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WALL LEGEND

	EXIST PARTITION
	EXIST 1 HR WALL

1. ALL WALLS/DOORS/WINDOWS ARE EXISTING AS PER EXISTING FLOOR PLAN 1/A-1
2. ALL CABINETS/SINKS ARE EXISTING AS PER EXISTING FLOOR PLAN 1/A-1
3. TOILET ROOMS ARE EXISTING AS PER EXISTING FLOOR PLAN 1/A-1
4. DRINKING FOUNTAINS ARE EXISTING AS PER EXISTING FLOOR PLAN 1/A-1

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WALL LEGEND
 ——— EXIST PARTITION TO REMAIN
 - - - - - EXIST WALLS TO BE DEMO'D

1 (DEMO) FLOOR PLAN
1/8" = 1'-0"

2 (DEMO) NOTES

1. DEMO WALLS/DOORS AS PER DEMO FLOOR PLAN 1/A-2. STORE ALL DOORS FOR REUSE
 2. DEMO OPENING INTO SUITE #110 AS PER DEMO PLAN 1/A-2
 3. REMOVE ALL ELECTRICAL/DATA WIRING FROM DEMO'D WALLS, CAP BACK TO FIRST JUNCTION BOX
- * STRUCTURES UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL COMPLY WITH NFPA 241
 - * ACCUMULATIONS OF COMBUSTIBLE WASTE AND DUST DEBRIS SHALL BE REMOVED FROM THE STRUCTURE AND ITS IMMEDIATE VICINITY AT THE END OF THE SHIFT OR MORE FREQUENTLY AS NECESSARY FOR SAFE OPERATIONS
 - * EXIT AND ACCESS CORRIDORS ARE TO BE MAINTAINED AND REMAIN CLEAR AND UNOBSTRUCTED
 - * THE MAIN BUILDINGS FIRE PROTECTION SYSTEMS SHALL BE MAINTAINED AND OPERATIONAL AT ALL TIMES

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WALL LEGEND

— EXIST PARTITION TO REMAIN

▨ NEW METAL STUD PARTITION

[F.E.] INDICATES NEW 10 LB. ABC TYPE FIRE EXTINGUISHER WITH HANGER BRACKET

1. PROVIDE NEW PARTITIONS/DOORS AS INDICATED IN 1/A-3
2. NEW WORKSTATION TO BE PROVIDED BY TENANT
3. NO WORK TO BE DONE IN EXISTING PORTION OF SUITE #150
4. PATCH/REPAIR/PAINT EXISTING WALLS AS NECESSARY
5. PROVIDE NEW FINISHES AS PER FINISH SCHEDULE

1 (PROPOSED) FLOOR PLAN
1/8" = 1'-0"

2 (PROPOSED) NOTES

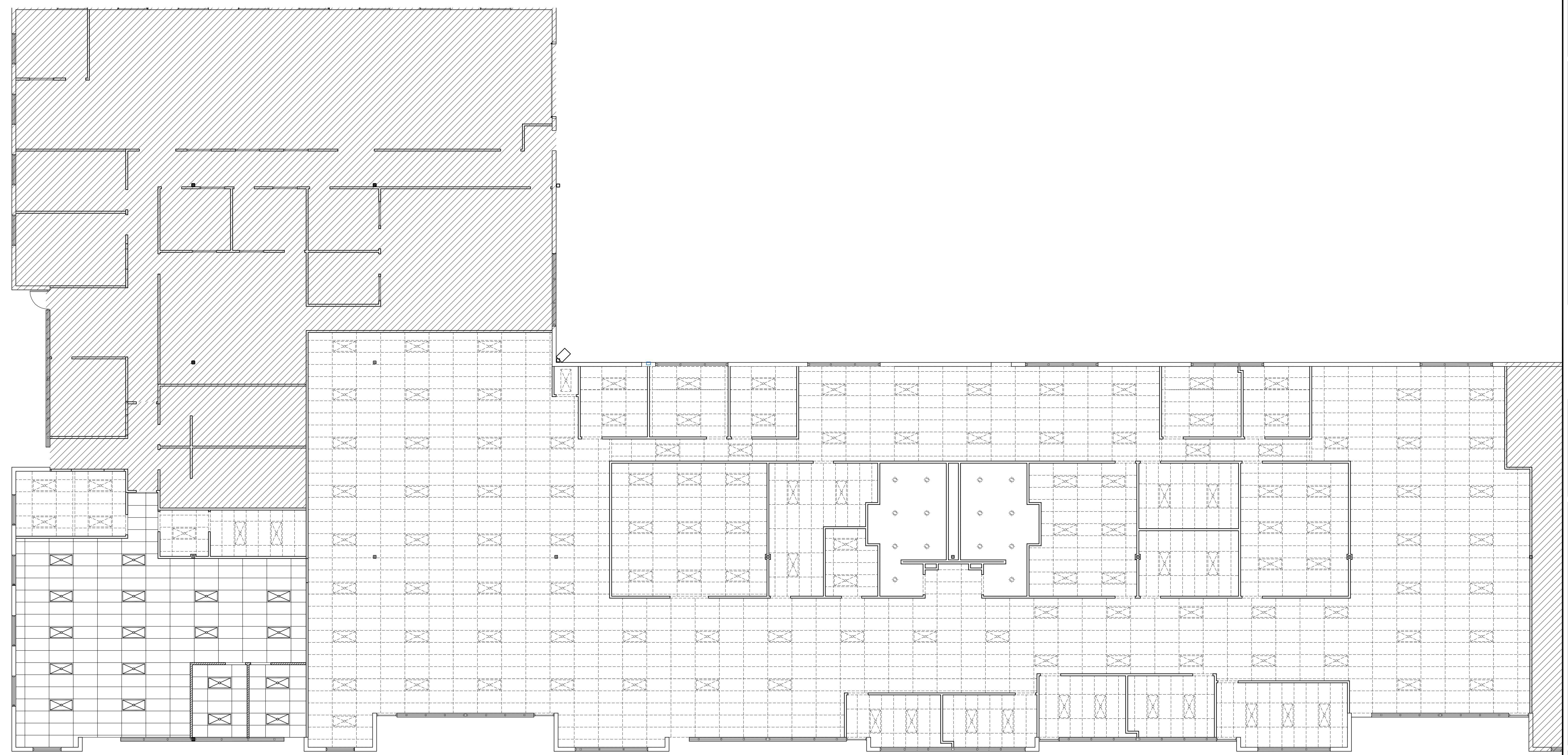
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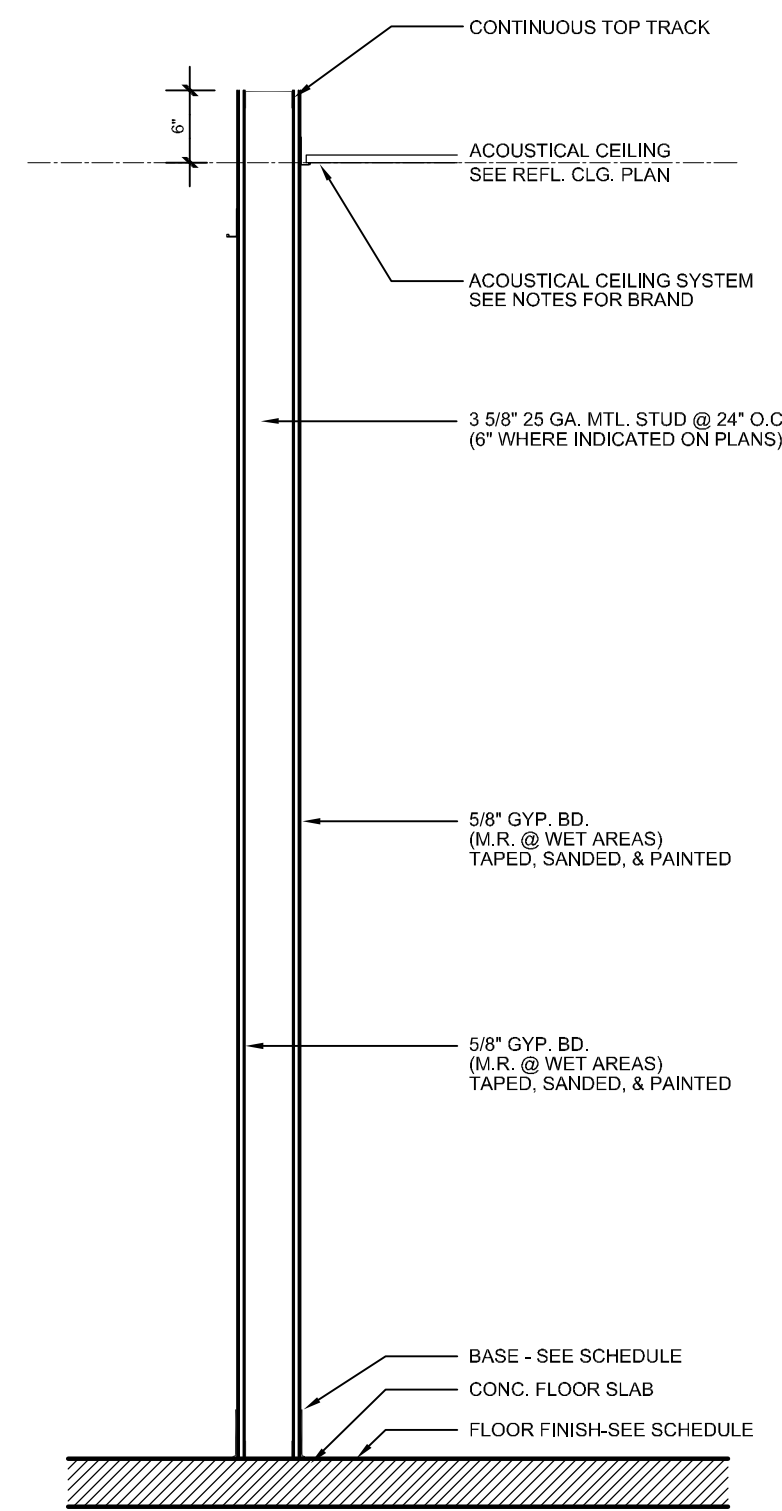


