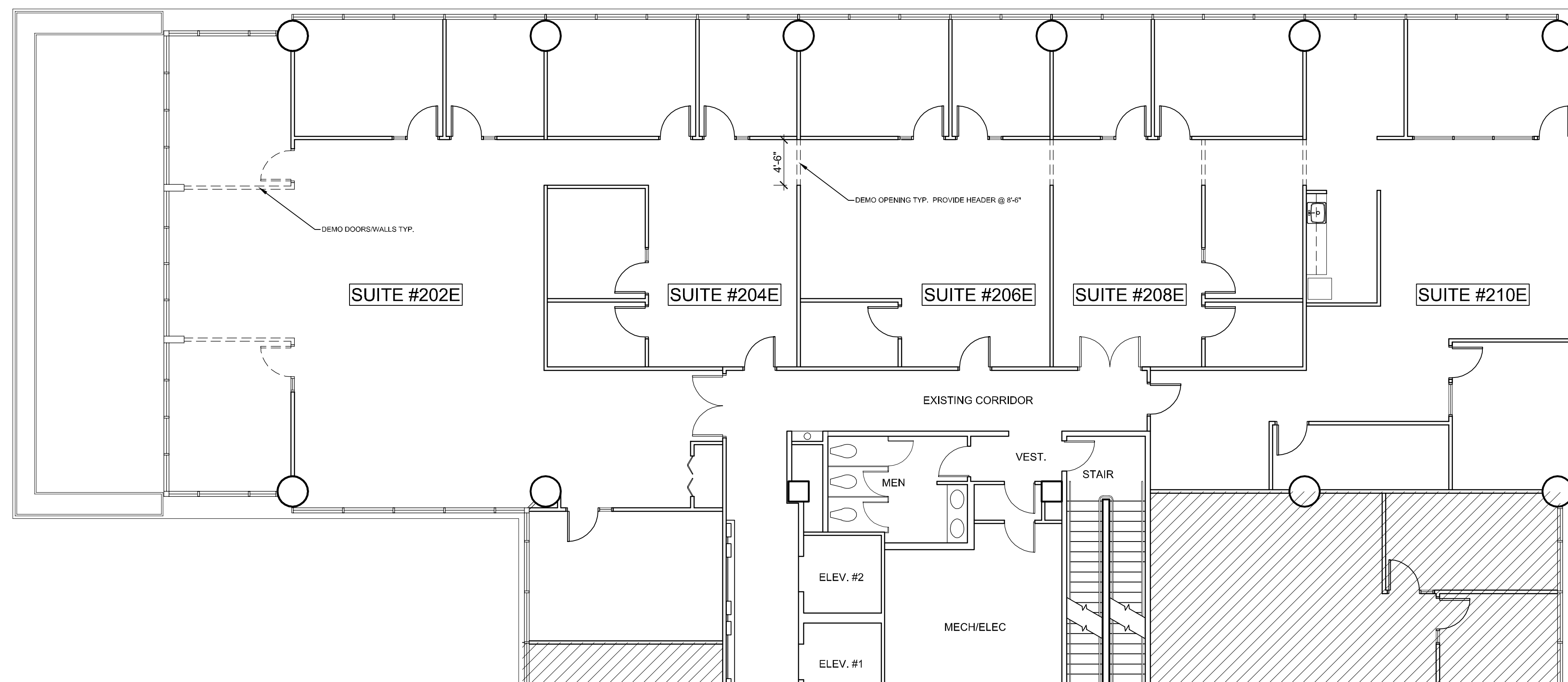


WALL LEGEND	
	EXIST PARTITION
	EXIST 1 HR PARTITION

1 (EXISTING) FLOOR PLAN
1/8" = 1'-0"

2 EXISTING NOTES

1. ALL WALLS/DOORS/WINDOWS ARE EXISTING AS PER EXISTING FLOOR PLAN 1/A-1
2. TOILET ROOMS ARE EXISTING IN COMMON AREA CORRIDOR AS PER FLOOR PLAN 1/A-1
3. DRINKING FOUNTAIN IS EXISTING IN COMMON AREA CORRIDOR AS PER FLOOR PLAN 1/A-1



WALL LEGEND	
	EXIST PARTITION
	EXIST WALLS TO BE DEMO'D

3 (DEMO) FLOOR PLAN
1/8" = 1'-0"

4 DEMO NOTES

1. DEMO WALLS/DOORS AS PER DEMO FLOOR PLAN 3/A-1. STORE ALL DOORS FOR REUSE
 2. REMOVE ALL ELECTRICAL/DATA WIRING FROM DEMO'D WALLS. CAP BACK TO FIRST JUNCTION BOX
 3. REMOVE ALL ELECTRICAL/DATA WIRING FROM DEMO'D CEILINGS. CAP BACK TO FIRST JUNCTION BOX
- STRUCTURES UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL COMPLY WITH NFPA 241
 - ACCUMULATIONS OF COMBUSTIBLE WASTE AND DUST DEBRIS SHALL BE REMOVED FROM THE STRUCTURE AND ITS IMMEDIATE VICINITY AT THE END OF THE SHIFT OR MORE FREQUENTLY AS NECESSARY FOR SAFE OPERATIONS
 - EXIT AND ACCESS CORRIDORS ARE TO BE MAINTAINED AND REMAIN CLEAR AND UNOBSTRUCTED
 - THE MAIN BUILDINGS FIRE PROTECTION SYSTEMS SHALL BE MAINTAINED AND OPERATIONAL AT ALL TIMES

