MIRRORS AT ELEVATOR LOBBY (SKIM-COAT/PATCH/REPAIR WALL TO RECEIVE WALL COVERING)

IMPROVEMENT NOTES:

1. PROVIDE NEW WALL COVERING THROUGHOUT COMMON AREA CORRIDORS
2. PROVIDE NEW CARPETING THROUGHOUT COMMON AREA CORRIDORS
3. PROVIDE NEW CEILING TILE/GRID THROUGHOUT COMMON AREA CORRIDORS
4. STRIP WOOD BASE AND STAIN TO MATCH DOORS
5. PAINT EXISTING HARD CEILINGS (FLAT LATEX)
6. STRIP AND RESTAIN ALL DOORS ON CORRIDOR SIDE (STAIN COLOR TO MATCH SAMPLE)
7. REPLACE DAMAGED DOORS AS NECESSARY
8. HARD FLOOR AT ELEVATOR LOBBY TO REMAIN AS EXISTING
9. REPLACE ALL EXIT SIGNS TO MATCH "LCD CEILING HUNG" ON FIRST FLOOR
10. REPLACE ALL LIFE SAFETY DEVICES TO MATCH BUILDING STANDARD DEVICES ON FIRST FLOOR
11. ALL SPRINKLERS TO BE BUILDING STANDARD WHITE WITH CONCEALED HEADS
12. ALL METAL DOOR FRAMES TO BE PAINTED (BUILDING STANDARD)
13. SERVICE ELEVATOR DOOR TO BE PAINTED (BUILDING STANDARD)
14. PROVIDE NEW WHITE BUILDING STANDARD SUPPLY/RETURN GRILLS
15. REPLACE ALL EXISTING KICKPLATES

2 5TH FLOOR NOTES

FINISHES SCHEDULE (2ND FLOOR)

MK	ROOM NAME	FLOOR		BASE		WALLS		CEILING	
		MAT	MAT HT	MAT	FIN	MAT	HT		
200	ELEVATOR LOBBY	EXIST.							
201	CORRIDOR	CPT1	EXIST.		WC1	ACT1	MATCH EXIST.		
202	CORRIDOR	CPT1	EXIST.		WC1	ACT1	MATCH EXIST.		

FINISHES SCHEDULE (4TH FLOOR)

MK	ROOM NAME	FLOOR		BASE		WALLS		CEILING	
		MAT	MAT HT	MAT	FIN	MAT	HT		
200	ELEVATOR LOBBY	EXIST.		EXIST.	WC1	EXIST.			
201	CORRIDOR	CPT1	EXIST.		WC1	ACT1	MATCH EXIST.		
202	CORRIDOR	CPT1	EXIST.		WC1	ACT1	MATCH EXIST.		

FIRST FLOOR NOTES:

1. STRIP AND RESTAIN ALL DOORS ON CORRIDOR SIDE (STAIN COLOR TO MATCH SAMPLE)
2. STRIP WOOD BASE AND STAIN TO MATCH DOORS. CONTRACTORS OPTION TO EITHER STAIN IN PLACE OR REMOVE AND STAIN

CONSTRUCTION NOTES:

- STRUCTURES UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL COMPLY WITH NFPA 241
- ACCUMULATIONS OF COMBUSTIBLE WASTE AND DUST DEBRIS SHALL BE REMOVED FROM THE STRUCTURE AND ITS IMMEDIATE VICINITY AT THE END OF THE SHIFT OR MORE FREQUENTLY AS NECESSARY FOR SAFE OPERATIONS
- EXIT AND ACCESS CORRIDORS ARE TO BE MAINTAINED AND REMAIN CLEAR AND UNOBSTRUCTED
- THE MAIN BUILDINGS FIRE PROTECTION SYSTEMS SHALL BE MAINTAINED AND OPERATIONAL AT ALL TIMES

PROVIDE ALTERNATE PRICING FOR THE FOLLOWING:

1. REPLACE ALL LIGHTS WITH NEW 2x2' REFLECTIVET PARABOLIC FIXTURES AND ENERGY EFFICIENT BALLASTS AND STANDARD LAMPS ON FLOORS 2, 3 AND 5
2. RECYCLE ALL DEMO'D CARPET (PROVIDE OWNER WITH CERTIFICATE)
3. RECYCLE ALL DEMO'D CEILING TILE (PROVIDE OWNER WITH CERTIFICATE)
4. ALL PAINTS, COATINGS AND PRIMERS APPLIED TO INTERIOR WALLS AND CEILINGS ARE NOT TO EXCEED THE VOC CONTENT LIMITS NON-FLAT PAINT.

FINISHES SCHEDULE (3RD FLOOR)

MK	ROOM NAME	FLOOR		BASE		WALLS		CEILING	
		MAT	MAT HT	MAT	FIN	MAT	HT		
300	ELEVATOR LOBBY	MARBLE	4"	EXIST.	WC1	EXIST.			
301	CORRIDOR	CPT1	EXIST.		WC1	ACT1	MATCH EXIST.		
302	CORRIDOR	CPT1	EXIST.		WC1	ACT1	MATCH EXIST.		