WALL LEGEND	
	EXIST PARTITION TO REMAIN
	NEW METAL STUD PARTITION
	NEW LIGHT
	EXISTING LIGHT TO REMAIN

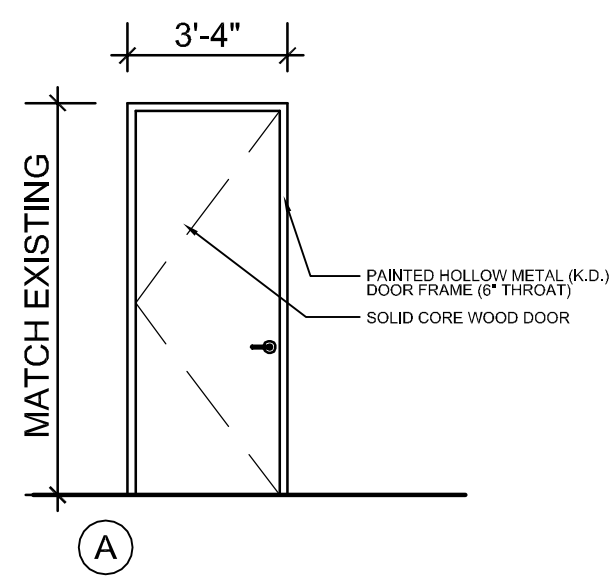
1. PROVIDE NEW CEILING GRID/TILE/LIGHTS AS PER 1/A-4
2. ALL NEW CEILING MATERIALS TO MATCH EXISTING SUITE #150 CEILING MATERIALS
3. ALL CEILING HEIGHTS TO MATCH SUITE #150 EXISTING CEILING HEIGHTS

1 (PROPOSED) CEILING PLAN
1/8" = 1'-0"

2 (PROPOSED) NOTES



1 WALL TYPE (INTERIOR PARTITION)
3/4" = 1'-0"

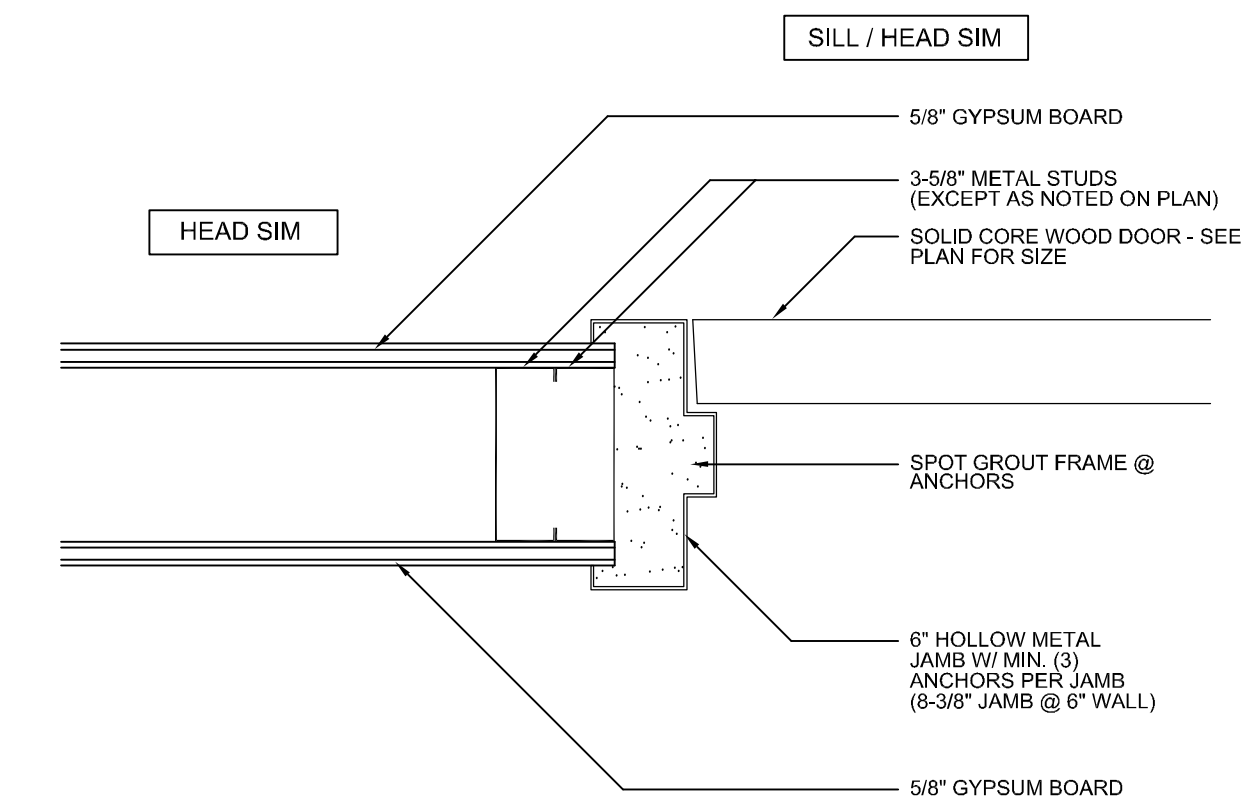


- * NEW TENANT ENTRY DOOR TO MATCH EXISTING BUILDING STANDARD
- * ALL CLOSERS TO BE ON THE INSIDE OF TENANT SPACE
- * NEW TENANT INTERIOR DOOR HARDWARE TO MATCH BUILDING STANDARD
- * DOOR HARDWARE IS REQUIRED TO COMPLY WITH FBC 11-4.13.9 FOR ACCESSIBILITY

DOOR SCHEDULE

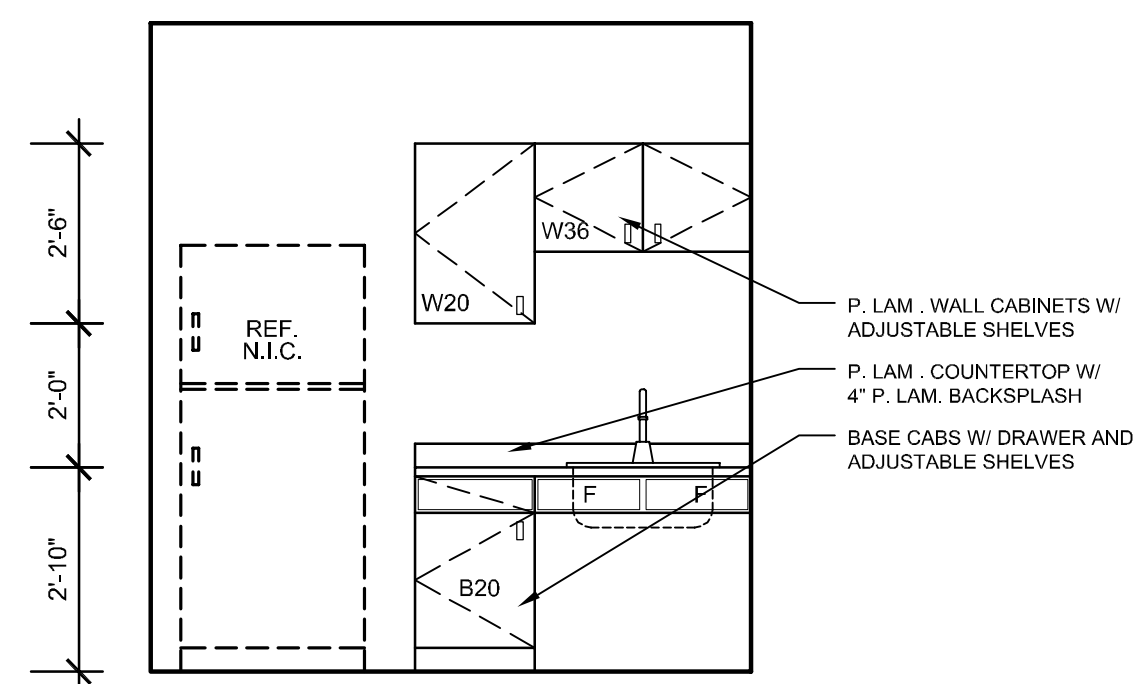
MARK	LABEL	DOOR					FRAME	REMARKS
		MAT	TYPE	SIZE			SIZE/MAT.	
				W	H	T		
A		WD	FLUSH	3'0"	MATCH	1-3/4"	2" HM	GLASS SIDE LIGHT

2 DOORS
1/4" = 1'-0"



3 JAMB DETAIL
3" = 1'-0"

* CABS/SINK ARE EXISTING (NO WORK TO BE DONE)



- * SINKS SHALL BE MOUNTED WITH THE COUNTER TOP OR RIM NO HIGHER THAN 34" ABOVE THE FINISH FLOOR
- * KNEE CLEARANCE OF AT LEAST 27" HIGH, 30" WIDE, AND 19" DEEP IS PROVIDED UNDERNEATH
- * EACH SINK SHALL BE A MAXIMUM OF 6-1/2" DEEP
- * HOT WATER AND DRAIN PIPES UNDER SINK SHALL BE INSULATED OR OTHERWISE CONFIGURED SO AS TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER THE SINK
- * A CLEAR FLOOR SPACE OF AT LEAST 30" BY 48" SHALL BE PROVIDED IN FRONT OF A SINK TO ALLOW FORWARD APPROACH. THE CLEAR FLOOR SPACE SHALL BE ON AN ACCESSIBLE ROUT AND SHALL EXTEND A MAXIMUM OF 19 INCHES UNDERNEATH THE SINK
- * 19" MAX CLEAR AREA SHALL BE PROVIDED UNDERNEATH SINK
- * ALL FAUCETS SHALL BE LEVER OPERATED

4 SUITE #100 BREAK (#109) ELEVATION
3/8" = 1'-0"

MK	ROOM NAME	FLOOR	BASE		WALLS		CEILING			REMARKS
		MAT	MAT	HT	MAT	FIN	MAT	FIN	HT	
SUITE #110										
100	OPEN OFFICE	EXISTING								
101	OPEN OFFICE	EXISTING								
102	OFFICE	EXISTING								
103	OFFICE	EXISTING								
104	OFFICE	EXISTING								
105	OFFICE	EXISTING								
106	OFFICE	EXISTING								
107	OPEN OFFICE	EXISTING								
108	OPEN OFFICE	EXISTING								
109	WORKROOM	EXISTING								
110	OFFICE	EXISTING								
111	OFFICE	EXISTING								
112	BREAK	EXISTING								
113	MENS	EXISTING								
114	WOMENS	EXISTING								
115	STORAGE	EXISTING								
116	FILES	EXISTING								
117	CONFERENCE	EXISTING								
118	OFFICE	EXISTING								
119	OFFICE	EXISTING								
120	OPEN OFFICE	EXISTING								
121	TELECO	EXISTING								
122	OFFICE	EXISTING								
123	OFFICE	EXISTING								
124	CLOSET	EXISTING								
125	OPEN OFFICE	EXISTING								
126	OPEN OFFICE	CPT1	VL	4"	GWB	PT1	ACT1			
127	OFFICE	CPT1	VL	4"	GWB	PT1	ACT1			
128	OFFICE	CPT1	VL	4"	GWB	PT1	ACT1			
129	CONFERENCE	CPT1	VL	4"	GWB	PT1	ACT1			
130	STORAGE	VCT	VL	4"	GWB	PT1	ACT1			
131	TELECO	VCT	VL	4"	GWB	PT1	ACT1			