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DRIFTWOOD HOSPITALITY

GOLDEN BEAR PLAZA
11770 US HIGHWAY ONE #202E
PALM BEACH GARDENS, FL 33408
PROJECT NUMBER GBP32

REVISIONS

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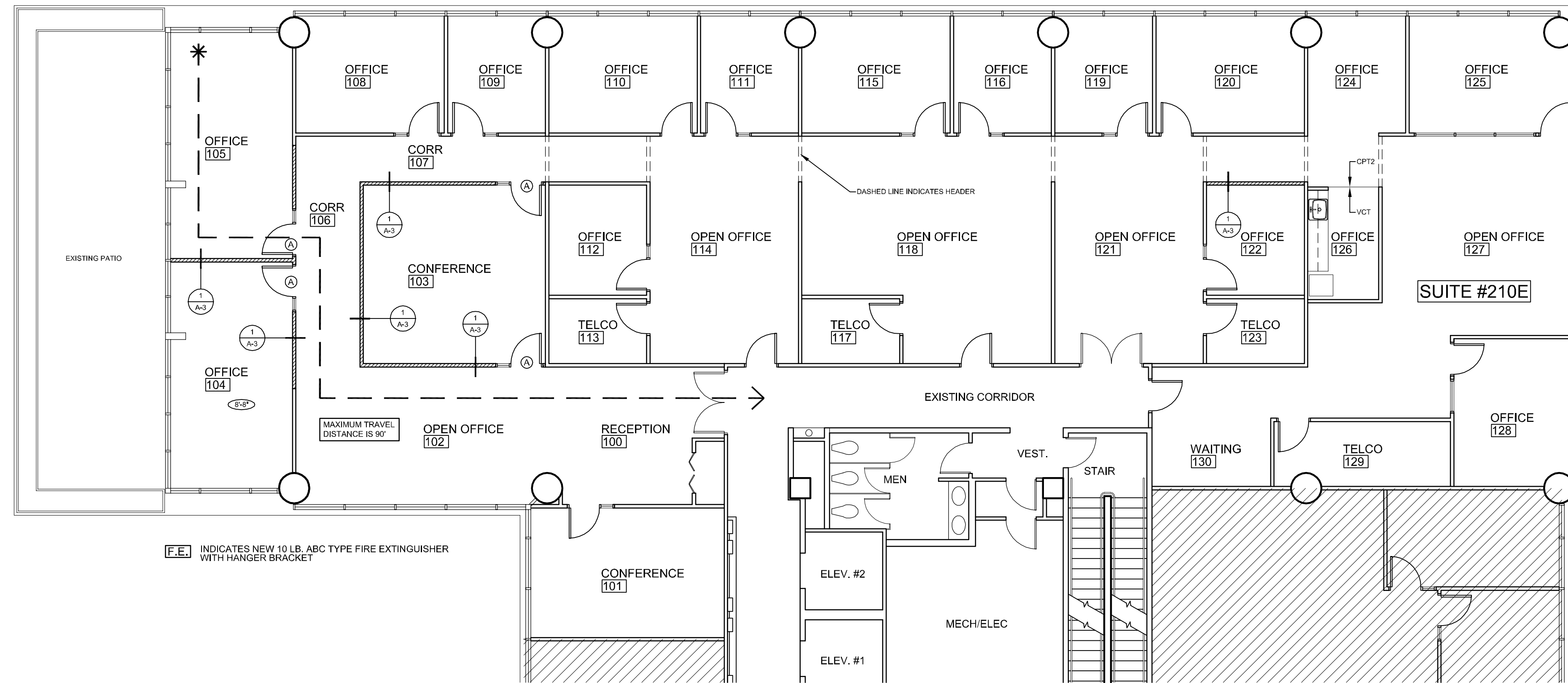
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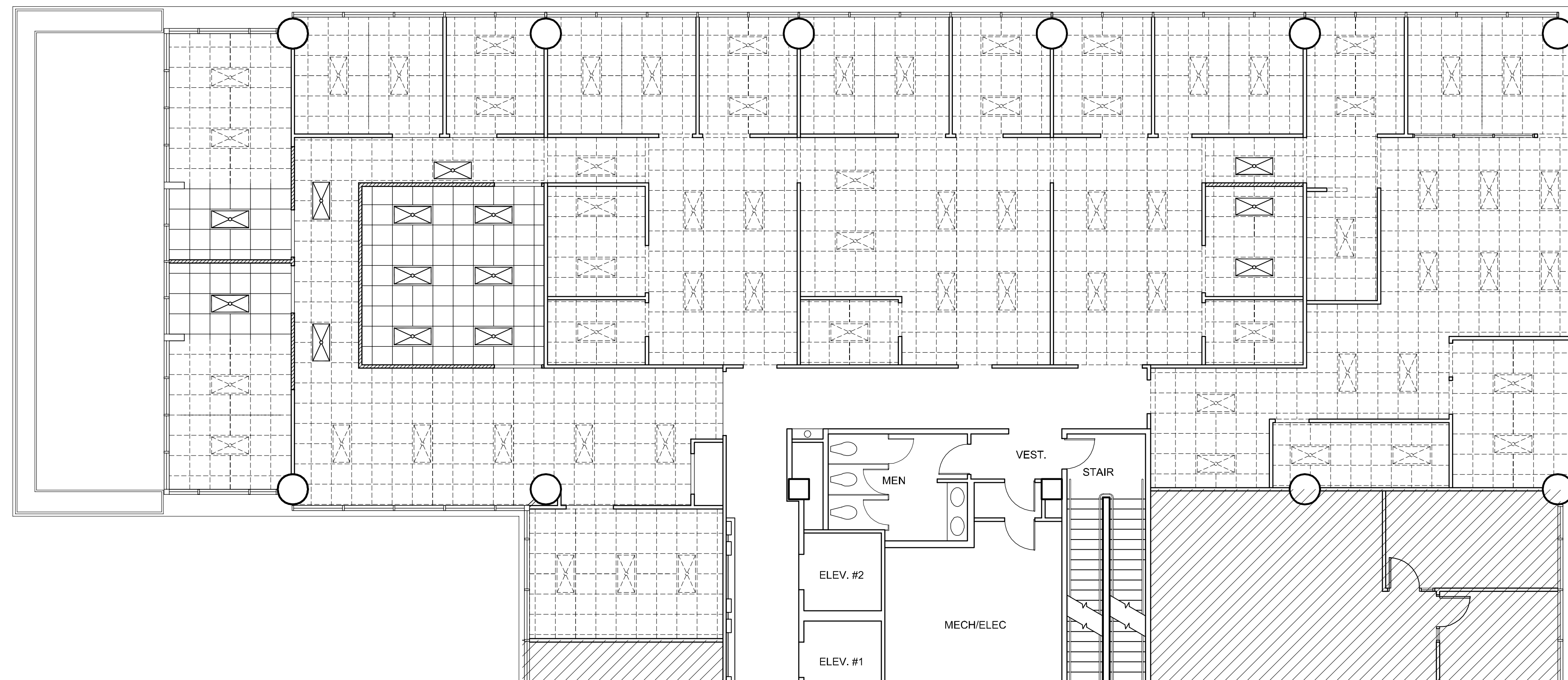


WALL LEGEND

	EXIST PARTITION
	NEW METAL STUD PARTITION

1. PROVIDE NEW PARTITIONS AND NEW DOOR AS INDICATED IN 1A-2
2. ALL NEW PARTITIONS AND DOOR FRAMES TO BE PAINTED
3. PROVIDE NEW FLOORING THROUGHOUT SUITE
4. TOUCH UP ALL EXISTING DOORS AS NECESSARY/PAINT BI-FOLD DOORS IN RECEPTION
5. PROVIDE ALTERNATE PRICING TO PAINT ALL EXISTING WALLS AND DOOR FRAMES

1 (PROPOSED) FLOOR PLAN
1/8" = 1'-0"



WALL LEGEND

	EXIST PARTITION
	NEW METAL STUD PARTITION
	RELOCATED NEW LIGHT
	EXISTING LIGHT TO REMAIN

1. PROVIDE NEW CEILING GRID/LIGHTS AS PER PROPOSED CEILING PLAN 2/A-2
2. EXTEND EXISTING CEILING GRID AS REQUIRED
3. NEW CEILING TILES TO MATCH EXISTING (ACT1)
4. ALL NEW CEILING HEIGHT TO MATCH EXISTING

3 (PROPOSED) CEILING PLAN
1/8" = 1'-0"