- ALL INTERIOR FINISHES TO HAVE A MIN CLASS "A" FLAME SPREAD CLASSIFICATION
- SAMPLES REQUIRED FOR OWNER APPROVAL PRIOR TO ORDERING
- ALL INTERIOR FLOOR FINISH SHALL BE NOT LESS THAN CLASS II
- ALL SIGNAGE TO BE REPLACED. NEW SIGNAGE TO BE PROVIDED AND INSTALLED BY OWNER
- CONTRACTOR RESPONSIBLE FOR REMOVAL OF EXISTING SIGNAGE AND COORDINATION OF NEW SIGNAGE INSTALLATION

FINISHES SCHEDULE (5TH FLOOR)

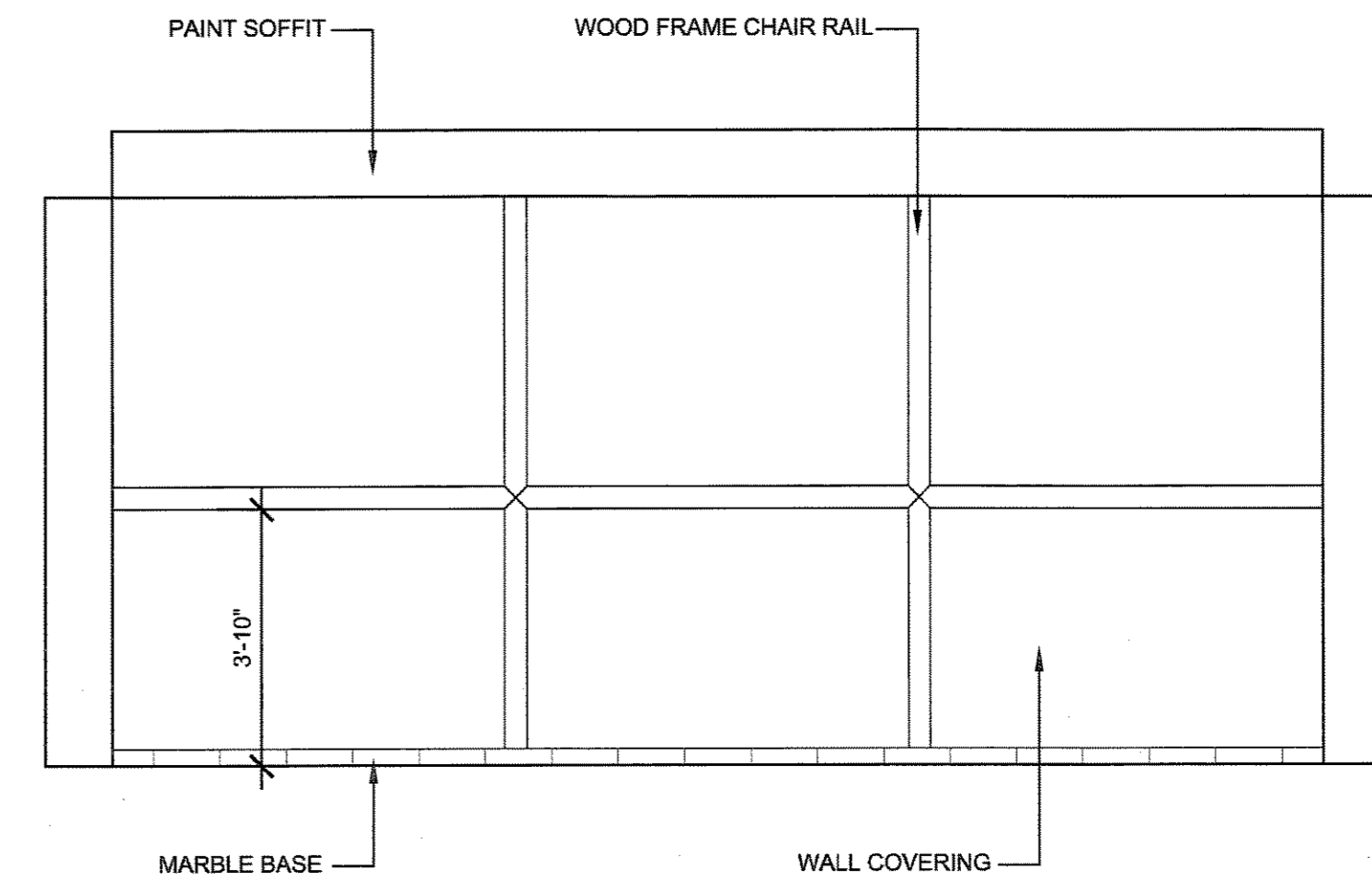
MK	ROOM NAME	FLOOR		BASE		WALLS		CEILING	
		MAT	MAT HT	MAT	FIN	MAT	HT		
300	ELEVATOR LOBBY	MARBLE	4"	EXIST.	WC1	EXIST.			
301	CORRIDOR	CPT1	EXIST.		WC1	ACT1	MATCH EXIST.		
302	CORRIDOR	CPT1	EXIST.		WC1	ACT1	MATCH EXIST.		

FINISHES:

- CARPET (CPT1) TO BE MOHAWK (HEAT MC080) #8628 HAPPY OLIVE
- PAINT (METAL FRAMES) TO BE SHERWIN WILLIAMS (SW 6141) SOFTER TAN
- PAINT (CEILINGS) "CEILING WHITE" (PROVIDE SAMPLES)
- WALL COVERING (WC1) TO BE MAHARAM (FLAXEN 397130) #003 DUNE
- CEILING TILE (ACT1) TO BE ARMSTRONG (DUNE) 24" x 24" BEVELED TEGULAR (MATCH 1ST FLOOR)
- CEILING GRID TO BE 1516" WHITE
- MARBLE FLOORING TO BE DAL TILE (NATURAL STONE) CREMA MARFI SELECT #M796
- ALTERNATE MARBLE FLOORING TO BE DAL TILE (NATURAL STONE) CREMA MARFI ELLEGANCE #M721

3 FINISH NOTES

4 NOTES



5 ELEV LOBBY ELEVATION

3/8" = 1'-0"

Bd

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PROJECT NUMBER NIP16

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