FINISH SELECTIONS

- PAINT (PT1)**
MANUFACTURER: PITTSBURGH PAINTS
COLOR: BLUE HAZE #555-1, FLAT
TYPE: "ECO-SPEC" NO VOC PAINT
- CARPET (CPT1)**
MANUFACTURER: PATCRAFT
STYLE: MANNER BOOK #10247
COLOR: SHOTGUN #47407
- VINYL COMP TILE (VCT)**
MANUFACTURER: ARMSTRONG
STYLE: STANDARD EXCELRON
COLOR: BLUE CLOUD #51933
- VINYL BASE (VL)**
MANUFACTURER: JOHNSONITE
COLOR: OCEAN #189
- ACOUSTIC CEILING TILE (ACT1)**
MANUFACTURER: MATCH EXISTING
COLOR: AMATCH EXISTING

- * ALL INTERIOR WALL AND CEILING FINISHES TO HAVE A MIN CLASS "C" FLAME SPREAD CLASSIFICATION
- * ALL INTERIOR FLOOR FINISH SHALL BE NOT LESS THAN CLASS II
- * SAMPLES ARE REQUIRED TO BE APPROVED PRIOR TO ORDERING

5 FINISHES
3/8" = 1'-0"

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S.F.W.M.D. #125

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SUITE #125
WEST PALM BEACH, FL 33401

PROJECT NUMBER 23013

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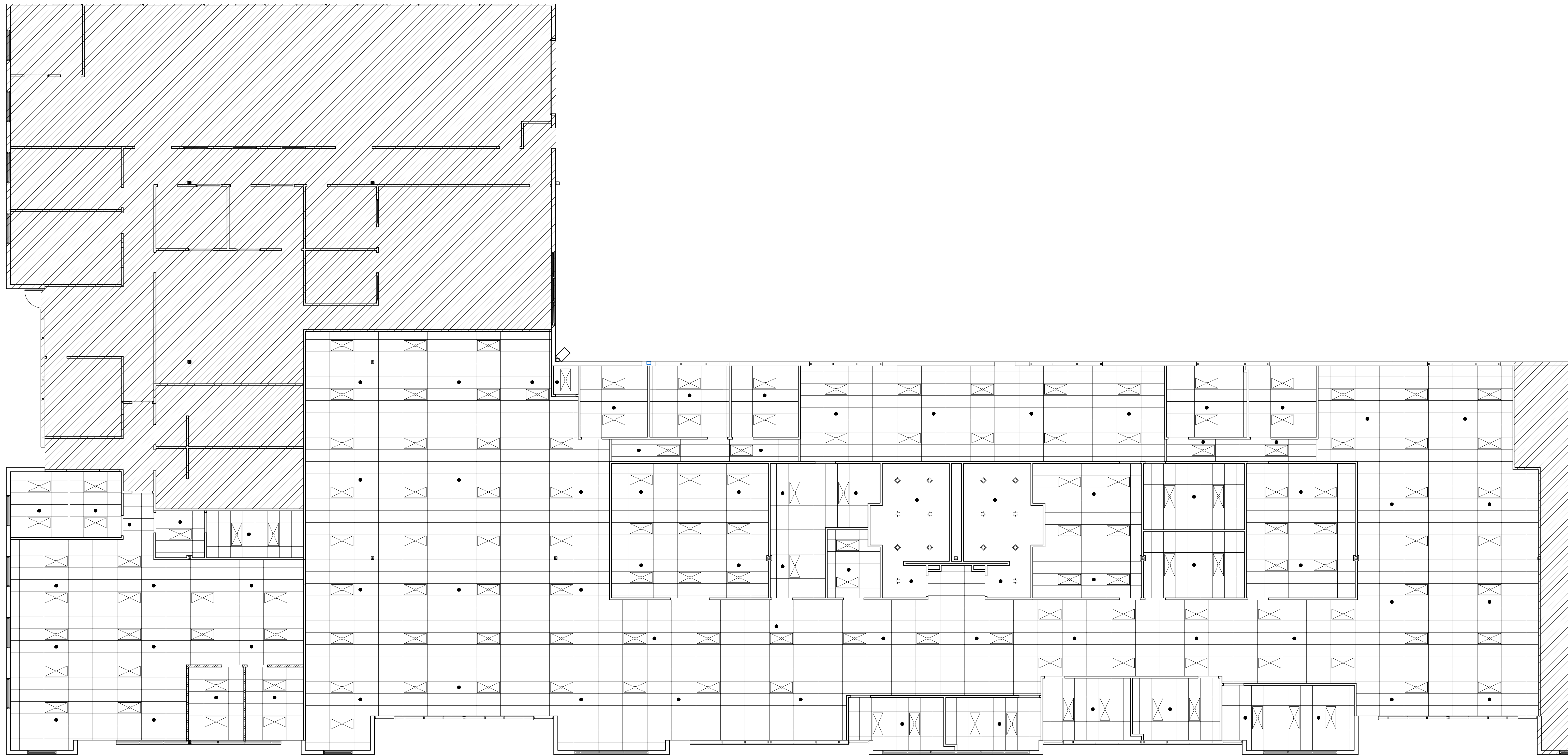
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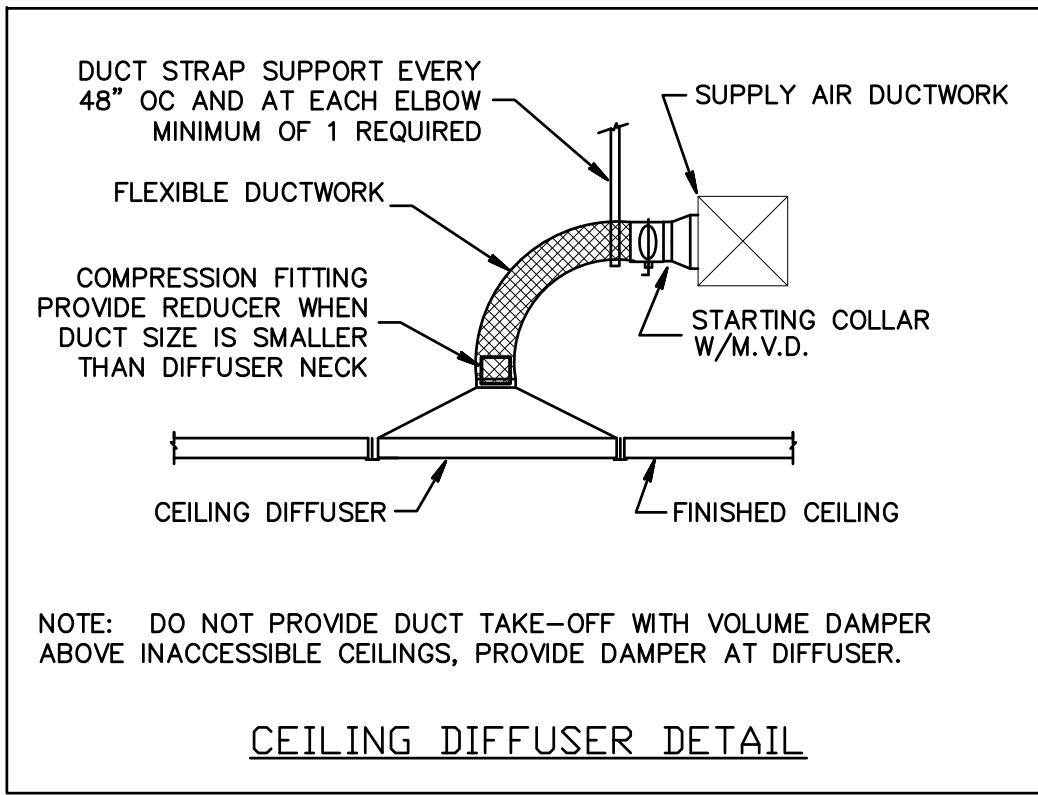


SPRINKLER HEAD			
SYMBOL	TYPE	TEMP	SIZE
•	QUICK TYPE RECESSED PENDANT	165°	1/2"

* FIRE SPRINKLER SHOP DRAWINGS ARE TO BE SUBMITTED UNDER A SEPARATE FIRE SPRINKLER PERMIT
* COMPLY WITH NFPA 13 2010 EDITION

MECHANICAL GENERAL NOTES:

- THESE DRAWINGS ARE DIAGRAMMATIC. ALL OFFSETS, FITTINGS, TRANSITIONS AND ACCESSORIES ARE NOT SHOWN. THE CONTRACTOR SHALL INCLUDE IN HIS BID ALL ITEMS REQUIRED TO PROVIDE A COMPLETE AND OPERATIONAL SYSTEM. DO NOT SCALE DRAWINGS FOR INSTALLATION.
- ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER BY LICENSED CONTRACTORS.
- THE CONTRACTOR SHALL OBTAIN AT HIS EXPENSE ALL NECESSARY FEES PERMITS, AND TESTS.
- ALL WORK SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES. NO CONTRACTOR SHALL BID UNLESS FAMILIAR WITH THESE CODES.
- CORRECTION OF DEFECTS TO THIS WORK SHALL BE MADE PROMPTLY WITHOUT CHARGE TO THE OWNER. REPAIR AND REPLACEMENT FOR DAMAGE CAUSED BY THIS CONTRACTOR SHALL BE MADE PROMPTLY WITHOUT CHARGE TO THE OWNER.
- ALL WORK OF THIS TRADE SHALL BE COORDINATED WITH ALL OTHER TRADES TO AVOID ANY INTERFERENCES THAT MAY DELAY PROGRESS OF CONSTRUCTION.
- THE CONTRACTOR SHALL INCLUDE THE WORK OF ALL REQUIRED SUB-CONTRACTORS, SUCH AS ELECTRICAL, INSULATING, TEST & BALANCE, ETC., AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM.
- EQUIPMENT SHALL BEAR A U.L. OR OTHER RECOGNIZED LABEL, NAMEPLATES, WIRING DIAGRAMS, AND ENERGY RATINGS AS APPLICABLE.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND ACCESSORIES TO BE READILY ACCESSIBLE FOR SERVICING, TESTING, BALANCING, AND REPLACEMENT.
- THE CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE AGAINST DEFECTS IN ALL MATERIALS AND WORKMANSHIP FOR ONE YEAR FROM ACCEPTANCE, WITH FOUR ADDITIONAL YEARS OF WARRANTY ON COMPRESSORS.
- THE CONTRACTOR SHALL PROVIDE THREE COPIES OF SUBMITTAL DATA, SHOP DRAWINGS, AND AT COMPLETION OF THE PROJECT TWO SETS OF OPERATION AND MAINTENANCE MANUALS FOR ALL PROJECT ITEMS.
- PROVIDE ALL CONTROLS, STARTERS, CONTROL WIRING, DISCONNECTS, AND OTHER ELECTRICAL EQUIPMENT AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM.
- THE HVAC CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, ON SITE, A DETAILED AS-BUILT PLAN SHOWING ACTUAL INSTALLATIONS. THE CONTRACTOR IS TO PROVIDE A NEATLY DRAWN, COMPREHENSIVE AS-BUILT SET OF PLANS UPON COMPLETION, WHICH ARE SUITABLE FOR SUBMISSION TO THE BUILDING DEPARTMENT AND TO THE OWNER.
- PRIOR TO ACCEPTANCE BY THE OWNER THE SYSTEMS SHALL BE TESTED AND BALANCED BY THE CONTRACTOR. PROVIDE A WRITTEN REPORT.
- SUPPLY AND INSTALL DUCT MOUNTED SMOKE DETECTORS AS REQUIRED.
- COORDINATE LOCATION OF CEILING DIFFUSERS, GRILLES AND REGISTERS IN THE FIELD WITH LIGHTS AND ARCHITECTURAL ELEMENTS.
- ALL GRILLES TO BE TITUS OR METALLAIRE UNLESS OTHERWISE NOTED, SIZES AS SHOWN ON PLANS, ALUMINUM CONSTRUCTION.
- ALL DUCT WORK SHALL BE BUILT AND INSTALLED IN ACCORDANCE WITH SMACNA STANDARDS AND LOCAL BUILDING CODES.
- ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS.
- ALL OUTSIDE AIR DUCTWORK SHALL BE SHEETMETAL WITH EXTERIOR R-6 INSULATION. PROVIDE BLANKET TYPE INSULATION IN CONCEALED SPACES, AND BOARD TYPE IN EXPOSED AREAS.
- ALL EXHAUST AIR DUCT SHALL BE GALVANIZED SHEET METAL CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH ASHRAE AND SMACNA STANDARDS.
- FLEXIBLE DUCT, WHERE SHOWN, SHALL BE U.L. CLASS 1, R-6 INSULATION.
- LOW PRESSURE SUPPLY AND RETURN RECTANGULAR DUCTWORK IS RIGID DUCTBOARD, 1 IN. THICK, R-4.2 INSULATION.
- PROVIDE ELBOW TURNING VANES IN ALL RECTANGULAR DUCTS WHERE TURNS ARE GREATER THAN 45 DEGREES.
- PROVIDE BACKDRAFT DAMPERS FOR ALL EXHAUST FANS.
- VERIFY ALL THERMOSTAT LOCATIONS WITH THE LANDLORD.
- CONDENSATE DRAIN PIPING SHALL BE ABOVE GRADE COPPER DRAIN, WASTE AND VENT FITTINGS. INSULATE ALL CONDENSATE PIPING W/3/4" IMCOA IMCOLOCK PIPE INSULATION.