4 CEILING NOTES

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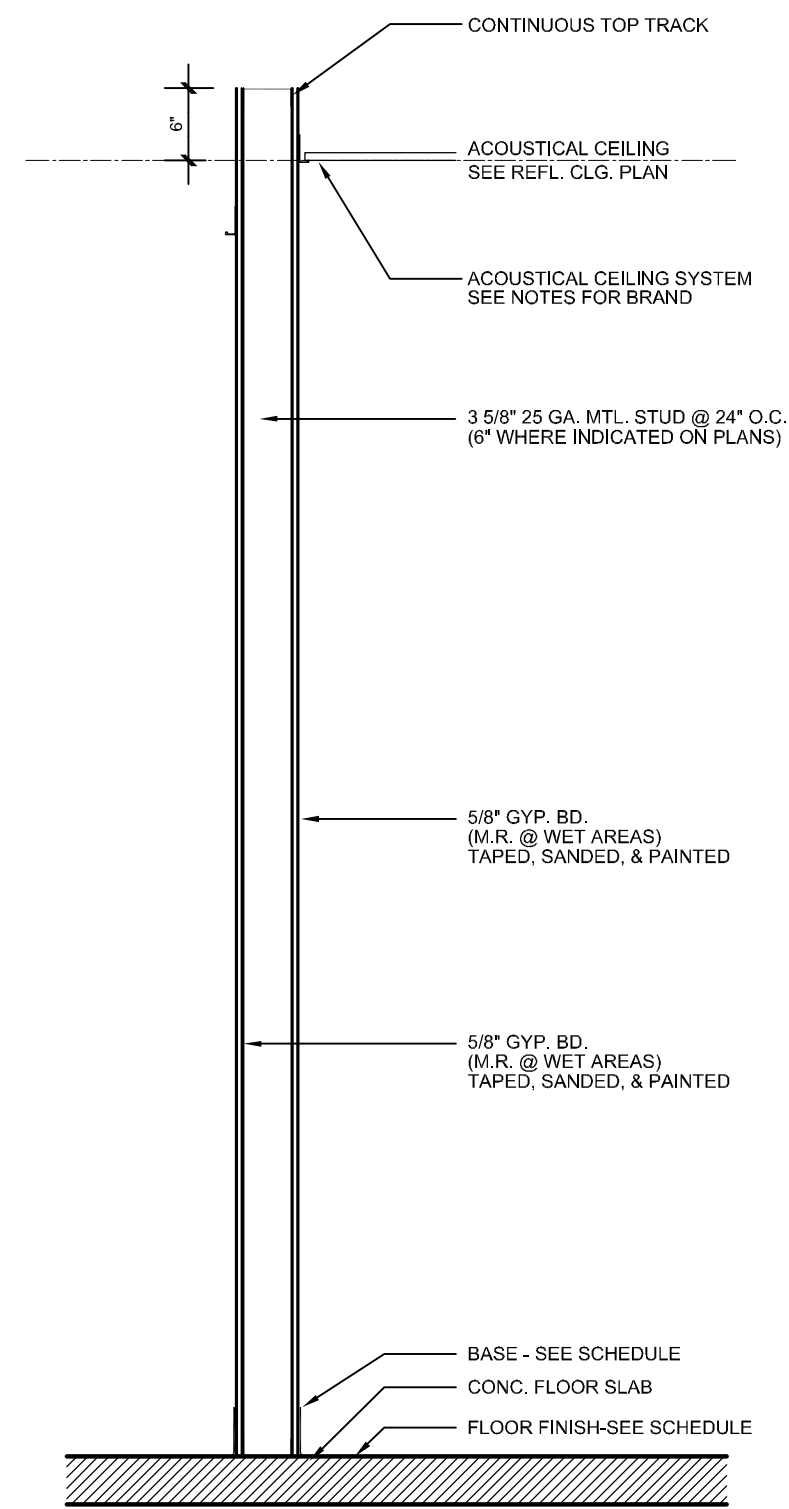
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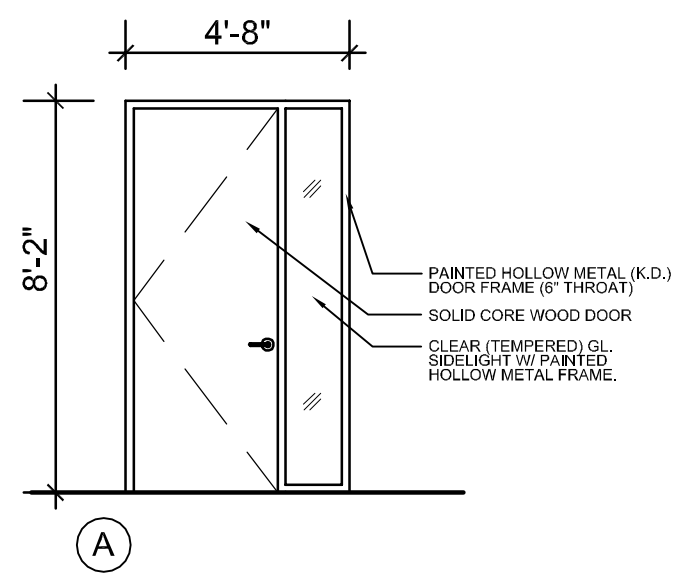
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1 WALL TYPE (INT. PARTITION)

3/4" = 1'-0"



- * NEW DOOR STAIN TO MATCH EXISTING
- * NEW TENANT INTERIOR DOOR HARDWARE TO MATCH EXISTING (REUSE HARDWARE FROM DEMO'D DOORS IF POSSIBLE)
- * ALL EXTERIOR TENANT DOORS TO HAVE 5\"/>
- * ALL DOOR STOPS ARE TO BE FLOOR MOUNTED (NOT WALL MOUNTED)
- * DOOR HARDWARE IS REQUIRED TO COMPLY WITH FBC 11-4.13.9 FOR ACCESSIBILITY

DOOR SCHEDULE

MARK	LABEL	DOOR					FRAME SIZE/MAT.	REMARKS
		MAT	TYPE	SIZE				
				W	H	T		
A		WD	FLUSH	3'0"	8'0"	1-3/4"	2\"/>	

2 DOORS

1/4" = 1'-0"

MK	ROOM NAME	FLOOR	BASE		WALLS		CEILING			REMARKS
		MAT	MAT	HT	MAT	FIN	MAT	FIN	HT	
SUITE #505W										
100	ENTRY	CPT2	VL	4"	GWB	EXISTING				
101	CONFERENCE	CPT1	VL	4"	GWB	EXISTING				
102	OPEN OFFICE	CPT2	VL	4"	GWB	EXISTING				
103	CONFERENCE	CPT1	VL	4"	GWB	PT	ACT1		MATCH	
104	OFFICE	CPT1	VL	4"	GWB	PT	ACT1		MATCH	
105	OFFICE	CPT1	VL	4"	GWB	PT	ACT1		MATCH	
106	CORRIDOR	CPT2	VL	4"	GWB	PT	EXISTING			
107	CORRIDOR	CPT2	VL	4"	GWB	PT	EXISTING			
108	OFFICE	CPT1	VL	4"	GWB	EXISTING				
109	OFFICE	CPT1	VL	4"	GWB	EXISTING				
110	OFFICE	CPT1	VL	4"	GWB	EXISTING				
111	OFFICE	CPT1	VL	4"	GWB	EXISTING				
112	OFFICE	CPT1	VL	4"	GWB	EXISTING				
113	TELCO	VCT	VL	4"	GWB	EXISTING				
114	OPEN OFFICE	CPT2	VL	4"	GWB	EXISTING				
115	OFFICE	CPT1	VL	4"	GWB	EXISTING				
116	OFFICE	CPT1	VL	4"	GWB	EXISTING				
117	TELCO	VCT	VL	4"	GWB	EXISTING				
118	OPEN OFFICE	CPT2	VL	4"	GWB	EXISTING				
119	OFFICE	CPT1	VL	4"	GWB	EXISTING				
120	OFFICE	CPT1	VL	4"	GWB	EXISTING				
121	OPEN OFFICE	CPT2	VL	4"	GWB	EXISTING				
122	OFFICE	CPT1	VL	4"	GWB	PT	EXISTING			
123	TELCO	VCT	VL	4"	GWB	EXISTING				
124	OFFICE	CPT2	VL	4"	GWB	EXISTING				
125	OFFICE	CPT1	VL	4"	GWB	EXISTING				
126	BREAK	VCT	VL	4"	GWB	EXISTING				
127	OPEN OFFICE	CPT2	VL	4"	GWB	EXISTING				
128	OFFICE	CPT1	VL	4"	GWB	EXISTING				
129	TELCO	VCT	VL	4"	GWB	EXISTING				
130	WAITING	CPT2	VL	4"	GWB	EXISTING				

- * ALL INTERIOR WALL AND CEILING FINISHES TO HAVE A MIN CLASS "C" FLAME SPREAD CLASSIFICATION
- * ALL INTERIOR FLOOR FINISH SHALL BE NOT LESS THAN CLASS II
- * SAMPLES ARE REQUIRED TO BE APPROVED PRIOR TO ORDERING / TENANT TO APPROVE FINISH SCHEDULE

CARPET (CPT1) FIRST CHOICE MANUFACTURER: PATCRAFT COLOR: #1009 TAUPE #00760	CARPET (CPT2) FIRST CHOICE MANUFACTURER: PATCRAFT COLOR: #10148, IMMORTAL CAL #48500	VINYL COMPOSITION TILE (VCT) MANUFACTURER: ARMSTRONG COLOR: SMOKEY BROWN, #51868
CARPET (CPT1) ALTERNATIVE CHOICE MANUFACTURER: PATCRAFT COLOR: ARTISTE #78379, CYLINDER BLOCK #00556	CARPET (CPT2) ALTERNATIVE CHOICE MANUFACTURER: PATCRAFT COLOR: BREAK LOOSE #26408, UNLEASHED #51868	VINYL BASE (VL) MANUFACTURER: JOHNSONITE COLOR: BURNT UMBER #RWDC-63

* PROVIDE 2'x2' CARPET SAMPLES FOR TENANT APPROVAL

3 FINISH SCHEDULE

* NEW DOOR FRAME COLOR TO MATCH EXISTING DOOR FRAMES

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DRIFTWOOD HOSPITALITY

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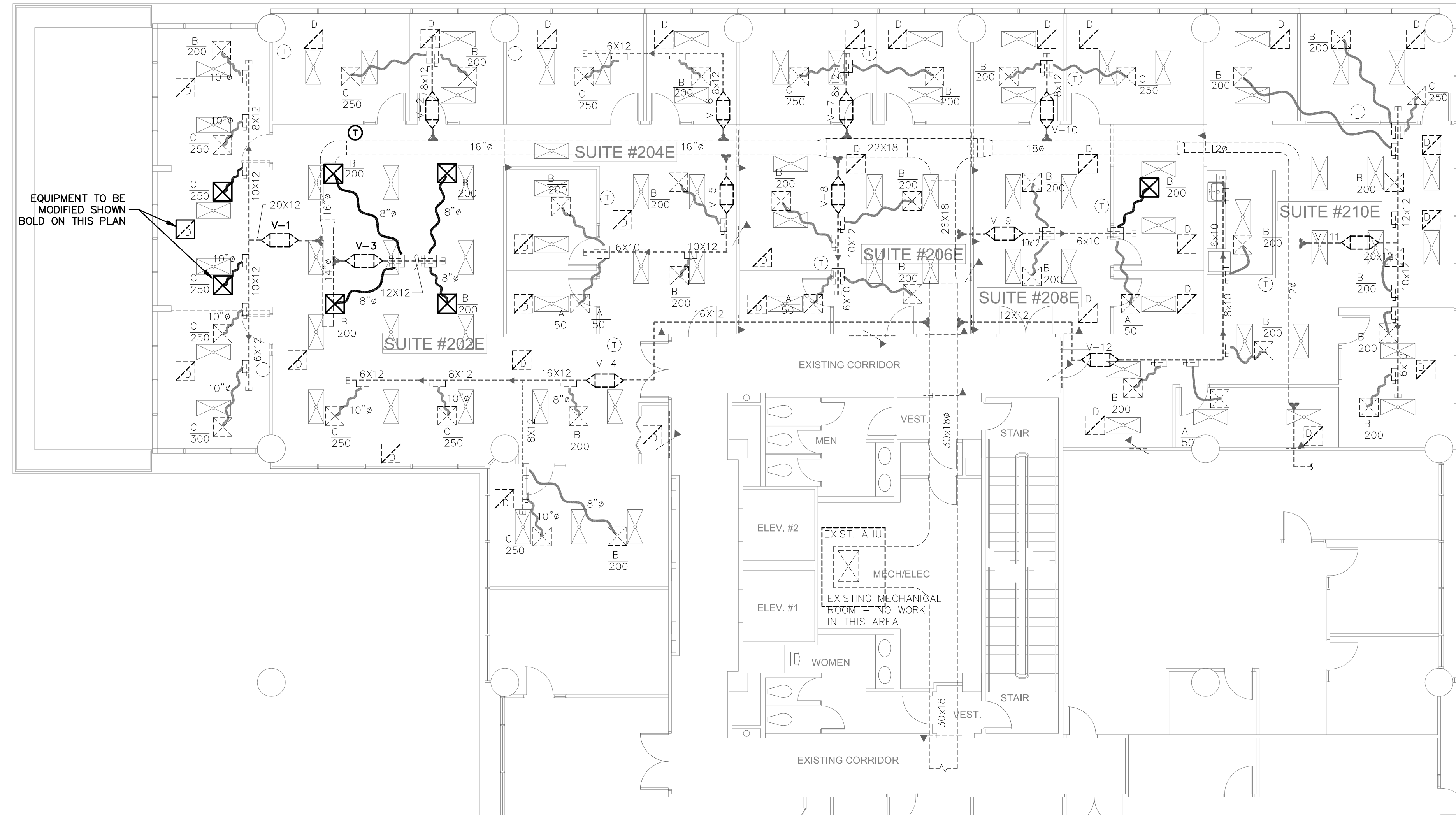
MECHANICAL GENERAL NOTES:

1. THESE DRAWINGS ARE DIAGRAMMATIC. ALL OFFSETS, FITTINGS, TRANSITIONS AND ACCESSORIES ARE NOT SHOWN. THE CONTRACTOR SHALL INCLUDE IN HIS BID ALL ITEMS REQUIRED TO PROVIDE A COMPLETE AND OPERATIONAL SYSTEM. DO NOT SCALE DRAWINGS FOR INSTALLATION.
2. ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER BY LICENSED CONTRACTORS.
3. THE CONTRACTOR SHALL OBTAIN AT HIS EXPENSE ALL NECESSARY FEES PERMITS, AND TESTS.
4. ALL WORK SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES. NO CONTRACTOR SHALL BID UNLESS FAMILIAR WITH THESE CODES.
5. CORRECTION OF DEFECTS TO THIS WORK SHALL BE MADE PROMPTLY WITHOUT CHARGE TO THE OWNER. REPAIR AND REPLACEMENT FOR DAMAGE CAUSED BY THIS CONTRACTOR SHALL BE MADE PROMPTLY WITHOUT CHARGE TO THE OWNER.
6. ALL WORK OF THIS TRADE SHALL BE COORDINATED WITH ALL OTHER TRADES TO AVOID ANY INTERFERENCES THAT MAY DELAY PROGRESS OF CONSTRUCTION.
7. THE CONTRACTOR SHALL INCLUDE THE WORK OF ALL REQUIRED SUB-CONTRACTORS, SUCH AS ELECTRICAL, INSULATING, TEST & BALANCE, ETC., AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM.
8. EQUIPMENT SHALL BEAR A U.L. OR OTHER RECOGNIZED LABEL, NAMEPLATES, WIRING DIAGRAMS, AND ENERGY RATINGS AS APPLICABLE.
9. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND ACCESSORIES TO BE READILY ACCESSIBLE FOR SERVICING, TESTING, BALANCING, AND REPLACEMENT.
10. COORDINATE LOCATION OF CEILING DIFFUSERS, GRILLES AND REGISTERS IN THE FIELD WITH LIGHTS AND ARCHITECTURAL ELEMENTS.
11. FLEXIBLE DUCT, WHERE SHOWN, SHALL BE U.L. CLASS 1, R-6 INSULATION.
12. VERIFY ALL THERMOSTAT LOCATIONS WITH THE LANDLORD.