VENTILATION CALCULATIONS

SYSTEM	AHU-1		AHU-2			
	OFFICE	OFFICE	CORRIDOR	ELECT.	CONFERENCE	STORAGE
SQUARE FEET OF AREA	614	920	186	128	196	64
CFM/SQ.FT. REQUIRED	0.06	0.06	0.06	0.06	0.06	0.12
TOTAL OCCUPANTS	4	5	-	-	10	-
CFM/PERSON REQUIRED	5	5	-	-	5	-
ZONE CFM REQUIRED		80	11	8	62	8
TOTAL SYSTEM CFM	56					169

NOTES

- ABOVE CALCULATIONS AND OCCUPANCY RATES PER ASHRAE 62.1, 2004.

ABBREVIATIONS

S/A	SUPPLY AIR
R/A	RETURN AIR
O/A	OUTSIDE AIR
E/A	EXHAUST AIR
CFM	CUBIC FEET PER MINUTE.
MVD	MANUAL VOLUME DAMPER (OPPOSED BLADE TYPE).
FD	FIRE DAMPER
AHU	AIR HANDLING UNIT
CU	CONDENSING UNIT
E	EXISTING
R	RELOCATED
RC	ROOFCAP

LEGEND

	EXISTING EQUIPMENT TO REMAIN
	SUPPLY AIR DIFFUSER AS NOTED
	RETURN/TRANSFER AIR GRILLE AS NOTED
	EXISTING SUPPLY AIR DIFFUSER
	EXISTING EXHAUST/RETURN GRILLE
	DUCTWORK AS NOTED
	EXISTING DUCTWORK TO REMAIN
	TYPE B FIRE DAMPER W/ACCESS DOOR.
	MANUAL VOLUME DAMPER
	PROGRAMMABLE THERMOSTAT
	FLEXIBLE DUCT, U.L. CLASS 1
	DUCT TRANSITION
	FLEXIBLE DUCT TAKE-OFF WITH MVD
	DUCT SMOKE DETECTOR WITH AUDIBLE AND VISIBLE INDICATORS
	REMOTE TEST & INDICATOR STATION (FOR DUCT SMOKE DETECTOR)
	CONNECTION TO EXISTING

HVAC PROJECT SPECIFIC NOTES

CONTRACTOR IS TO INSPECT ALL EXISTING DUCTWORK SHOWN ON THESE PLANS AS REMAINING. REPAIR AS REQUIRED ANY DAMAGED DUCTWORK OR INSULATION. WHERE DUCTWORK IS SHOWN TO BE PARTIALLY REMOVED, CAP, SEAL, AND INSULATE TO MATCH EXISTING METHODS AND MATERIALS.

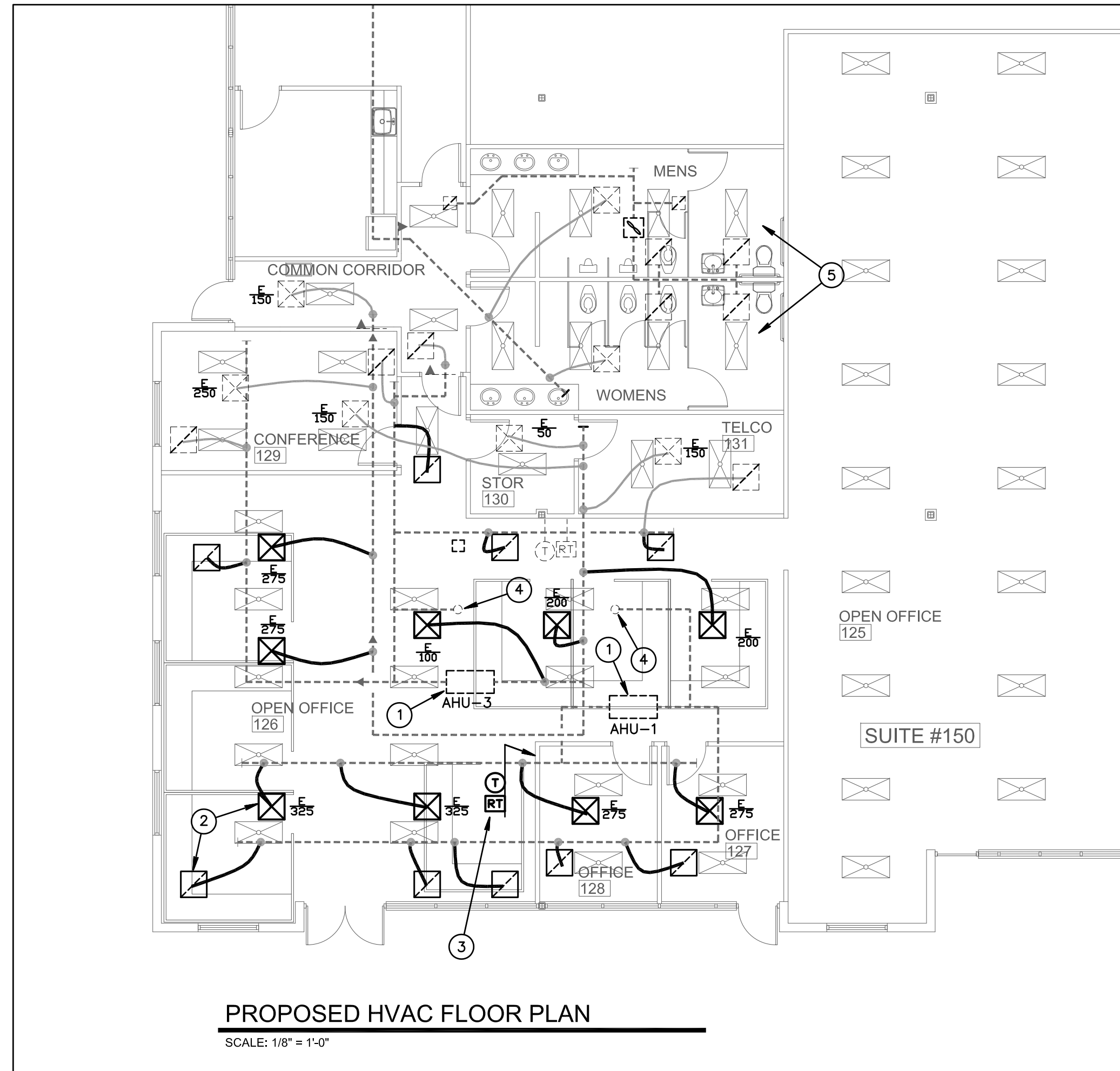
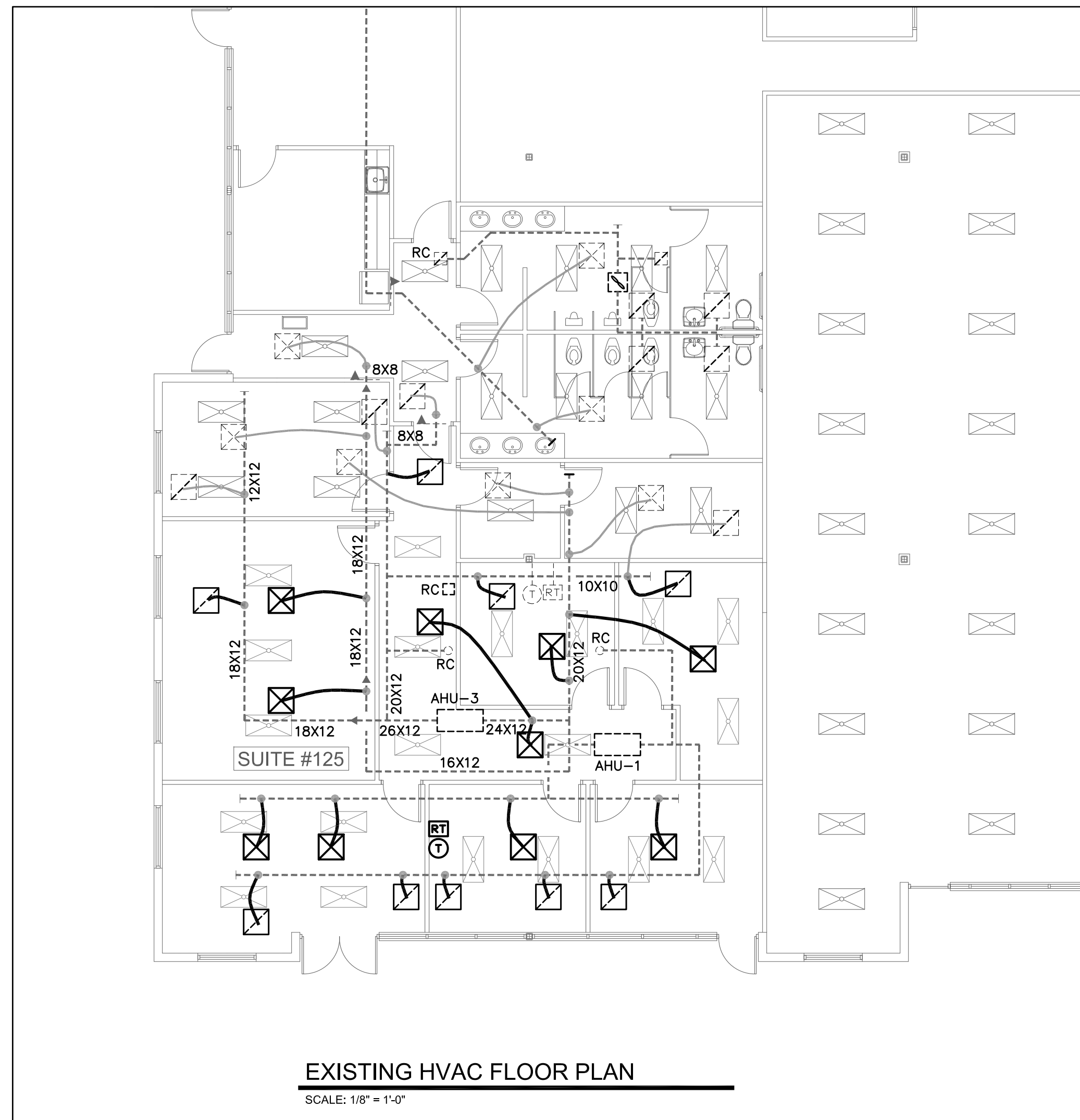
EXISTING EQUIPMENT WHICH IS REMAINING IS TO BE INSPECTED, ADJUSTED AND REPAIRED WHERE NECESSARY.