HVAC PROJECT SPECIFIC NOTES

CONTRACTOR IS TO INSPECT ALL EXISTING DUCTWORK SHOWN ON THESE PLANS AS REMAINING. REPAIR AS REQUIRED ANY DAMAGED DUCTWORK OR INSULATION. WHERE DUCTWORK IS SHOWN TO BE PARTIALLY REMOVED, CAP, SEAL, AND INSULATE TO MATCH EXISTING METHODS AND MATERIALS.

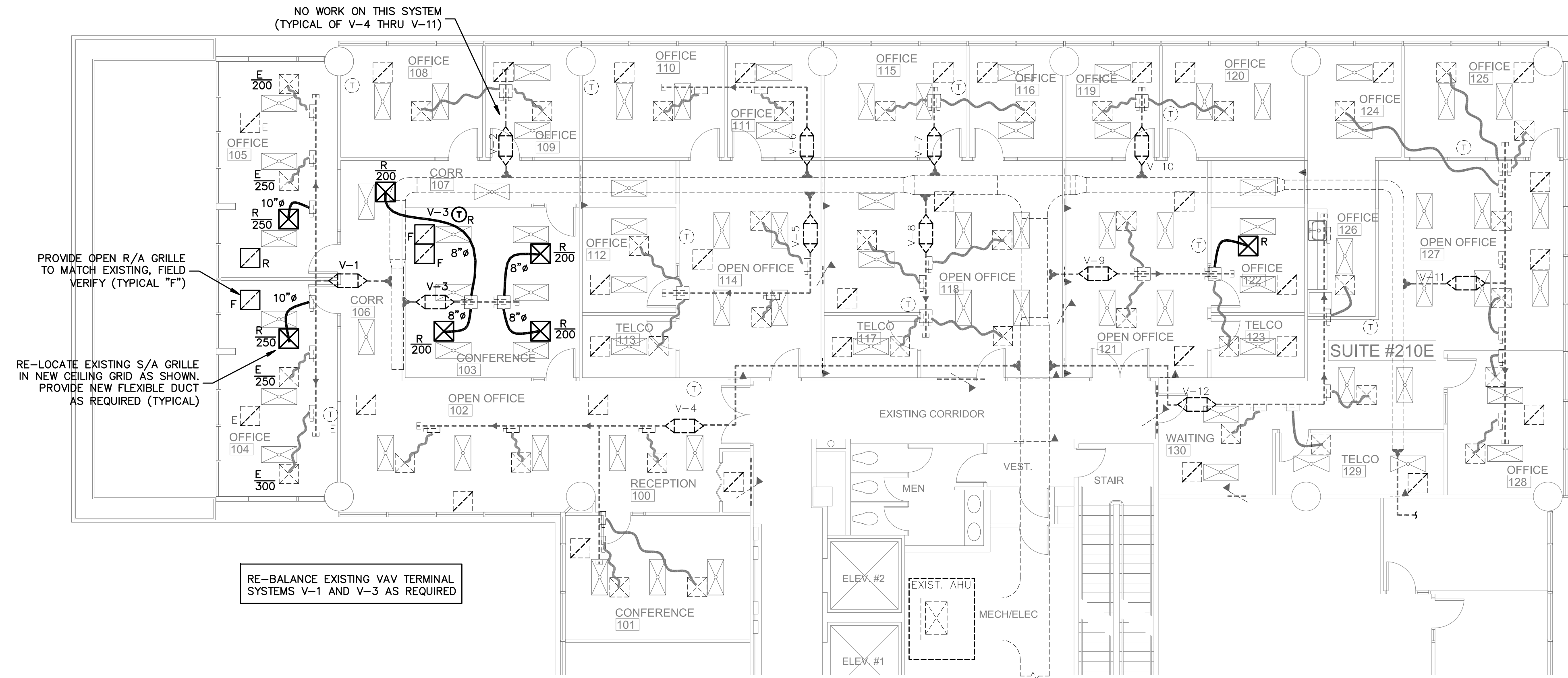
EXISTING VAV UNITS WHICH ARE REMAINING ARE TO BE INSPECTED, ADJUSTED AND REPAIRED WHERE NECESSARY.



HVAC FLOOR PLAN - EXISTING
SCALE: 1/8" = 1'-0"

ABBREVIATIONS	
VAV	VARIABLE AIR VOLUME
S/A	SUPPLY AIR
R/A	RETURN AIR
O/A	OUTSIDE AIR
E/A	EXHAUST AIR
CFM	CUBIC FEET PER MINUTE.
MVD	MANUAL VOLUME DAMPER (OPPOSED BLADE TYPE).
FD	FIRE DAMPER
E	EXISTING TO REMAIN
R	RE-LOCATED EXISTING EQUIPMENT

SYMBOL LEGEND	
	EQUIPMENT TO REMAIN
	EQUIPMENT AS NOTED
	SUPPLY AIR DIFFUSER TO REMAIN
	RETURN/TRANSFER GRILLE TO REMAIN
	SUPPLY AIR DIFFUSER AS NOTED
	RETURN/TRANSFER GRILLE AS NOTED
	DUCTWORK AS NOTED
	EXISTING DUCTWORK TO REMAIN
	OVERTIME A/C KEYPAD
	TYPE B FIRE DAMPER W/ACCESS DOOR.
	MANUAL VOLUME DAMPER
	THERMOSTAT TO REMAIN
	THERMOSTAT AS NOTED
	FLEXIBLE DUCT, U.L. CLASS 1
	DUCT TRANSITION
	CONNECTION TO EXISTING EQUIPMENT



HVAC FLOOR PLAN - PROPOSED
SCALE: 1/8" = 1'-0"

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GOLDEN BEAR PLAZA
11770 US HIGHWAY ONE #202E
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PROJECT NUMBER GBP28

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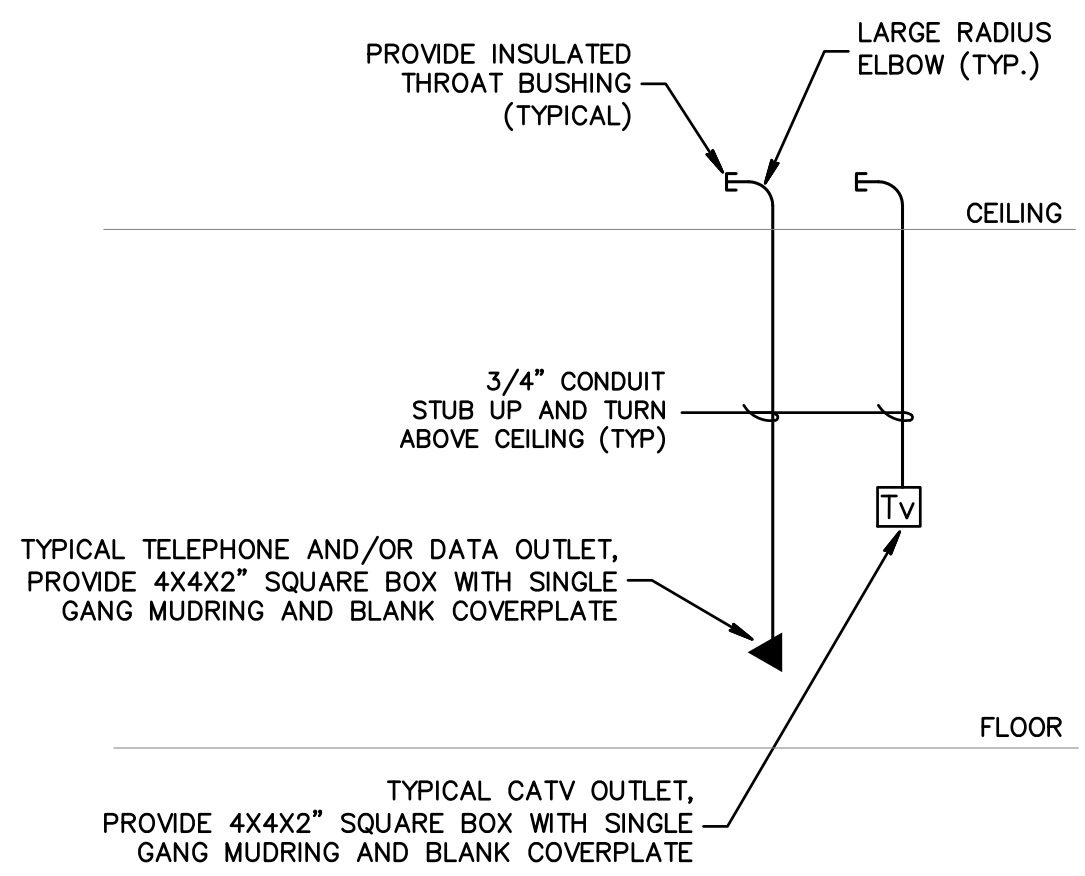
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PROJ. # 11-008
Gilman & Associates, Inc.
MECHANICAL & ELECTRICAL ENGINEERS
1250 N. FEDERAL HIGHWAY SUITE 202
Lake Worth, FL 33460 C.A. 0009078
TEL: 561-591-5800 FAX: 561-591-5803
RONALD D. GILMAN, P.E. 547883