PROVIDE NEW FLEXIBLE DUCT TAKE-OFFS FROM MAIN DUCTS AS REQUIRED. EXISTING TAKE-OFFS MAY BE RE-USED WHERE PROPERLY SIZED OR PROVIDED WITH REDUCERS.

- DRAWING KEYNOTES:**
- EXISTING AIR HANDLING UNIT TO REMAIN AS IS. PROVIDE DUCT AND AIR OUTLET MODIFICATIONS AS INDICATED AND RE-BALANCE O/A AND ALL AIR OUTLETS AS INDICATED.
 - CONNECT NEW AIR DEVICES TO EXISTING DUCTWORK AS INDICATED. PROVIDE ANY MODIFICATIONS TO EXISTING DUCTWORK AS REQUIRED FOR NEW CONNECTIONS, FIELD VERIFY (TYPICAL).
 - RE-LOCATE EXISTING THERMOSTAT AND TEST/INDICATOR STATION FOR DUCT SMOKE DETECTOR AS SHOWN.
 - OUTSIDE AIR DUCT UP TO ROOF CAP, TO REMAIN AS IS (TYPICAL OF 2, NO WORK)
 - EXISTING BATHROOMS SUPPLY AND EXHAUST SYSTEMS TO REMAIN AS IS (NO WORK)

GENERAL DEMOLITION NOTES

- UNLESS OTHERWISE NOTED, ALL EQUIPMENT AND DUCTWORK IN THE PROJECT AREA WHICH IS NOT INDICATED TO REMAIN, IS TO BE REMOVED. THE CONTRACTOR SHALL INVESTIGATE THE PROJECT AREA PRIOR TO BID TO DETERMINE ALL REQUIRED DEMOLITION.
- EXISTING CONDITIONS SHOWN ON THIS DRAWING ARE TAKEN FROM ORIGINAL DRAWINGS AND FIELD INVESTIGATION. ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO BID. FIELD CONDITIONS SHALL GOVERN.
- DEMOLITION WORK IS NOT SPECIFICALLY IDENTIFIED ON THESE PLANS, AND MAY BE DESCRIBED ON THE ARCHITECTS PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED DEMOLITION WHETHER SHOWN ON THE PLANS OR NOT.
- ALL MECHANICAL SYSTEMS SERVING OTHER SPACES OR FLOORS, THAT RUN THROUGH THE PROJECT AREA SHALL REMAIN ACTIVE DURING CONSTRUCTION, SO AS NOT TO CAUSE ANY DISRUPTION TO THESE OTHER SPACES.
- ALL ITEMS REMOVED UNDER THIS PROJECT SHALL BE DISPOSED OF OR TURNED OVER TO THE OWNER AT THE OWNER'S DISCRETION.
- PROPERLY REMOVE AND DISPOSE OF ALL HVAC DUCTWORK AND AIR DISTRIBUTION DEVICES WHICH ARE TO BE REMOVED. CONSULT WITH OWNER AND OBTAIN THE OWNER'S APPROVAL PRIOR TO DISPOSAL OF REMOVED MATERIAL.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL PIPING AND DUCTS, NEW OR EXISTING, WITHIN THE PROJECT AREA, ARE PROPERLY SUPPORTED.
- ALL OCCUPIED SPACES ARE TO REMAIN OPERATIONAL DURING BUSINESS HOURS THROUGHOUT THE DEMOLITION AND CONSTRUCTION PERIOD. COORDINATE ALL WORK AS DESCRIBED IN THE ARCHITECTS DOCUMENTS.



PROJ.# 10-007

Gilman & Associates, Inc.
MECHANICAL & ELECTRICAL ENGINEERS
129 N. FEDERAL HIGHWAY SUITE 202
Lake Worth, FL 33460 C.A.#009078
AN ISO 9001:2015 REGISTERED FIRM
RONALD D. GILMAN P.E. 587838

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2101 CENTRER PARK WEST DRIVE
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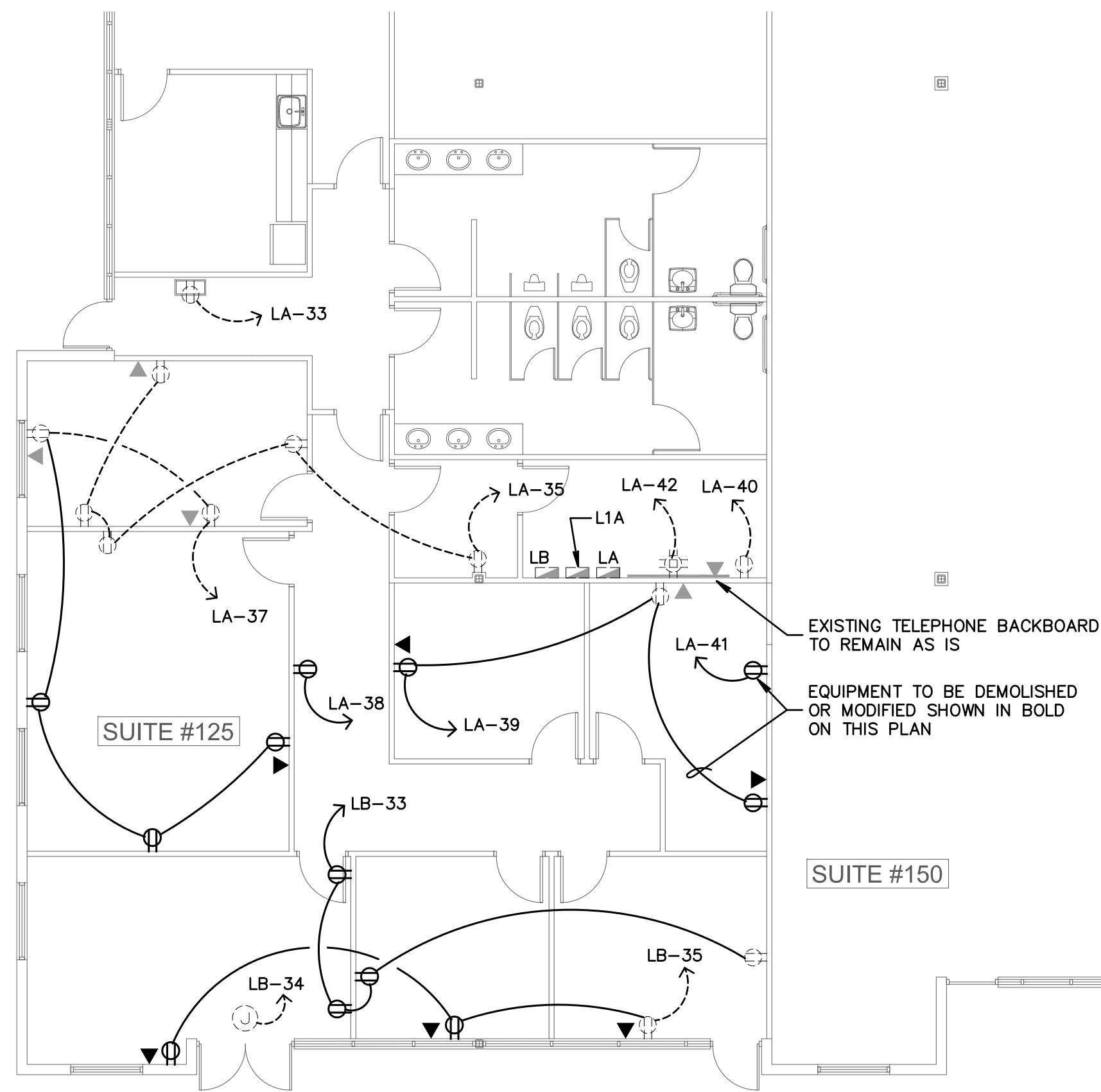
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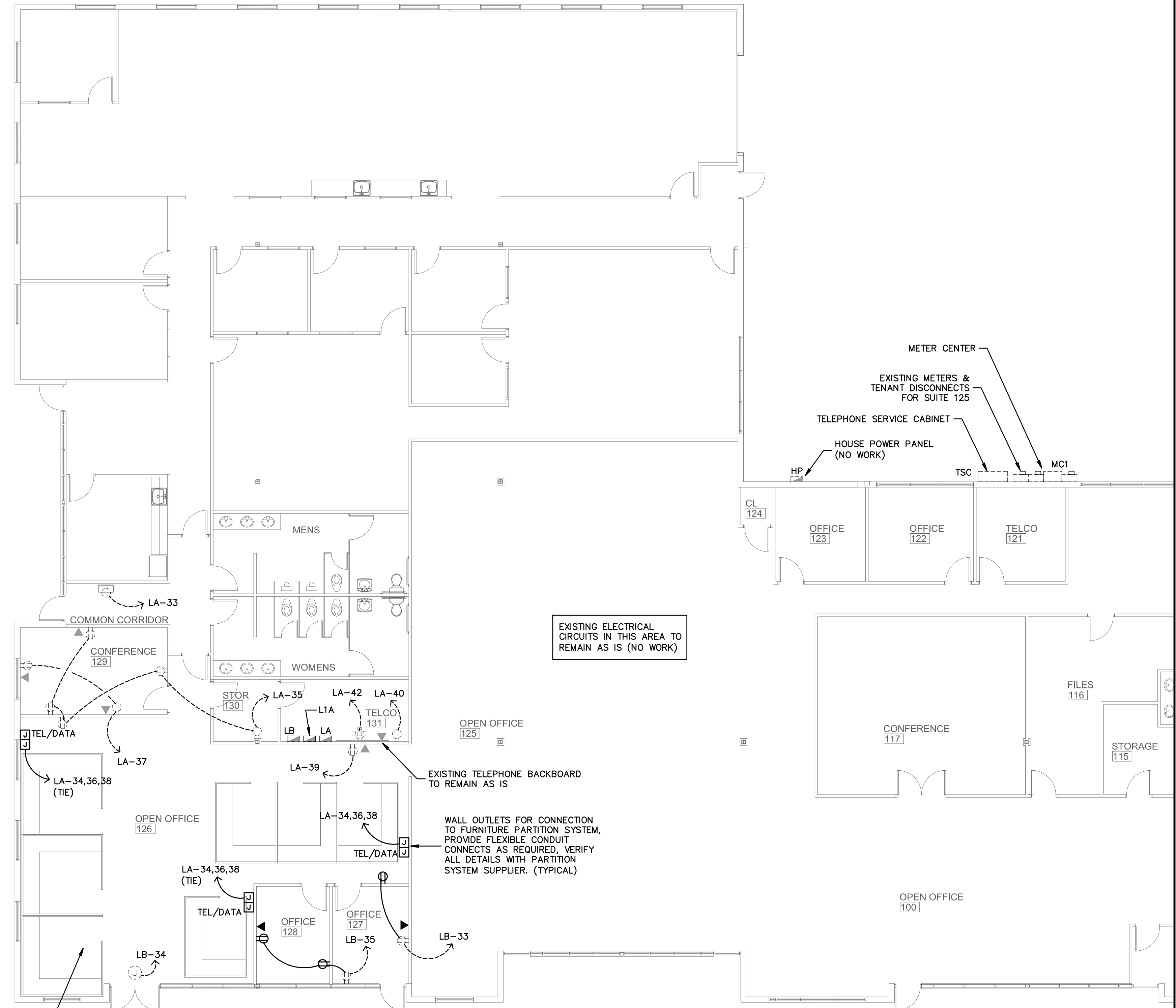
GENERAL DEMOLITION NOTES