THESE DRAWINGS PROVIDE AN EMPTY RACEWAY AND OUTLET SYSTEM FOR FUTURE USE BY THE TENANT. THERE IS NO WIRING INCLUDED. ANY SUCH WIRING IS TO BE PROVIDED UNDER SEPARATE PERMIT.

ALL EMPTY RACEWAYS ARE TO BE CLEANED, AND A PULL STRING INSTALLED. PROVIDE A TEMPORARY CAP FOR ALL CONDUITS WHICH ORIGINATE FROM EXTERIOR OF THE BUILDING.



COMMUNICATIONS OUTLETS DETAIL
NO SCALE

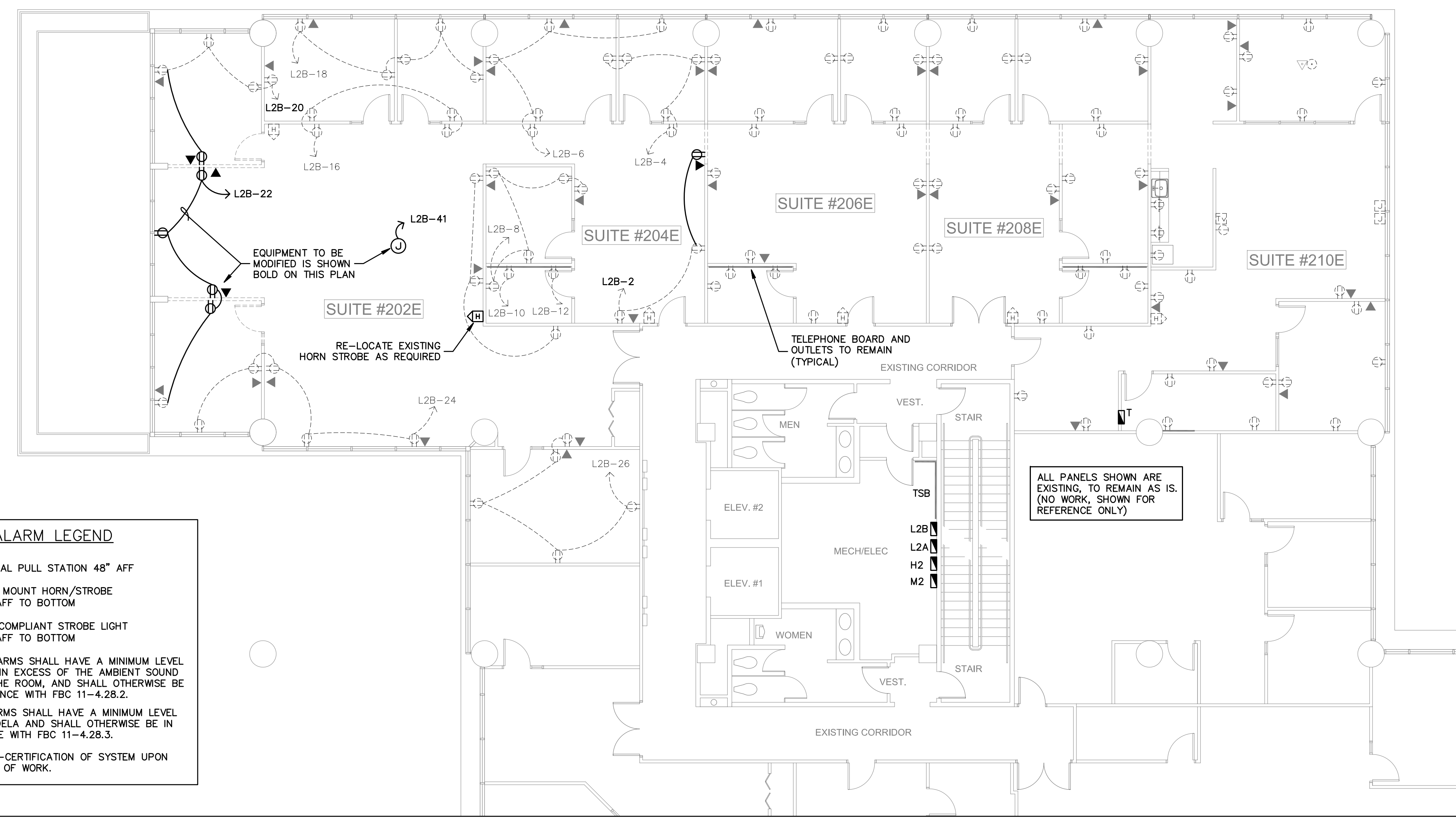
FIRE ALARM LEGEND

- F** MANUAL PULL STATION 48" AFF
- H** WALL MOUNT HORN/STROBE 80" AFF TO BOTTOM
- L** ADA COMPLIANT STROBE LIGHT 80" AFF TO BOTTOM

AUDIBLE ALARMS SHALL HAVE A MINIMUM LEVEL OF 15 DBA IN EXCESS OF THE AMBIENT SOUND LEVEL OF THE ROOM, AND SHALL OTHERWISE BE IN ACCORDANCE WITH FBC 11-4.28.2.

VISUAL ALARMS SHALL HAVE A MINIMUM LEVEL OF 75 CANDELA AND SHALL OTHERWISE BE IN ACCORDANCE WITH FBC 11-4.28.3.