- UNLESS OTHERWISE NOTED, ALL EQUIPMENT, WIRING DEVICES, LIGHT FIXTURES, CONDUIT AND WIRE IN THE PROJECT AREA WHICH IS NOT INDICATED TO REMAIN, IS TO BE REMOVED. THE CONTRACTOR SHALL INVESTIGATE THE PROJECT AREA PRIOR TO BID TO DETERMINE ALL REQUIRED DEMOLITION.
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- PROPERLY REMOVE AND DISPOSE OF ALL ELECTRICAL EQUIPMENT, CONDUIT AND WIRING WHICH IS TO BE REMOVED. CONSULT WITH OWNER AND OBTAIN THE OWNERS APPROVAL PRIOR TO DISPOSAL OF REMOVED MATERIAL.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL CONDUITS, NEW OR EXISTING, WITHIN THE PROJECT AREA, ARE PROPERLY SUPPORTED AND PROVIDED WITH BONDING BUSHINGS IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE.



EXISTING ELECTRICAL FLOOR PLAN

SCALE: 1/8" = 1'-0"



PROPOSED ELECTRICAL FLOOR PLAN

SCALE: 1/8" = 1'-0"

Bd

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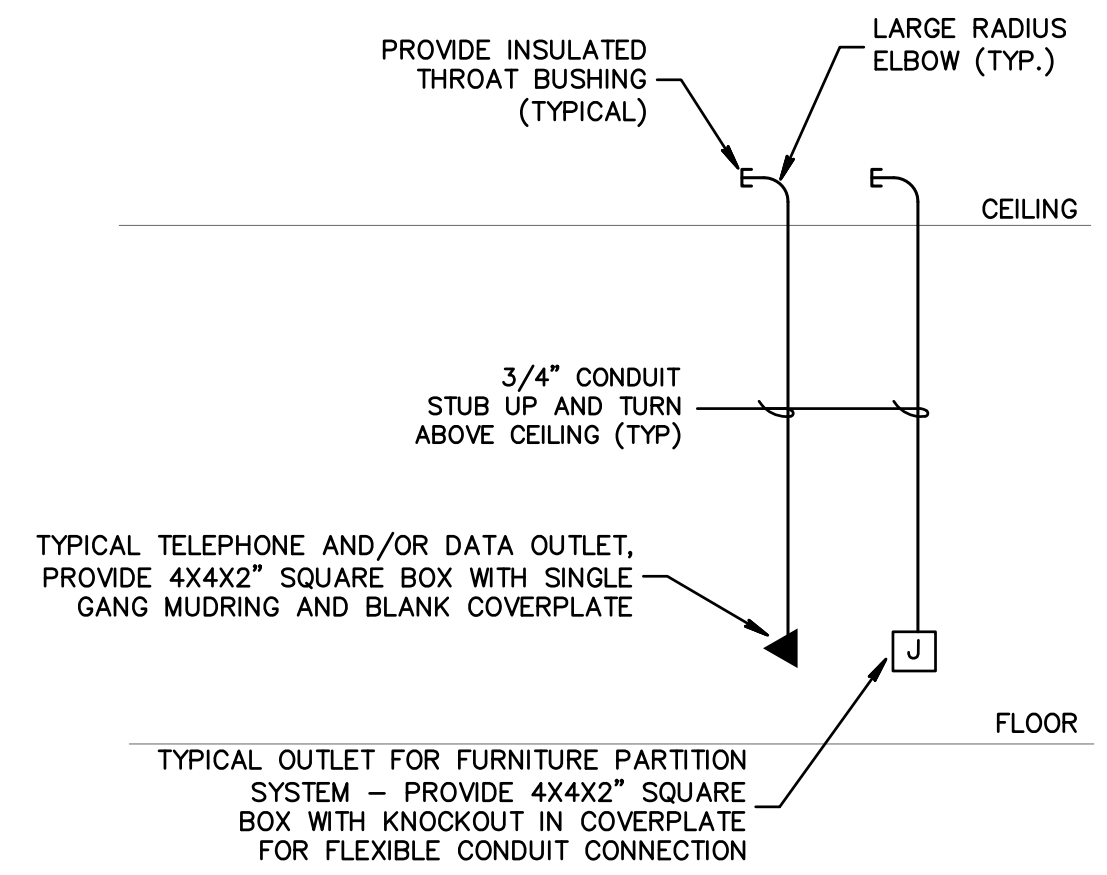
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1229 N. FEDERAL HIGHWAY SUITE 202
LAKE WORTH, FL 33460 C.A.#009075
TEL: (561) 581-1500 FAX: (561) 581-1501
RONALD D. GILMAN P.E. #37553



THESE DRAWINGS PROVIDE AN EMPTY RACEWAY AND OUTLET SYSTEM FOR FUTURE USE BY THE TENANT. THERE IS NO WIRING INCLUDED. ANY SUCH WIRING IS TO BE PROVIDED UNDER SEPARATE PERMIT.

ALL EMPTY RACEWAYS ARE TO BE CLEANED, AND A PULL STRING INSTALLED. PROVIDE A TEMPORARY GAP FOR ALL CONDUITS WHICH ORIGINATE FROM EXTERIOR OF THE BUILDING.



TELEPHONE/DATA OUTLET DETAIL
NO SCALE

OCCUPANCY SENSOR LEGEND (HUBBELL)

- LHMTS1 WALL BOX
- ⊙→ S OMNI-US1000
- ⊙→ S OMNI-US2000
- ⊙→ D OMNI-DT1000
- ⊙→ D OMNI-DT2000

ALL OCCUPANCY SENSORS ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. PROVIDE POWER PACKS, RELAYS, AND ANY OTHER ACCESSORIES AS REQUIRED FOR A COMPLETE AND OPERATION SYSTEM AS SHOWN, INCLUDING CONTROL OF MULTIPLE CIRCUITS AND 120 OR 277 VOLT SYSTEMS WHERE INDICATED.

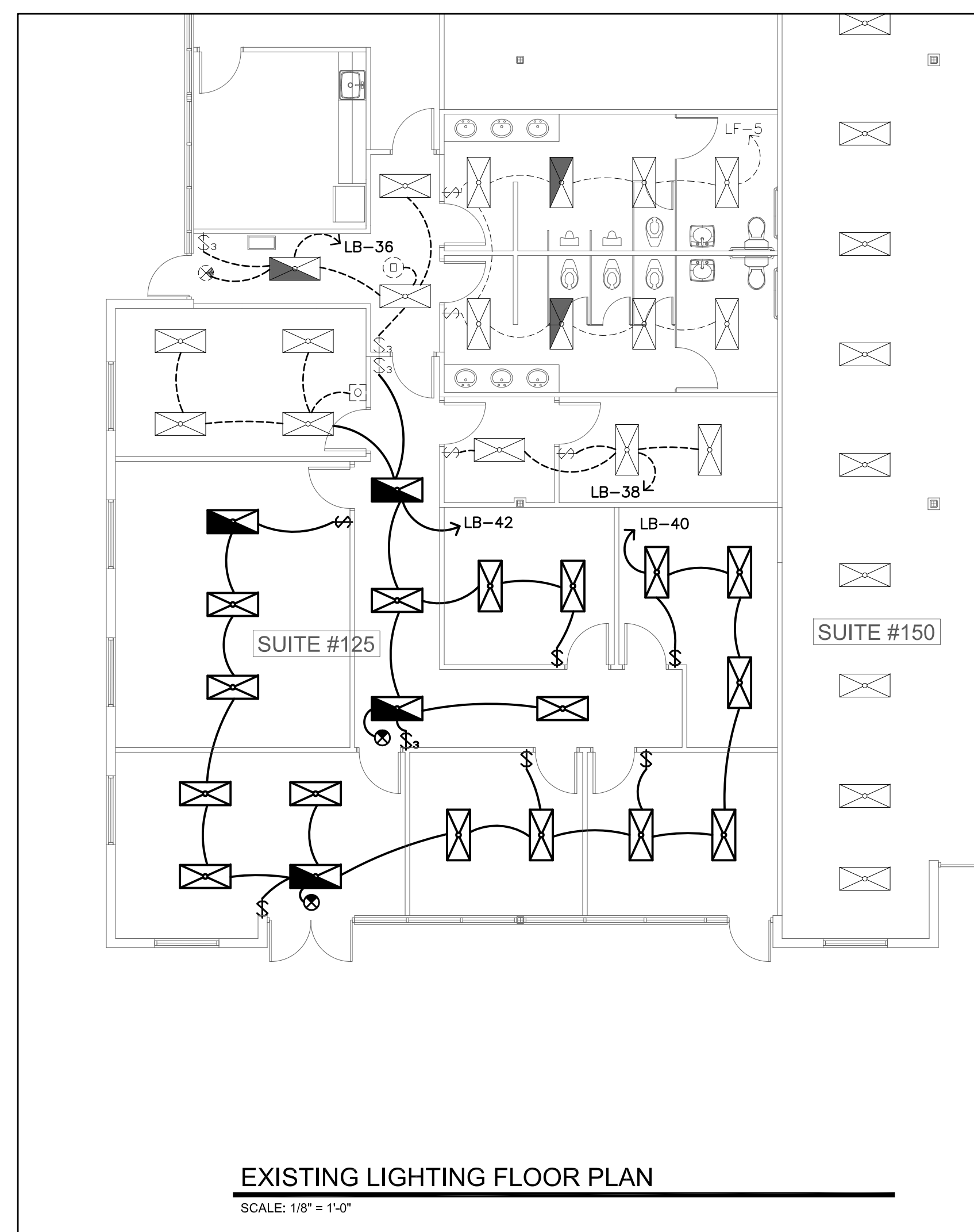
OCCUPANCY SENSORS SHALL TURN OFF THE SPACE LIGHTING WITHIN 30 MINUTES OF AN OCCUPANT LEAVING THE SPACE, IN ACCORDANCE WITH FBC 13-415.AB.1.1