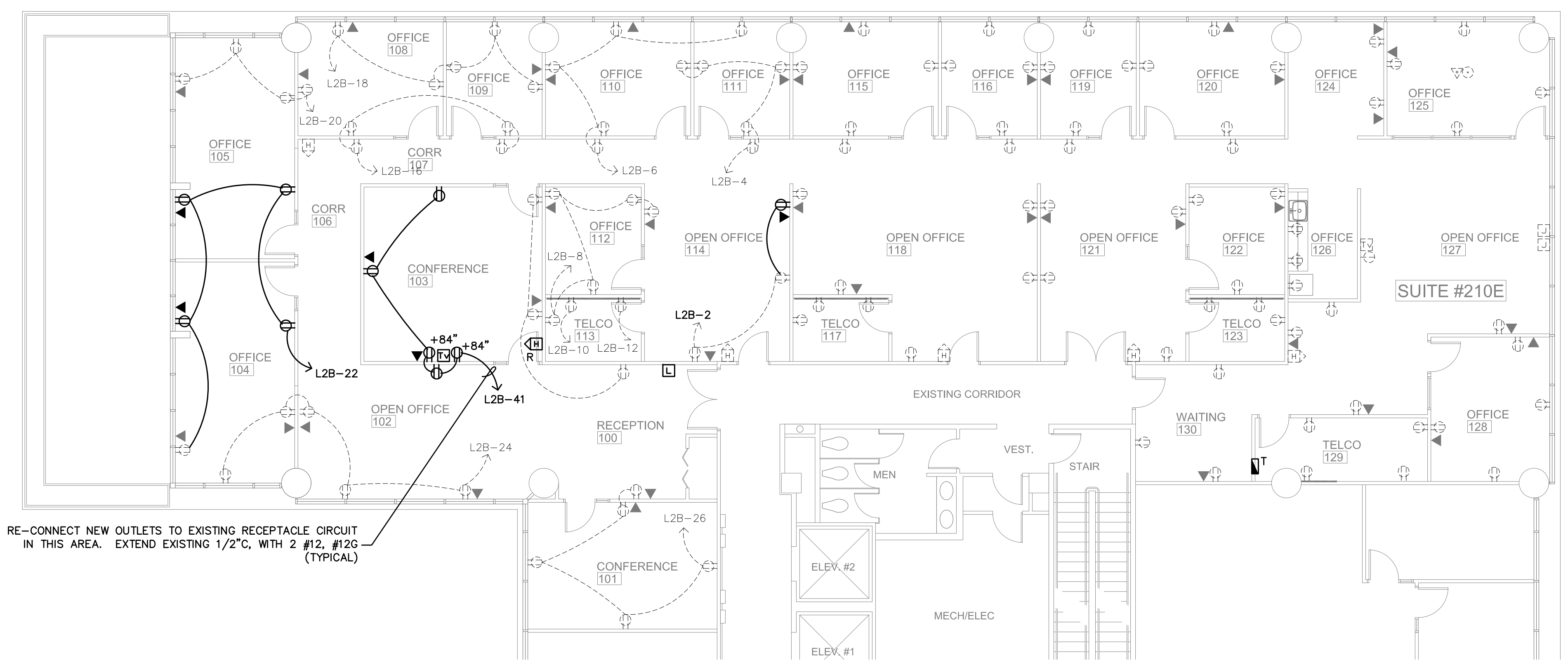
PROVIDE RE-CERTIFICATION OF SYSTEM UPON COMPLETION OF WORK.



EXISTING ELECTRICAL FLOOR PLAN
SCALE: 1/8" = 1'-0"

ELECTRICAL LEGEND

- ⊠ RECTANGULAR LIGHTING FIXTURE - AS NOTED
- ⊠ RECTANGULAR LIGHTING FIXTURE - EXISTING AS NOTED
- ⊕ EXIT LIGHT WITH EMERGENCY BATTERY BACKUP
- ⊕ EMERGENCY LIGHTING FIXTURE WITH BATTERY BACKUP
- ⊕ DUPLEX RECEPT - 20 AMP (18" A.F.F.)
- ⊕ SINGLE RECEPT - 20 AMP (18" A.F.F.)
- ⊕ DUPLEX RECEPT MOUNTED ABOVE COUNTER - 20 AMP (42" A.F.F.)
- ⊕ SINGLE POLE TOGGLE SWITCH, 48" AFF
- ⊕ 3-WAY TOGGLE SWITCH, 48" AFF
- ⊕ ELECTRICAL PANELBOARD
- ⊕ MOTOR LOAD
- ⊕ CIRCUIT HOME RUN TO PANELBOARD OR AS INDICATED
- ⊕ CONDUIT CONCEALED
- ⊕ EXISTING CIRCUIT AS NOTED
- ⊕ CAPPED CONDUIT
- ⊕ TELEVISION OUTLET (18" A.F.F.)
- ⊕ TELEPHONE/DATA OUTLET (18" A.F.F.)
- ⊕ TEL/DATA OUTLET FLUSH FLOOR MOUNTED
- ⊕ EXISTING DUPLEX RECEPTACLE TO REMAIN.
- ⊕ EXISTING TELEPHONE/DATA OUTLET TO REMAIN
- E EXISTING DEVICE TO REMAIN, UNLESS NOTED OTHERWISE
- R EXISTING DEVICE, RELOCATED AS SHOWN



PROPOSED ELECTRICAL FLOOR PLAN
SCALE: 1/8" = 1'-0"

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Lake Worth, FL 33460 C.A. 0009078
RONALD D. GILMAN, P.E. 567883

GENERAL DEMOLITION NOTES

- UNLESS OTHERWISE NOTED, ALL EQUIPMENT, WIRING DEVICES, LIGHT FIXTURES, CONDUIT AND WIRE IN THE PROJECT AREA WHICH IS NOT INDICATED TO REMAIN, IS TO BE REMOVED. THE CONTRACTOR SHALL INVESTIGATE THE PROJECT AREA PRIOR TO BID TO DETERMINE ALL REQUIRED DEMOLITION.
- EXISTING CONDITIONS SHOWN ON THIS DRAWING ARE TAKEN FROM ORIGINAL DRAWINGS AND FIELD INVESTIGATION. ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO BID. FIELD CONDITIONS SHALL GOVERN.
- DEMOLITION WORK IS NOT SPECIFICALLY IDENTIFIED ON THESE PLANS, AND MAY BE DESCRIBED ON THE ARCHITECTS PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED DEMOLITION WHETHER SHOWN ON THE PLANS OR NOT.
- ALL CONDUITS SERVING OTHER SPACES OR FLOORS, THAT RUN THROUGH THE PROJECT AREA SHALL REMAIN ACTIVE DURING CONSTRUCTION, SO AS NOT TO CAUSE ANY DISRUPTION TO THESE OTHER SPACES.
- ALL ITEMS REMOVED UNDER THIS PROJECT SHALL BE DISPOSED OF OR TURNED OVER TO THE OWNER AT THE OWNER'S DISCRETION.
- PROPERLY REMOVE AND DISPOSE OF ALL ELECTRICAL EQUIPMENT, CONDUIT AND WIRING WHICH IS TO BE REMOVED. CONSULT WITH OWNER AND OBTAIN THE OWNERS APPROVAL PRIOR TO DISPOSAL OF REMOVED MATERIAL.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL CONDUITS, NEW OR EXISTING, WITHIN THE PROJECT AREA, ARE PROPERLY SUPPORTED AND PROVIDED WITH BONDING BUSHINGS IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE.

LIGHTING POWER COMPLIANCE
(PER TABLE 13-415.2.B, FBC CHAPTER 13)

SPACE TYPE	TOTAL AREA (SQ.FT.)	ALLOWANCE PER SQ.FT.	SUB-TOTAL ALLOWANCE	DESIGN
OFFICE	1,040	1.1	1,144	935
CONFERENCE	330	1.3	429	510
CORRIDOR	290	0.5	145	340
RECEPTION	226	1.3	294	170
TOTALS			2,012	1,955

(ABOVE REFLECTS MODIFIED AREAS ONLY)

ALL OCCUPANCY SENSORS ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. PROVIDE POWER PACKS, RELAYS, AND ANY OTHER ACCESSORIES AS REQUIRED FOR A COMPLETE AND OPERATION SYSTEM AS SHOWN, INCLUDING CONTROL OF MULTIPLE CIRCUITS AND 120 OR 277 VOLT SYSTEMS WHERE INDICATED.