THE CONTRACTOR IS RESPONSIBLE TO SET ALL OCCUPANCY SENSORS TO THE MAXIMUM ALLOWABLE DURATION

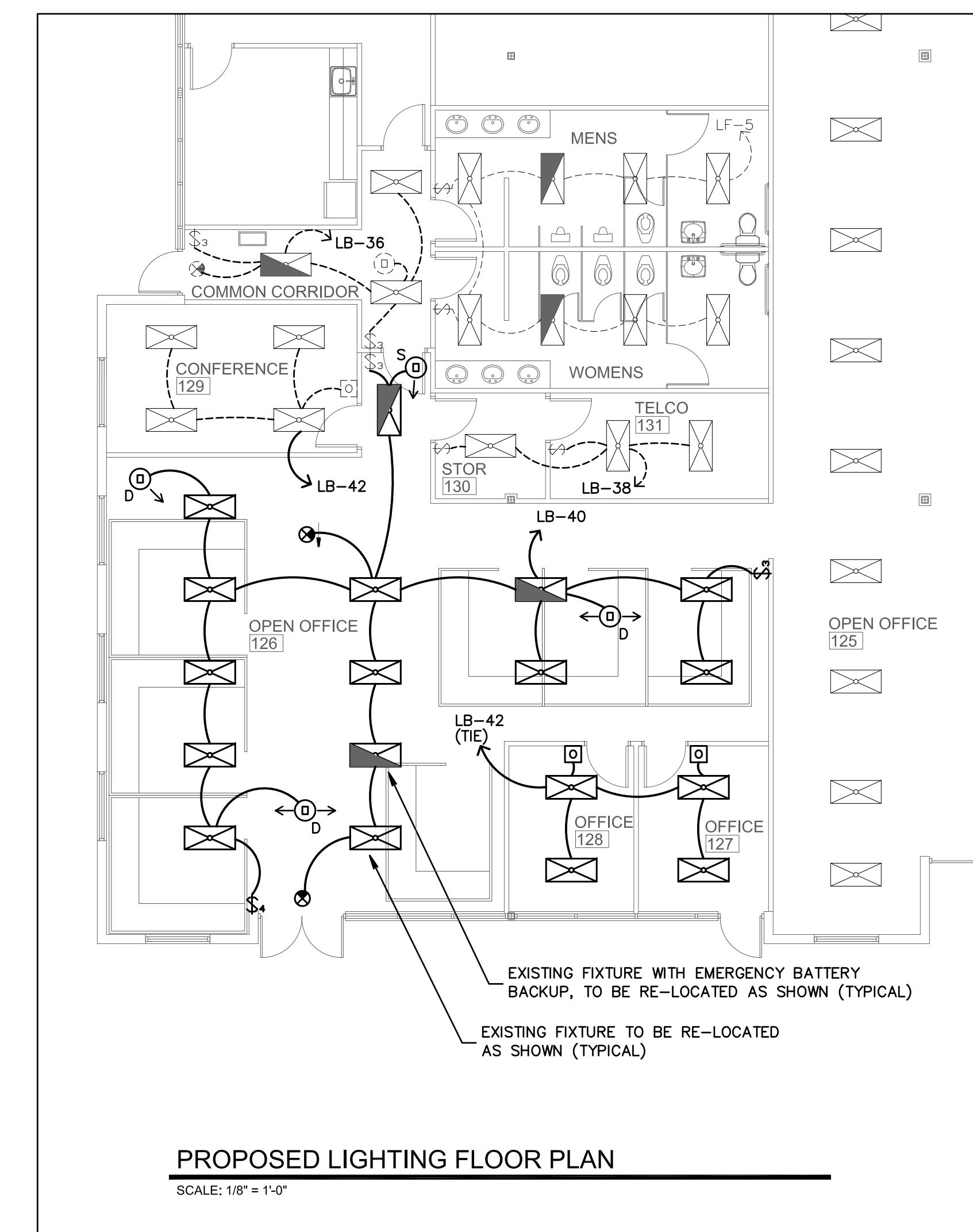
LIGHTING POWER COMPLIANCE
(PER TABLE 13-415.2.B, FBC CHAPTER 13)

SPACE TYPE	TOTAL AREA (SQ.FT.)	ALLOWANCE PER SQ.FT.	SUB-TOTAL ALLOWANCE	DESIGN
OFFICE	1,550	1.1	1,705	1,564
CORRIDOR	40	0.5	20	92
TOTALS			1,725	1,656

(ABOVE REFLECTS MODIFIED AREAS ONLY)



EXISTING LIGHTING FLOOR PLAN
SCALE: 1/8" = 1'-0"



PROPOSED LIGHTING FLOOR PLAN
SCALE: 1/8" = 1'-0"

PROJ. # 10-007
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RONALD D. GILMAN P.E. #37385

REVISIONS

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03/17/11

E-2

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SUITE #125
WEST PALM BEACH, FL 33401
PROJECT NUMBER 23013

birse design inc.
6300 woodland lakes drive
palm beach gardens, fl 33418
phone: 561-946-4001
fax: 561-722-0686
AA26001615

Bd

EXISTING PANEL

TYPE: SQ. D NQDD										MAIN BUS: 225 AMP															
SERVICE: 120/208, 3Ø, 4W										NEUTRAL: FULL															
MOUNTING: SURFACE										MAINS: LUGS ONLY															
POLES: 42										A.I.C. 10K															
DEM. KVA	OTHER KVA	TRIP POLE	CON-DUIT	WIRE	REMARKS	CKT. NO.	CKT. NO.	REMARKS	WIRE	CON-DUIT	TRIP POLE	OTHER KVA	DEM. KVA												
		20-1			SPARE	1	2	SPARE			20-1														
		20-1				3	4				20-1														
		20-1				5	6				20-1														
		20-1				7	8				20-1														
		20-1				9	10				20-1														
		20-1				11	12				20-1														
		20-1				13	14				20-1														
		20-1				15	16				20-1														
		20-1				17	18				20-1														
		20-1				19	20				20-1														
		20-1				21	22				20-1														
		20-1				23	24				20-1														
		20-1				25	26				20-1														
		20-2				27	28				20-1														
		20-2				29	30				20-1														
	0.5	20-1			ROOF RECEPTACLES	31	32				20-1														
	0.5	20-1			DRINKING FOUNTAIN	33	34	PARTITION RECEPTACLES	12	1/2	20-1	0.9													
	0.7	20-1	1/2	12	RECEPTACLES 126,129,130	35	36	PARTITION RECEPTACLES	12	1/2	20-1	0.9													
	0.4	20-1	1/2	12	RECEPTACLES RM. 129	37	38	PARTITION RECEPTACLES	12	1/2	20-1	0.9													
	0.2	20-1	1/2	12	RECEPTACLE ROOM 126	39	40	RECEPTACLE			20-1	0.2													
	2.3	20-1			SPARE	41	42	TELEPHONE BOARD RECEPT.			20-1	0.4													
TOTAL DEMAND LOAD: 5.6 KVA = 16 AMPS																									
ISOLATED AND NON-ISOLATED GROUND BUS													FEED-THRU LUGS												

EXISTING PANEL

TYPE: SQ. D NQDD										MAIN BUS: 225 AMP															
SERVICE: 120/208, 3Ø, 4W										NEUTRAL: FULL															
MOUNTING: SURFACE										MAINS: LUGS ONLY															
POLES: 42										A.I.C. 10K															
DEM. KVA	OTHER KVA	TRIP POLE	CON-DUIT	WIRE	REMARKS	CKT. NO.	CKT. NO.	REMARKS	WIRE	CON-DUIT	TRIP POLE	OTHER KVA	DEM. KVA												
	6.6	50-2			AHU-1	1	2	CU-1			30-2														
						3	4																		
		60-2			SPARE	5	6	SPARE			50-2														
						7	8																		
	12.4	80-2			AHU-3	9	10	CU-3			60-2	(6.3)													
						11	12																		
		50-2			SPARE	13	14	SPARE			30-2														
						15	16																		
		50-2			SPARE	17	18	SPARE			30-2														
						19	20																		
		60-2			SPARE	21	22	SPARE			50-2														
						23	24																		
					SPARE	25	26	SPARE			20-2														
						27	28																		
	5.6	50-3	3/4	8	PANEL LA	29	30	SPARE			60-2														
						31	32																		
	0.4	20-1	1/2	12	RECEPTACLES RMS. 126,127	33	34	SIGN CIRCUIT			20-1	1.2													
	0.5	20-1	1/2	12	RECEPTACLES RMS. 127,128	35	36	LIGHTING			20-1	0.3													
					SPARE	37	38	LIGHTING			20-1	0.3													
					SPARE	39	40	LIGHTING ROOM 126	12	1/2	20-1	1.2													
					SPARE	41	42	LIGHTING RMS. 127,1128,129	12	1/2	20-1	0.8													
TOTAL DEMAND LOAD: 30.5 KVA = 85 AMPS																									
LIGHTING: 4.0 X 1.25 = 5.0 KVA																									
NO-DEMAND LOAD: 25.5 KVA																									

PANEL SCHEDULE KEYNOTES

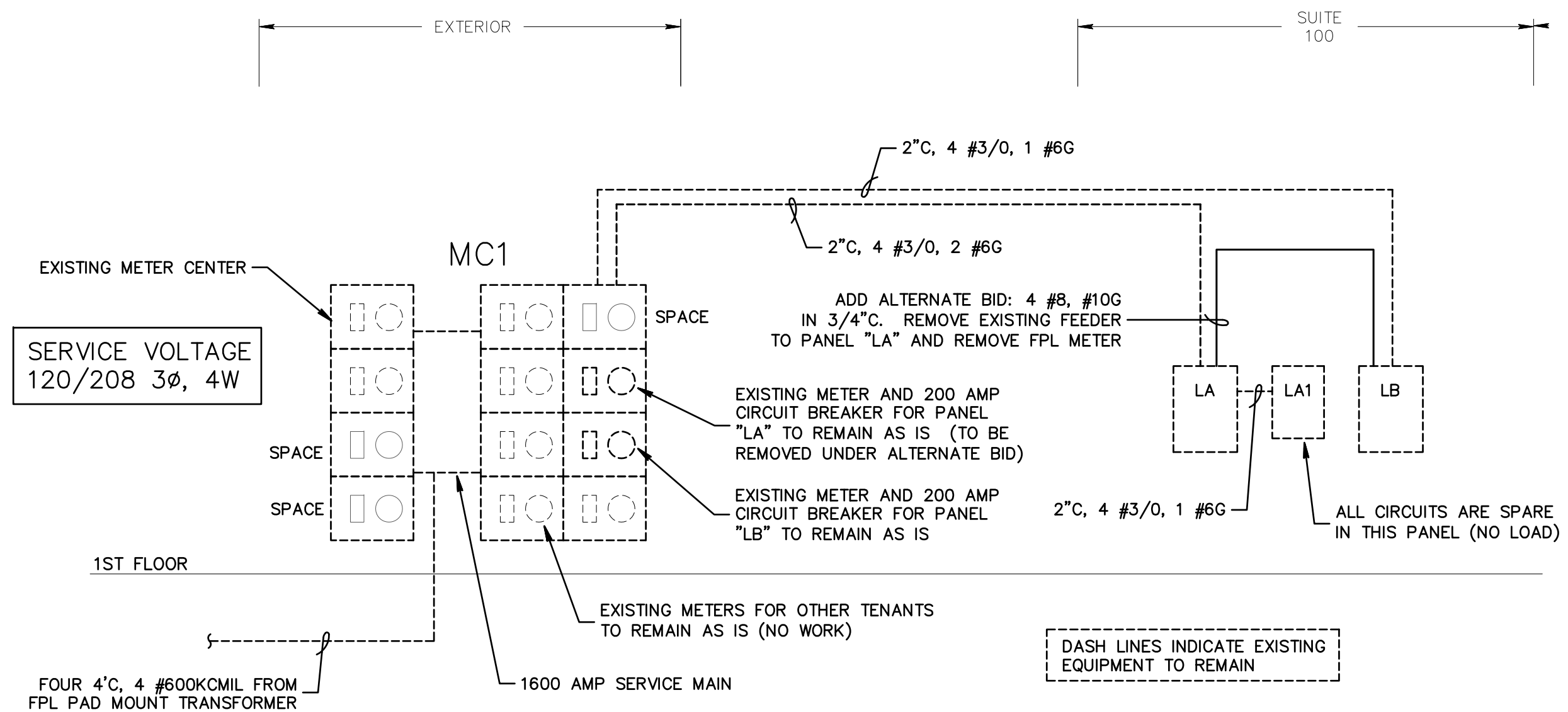
- EXISTING CIRCUIT TO REMAIN AS IS.
- EXISTING CIRCUIT TO BE REMOVED.
- EXISTING CIRCUIT TO BE MODIFIED AS SHOWN ON FLOOR PLAN.
- CONDENSING UNIT IS NON-COINCIDENT WITH AHU HEAT STRIP.
- NEW CIRCUIT CONNECTED TO EXISTING SPARE CIRCUIT BREAKER. PROVIDE ISOLATED GROUND WIRE.
- ADD-ALTERNATE BID ONLY. PROVIDE NEW CIRCUIT BREAKER, MATCH EXISTING BREAKERS. SEE RISER DIAGRAM

ELECTRICAL NOTES

- DO NOT SCALE THE ELECTRICAL DRAWINGS. REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT. CONFIRM WITH OWNERS REPRESENTATIVE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE NFPA-70 (2008), THE LIFE SAFETY CODE NFPA-101 (2006), THE NATIONAL FIRE ALARM CODE NFPA-72 (2002), AND THE FLORIDA BUILDING CODE (FBC 2007 WITH 2009 SUPPLEMENTS).
- MINIMUM WIRE SIZE SHALL BE #12 A.W.G., EXCLUDING CONTROL WIRING. UNLESS OTHERWISE NOTED ALL CONDUCTORS SHALL BE COPPER WITH THWN INSULATION.
- OUTLET BOXES SHALL BE SHEET STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET OR DAMP LOCATIONS AND SPECIAL ENCLOSURES AS REQUIRED FOR OTHER CLASSIFIED AREAS.
- DISCONNECT SWITCHES SHALL BE HP. RATED, HEAVY DUTY, QUICK-MAKE, QUICK-BREAK ENCLOSURES AS REQUIRED BY EXPOSURE.
- MOTOR STARTERS SHALL BE MANUAL OR MAGNETIC, WITH OVERLOAD RELAYS IN EACH HOT LEG.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
- ELECTRICAL SYSTEM SHALL BE COMPLETE AND EFFECTIVELY GROUNDED AS REQUIRED BY THE LATEST EDITION OF THE N.E.C.
- ALL MATERIALS SHALL BE NEW AND BEAR UNDERWRITERS' LABELS WHERE APPLICABLE.
- ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE, AND ACCEPTED BY ENGINEER/ARCHITECT.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE.
- CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
- CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS, AND TESTING.
- THE ELECTRICAL INSTALLATION SHALL MEET ALL STANDARD REQUIREMENTS OF POWER AND TELEPHONE COMPANIES.
- FURNISH AND INSTALL DISCONNECT SWITCHES AND WIRING FOR AIR CONDITIONING SYSTEM AS PER MANUFACTURERS' RECOMMENDATIONS. CONTROLS ARE TO BE SUPPLIED BY AIR CONDITIONING CONTRACTOR AND CONNECTED BY ELECTRICAL CONTRACTOR.
- ALL RACEWAYS UNDERGROUND SHALL BE A MINIMUM OF 3/4" CONDUIT.
- ALL CIRCUIT BREAKERS, TWO AND THREE POLE, TO BE COMMON TRIP. NO TIE HANDLES, OR TANDEMS WILL BE ACCEPTED.
- ALL FUSES, UNLESS NOTED ON DRAWING, SHALL BE CURRENT LIMITING (C.L.) RATED FOR 200,000 A.I.C.
- ALL ELECTRICAL EQUIPMENT, DEVICES, WIRE, ETC., SHALL BE LISTED, FOR THE INTENDED USE, WITH UNDERWRITER'S LABORATORIES, INC. (UL), WHERE STANDARDS HAVE BEEN ESTABLISHED BY UL.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN, ON SITE, A DETAILED AS-BUILT PLAN SHOWING ACTUAL INSTALLATIONS. THE CONTRACTOR IS TO PROVIDE A NEATLY DRAWN COMPREHENSIVE AS-BUILT SET OF PLANS UPON COMPLETION, WHICH ARE SUITABLE FOR SUBMISSION TO THE BUILDING DEPARTMENT AND THE OWNER.
- ALL WIRING IS TO BE IN CONDUIT. METAL CLAD CABLES MAY BE USED FOR 30 AMP AND SMALLER BRANCH CIRCUITS EXCEPT HOMERUNS.

ELECTRICAL LEGEND

- LIGHTING FIXTURE IDENTIFICATION
- RECTANGULAR LIGHTING FIXTURE - AS NOTED
- RECTANGULAR LIGHTING FIXTURE - EXISTING AS NOTED
- ROUND LIGHTING FIXTURE
- DIRECTIONAL LIGHTING FIXTURE
- WALL MOUNTED LIGHTING FIXTURE
- LINEAR STRIP LIGHTING FIXTURE
- EXIT LIGHT WITH EMERGENCY BATTERY BACKUP
- EMERGENCY LIGHTING FIXTURE WITH BATTERY BACKUP
- RECTANGULAR LIGHTING FIXTURE ON EMERGENCY POWER CIRCUIT.
- ROUND LIGHTING FIXTURE ON EMERGENCY POWER CIRCUIT
- DUPLEX RECEPT - 20 AMP (18" A.F.F.)
- SINGLE RECEPT - 20 AMP (18" A.F.F.)
- DUPLEX RECEPT MOUNTED ABOVE COUNTER - 20 AMP (42" A.F.F.)
- DUPLEX RECEPT FLUSH FLOOR MOUNTED - 20 AMP
- SPECIAL PURPOSE RECEPT (18" A.F.F. - MATCH EQUIPMENT PROVIDED)
- QUAD-PLEX RECEPT - 20 AMP (18" A.F.F.)
- SINGLE POLE TOGGLE SWITCH, 48" AFF
- 3-WAY TOGGLE SWITCH, 48" AFF
- SLIDE TYPE DIMMER SWITCH, WATTAGE AS REQUIRED, 48" AFF
- JUNCTION BOXES
- FUSIBLE DISCONNECT (SWITCH POLES, AMPS/FUSES AS SHOWN)
- MOTOR RATED SWITCH (WITH OVERLOADS)
- ELECTRICAL PANELBOARD
- MOTOR LOAD
- CIRCUIT HOME RUN TO PANELBOARD OR OTHER DEVICE AS INDICATED
- CONDUIT CONCEALED
- EXISTING CIRCUIT AS NOTED
- CAPPED CONDUIT
- TELEVISION OUTLET (18" A.F.F.)
- TELEPHONE/DATA OUTLET (18" A.F.F.)
- TEL/DATA OUTLET FLUSH FLOOR MOUNTED
- EXISTING DUPLEX RECEPTACLE OUTLET BOX TO REMAIN.
- EXISTING TELEPHONE/DATA OUTLET BOX TO REMAIN
- EXISTING DEVICE TO REMAIN, UNLESS NOTED OTHERWISE
- EXISTING DEVICE, RELOCATED AS SHOWN
- EXISTING DEVICE TO BE DEMOLISHED OR RELOCATED



ELECTRICAL RISER DIAGRAM
SCALE: NONE

ELECTRICAL DETAILS

SCALE: NONE

Bd

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PROJECT NUMBER 23013

REVISIONS

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