OCCUPANCY SENSORS SHALL TURN OFF THE SPACE LIGHTING WITHIN 30 MINUTES OF AN OCCUPANT LEAVING THE SPACE, IN ACCORDANCE WITH FBC 13-415.AB.1.1

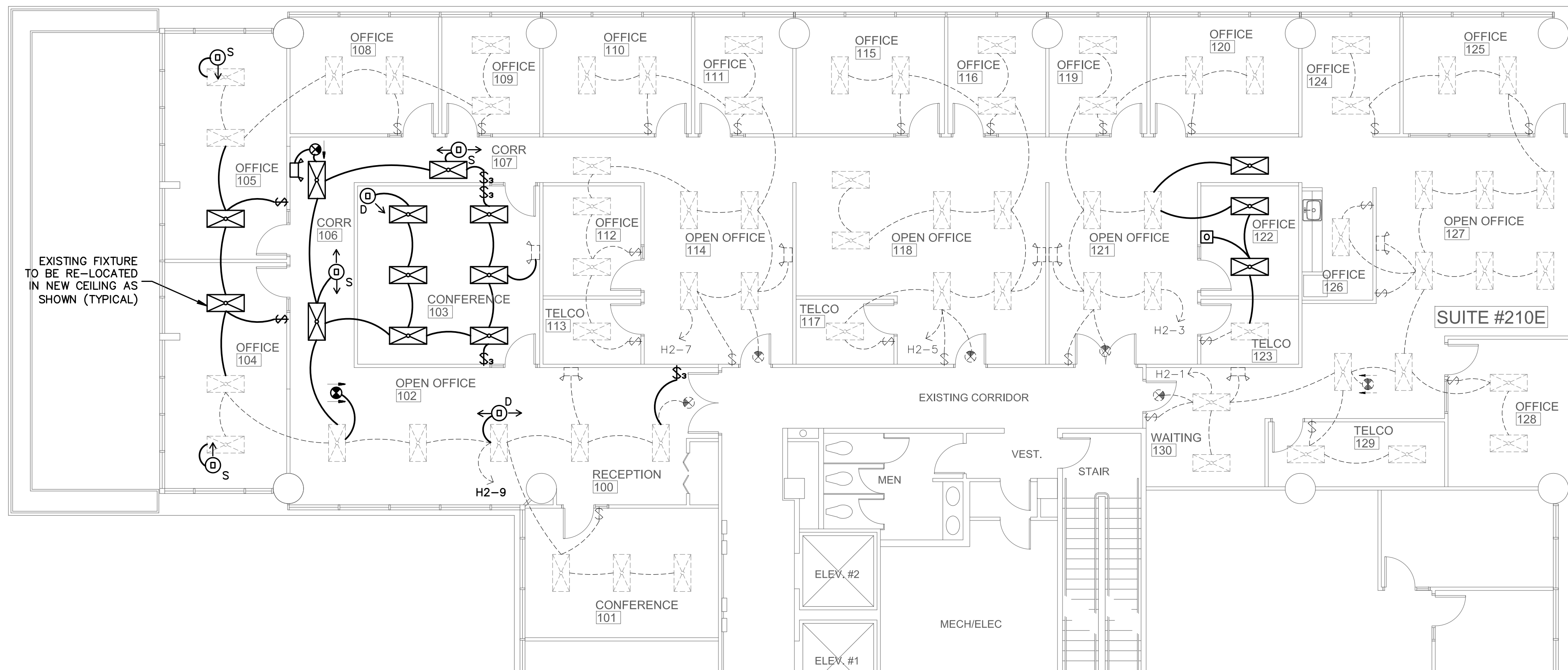
THE CONTRACTOR IS RESPONSIBLE TO SET ALL OCCUPANCY SENSORS TO THE MAXIMUM ALLOWABLE DURATION

OCCUPANCY SENSOR LEGEND (HUBBELL)

- LHMTS1 WALL BOX
- ⊙→ OMNI-US1000
- ←⊙→ OMNI-US2000
- ⊙→ OMNI-DT1000
- ←⊙→ OMNI-DT2000

ELECTRICAL GENERAL NOTES

- DO NOT SCALE THE ELECTRICAL DRAWINGS. REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT. CONFIRM WITH OWNERS REPRESENTATIVE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE NFPA-70 (2008), THE LIFE SAFETY CODE NFPA-101 (2006), THE NATIONAL FIRE ALARM CODE NFPA-72 (2002), AND THE FLORIDA BUILDING CODE (FBC 2007 WITH 2009 SUPPLEMENTS).
- MINIMUM WIRE SIZE SHALL BE #12 A.W.G., EXCLUDING CONTROL WIRING. UNLESS OTHERWISE NOTED ALL CONDUCTORS SHALL BE COPPER WITH THWN INSULATION.
- OUTLET BOXES SHALL BE SHEET STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET OR DAMP LOCATIONS AND SPECIAL ENCLOSURES AS REQUIRED FOR OTHER CLASSIFIED AREAS.
- DISCONNECT SWITCHES SHALL BE H.P. RATED, HEAVY DUTY, QUICK-MAKE, QUICK-BREAK ENCLOSURES AS REQUIRED BY EXPOSURE.
- MOTOR STARTERS SHALL BE MANUAL OR MAGNETIC, WITH OVERLOAD RELAYS IN EACH HOT LEG.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
- ELECTRICAL SYSTEM SHALL BE COMPLETE AND EFFECTIVELY GROUNDED AS REQUIRED BY THE LATEST EDITION OF THE N.E.C.
- ALL MATERIALS SHALL BE NEW AND BEAR UNDERWRITERS' LABELS WHERE APPLICABLE.
- ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE, AND ACCEPTED BY ENGINEER/ARCHITECT.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE.
- CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
- CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS, AND TESTING.
- THE ELECTRICAL INSTALLATION SHALL MEET ALL STANDARD REQUIREMENTS OF POWER AND TELEPHONE COMPANIES.
- FURNISH AND INSTALL DISCONNECT SWITCHES AND WIRING FOR AIR CONDITIONING SYSTEM AS PER MANUFACTURERS RECOMMENDATIONS. CONTROLS ARE TO BE SUPPLIED BY AIR CONDITIONING CONTRACTOR AND CONNECTED BY ELECTRICAL CONTRACTOR.
- ALL RACEWAYS UNDERGROUND SHALL BE A MINIMUM OF 3/4" CONDUIT.
- ALL CIRCUIT BREAKERS, TWO AND THREE POLE, TO BE COMMON TRIP. NO TIE HANDLES, OR TANDEMS WILL BE ACCEPTED.
- ALL FUSES, UNLESS NOTED ON DRAWING, SHALL BE CURRENT LIMITING (C.L.) RATED FOR 200,000 A.I.C.
- ALL ELECTRICAL EQUIPMENT, DEVICES, WIRE, ETC., SHALL BE LISTED, FOR THE INTENDED USE, WITH UNDERWRITER'S LABORATORIES, INC. (UL), WHERE STANDARDS HAVE BEEN ESTABLISHED BY UL.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN, ON SITE, A DETAILED AS-BUILT PLAN SHOWING ACTUAL INSTALLATIONS.



PROPOSED LIGHTING FLOOR PLAN

SCALE: 1/8" = 1'-0"

Bd

birse design inc.

5300 woodland lakes drive
palm beach gardens, fl 33418
phone: 561-946-4001
fax: 561-946-9864
AA26001615

DRIFTWOOD HOSPITALITY

GOLDEN BEAR PLAZA
11770 US HIGHWAY ONE #202E
PALM BEACH GARDENS, FL 33408

PROJECT NUMBER GBP28

REVISIONS

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PROJ. # 11-008

Gilman & Associates, Inc.
MECHANICAL & ELECTRICAL ENGINEERS
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PHONE: 561-946-4001 FAX: 561-946-9864
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DRAWN BY DR

CD

03-29-11

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