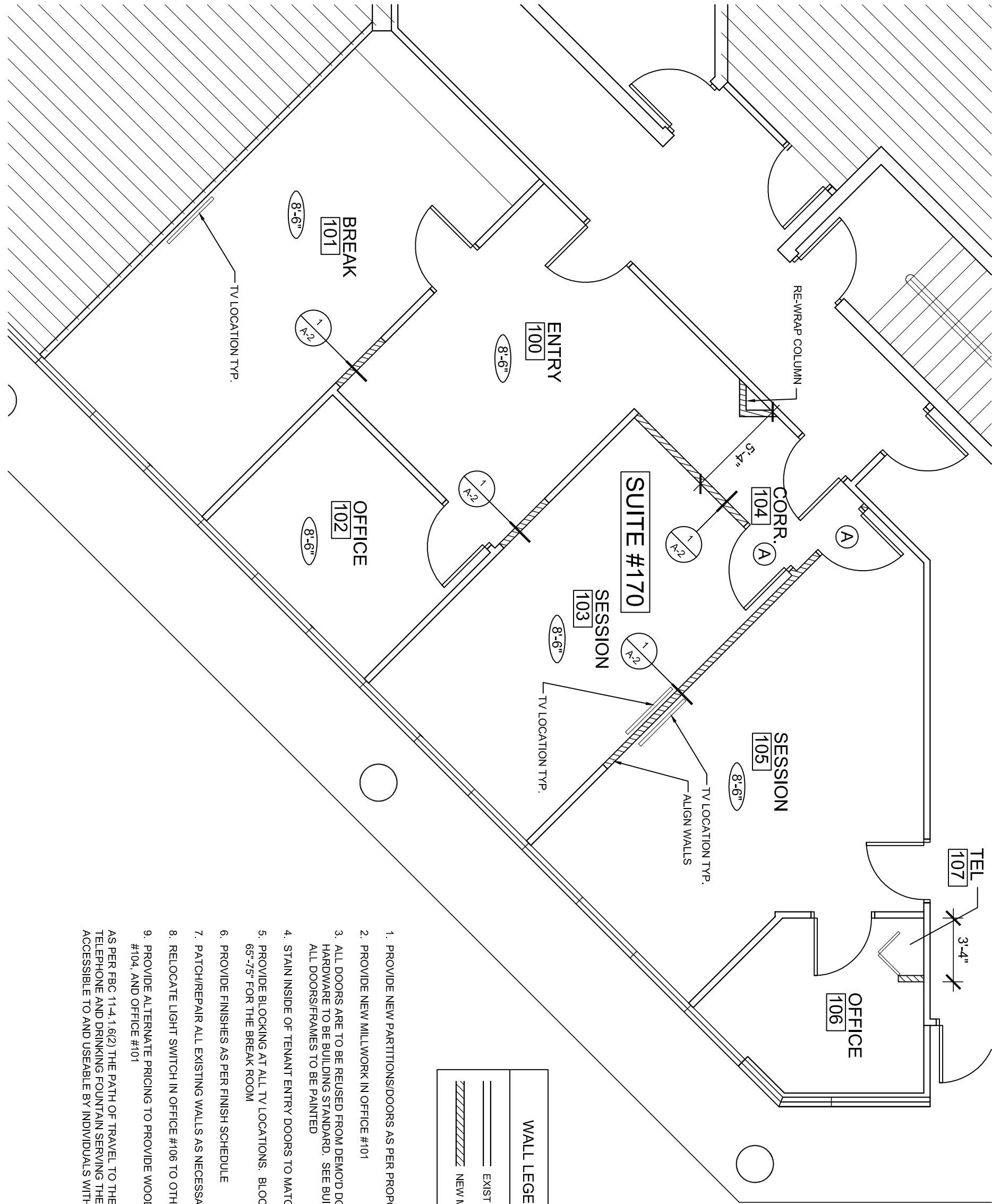


1. ALL WALLDOORS ARE EXISTING AS PER EXISTING FLOOR PLAN 1/A-1
2. TOILET ROOMS ARE EXISTING IN COMMON AREA CORRIDOR AS PER FLOOR PLAN 1/A-1
3. DRINKING FOUNTAIN IS EXISTING IN COMMON AREA CORRIDOR AS PER FLOOR PLAN 1/A-1

WALL LEGEND	
	EXIST PARTITION
	EXIST 1 HR WALL

1  
3/16" = 1'-0"

(EXISTING) FLOOR PLAN

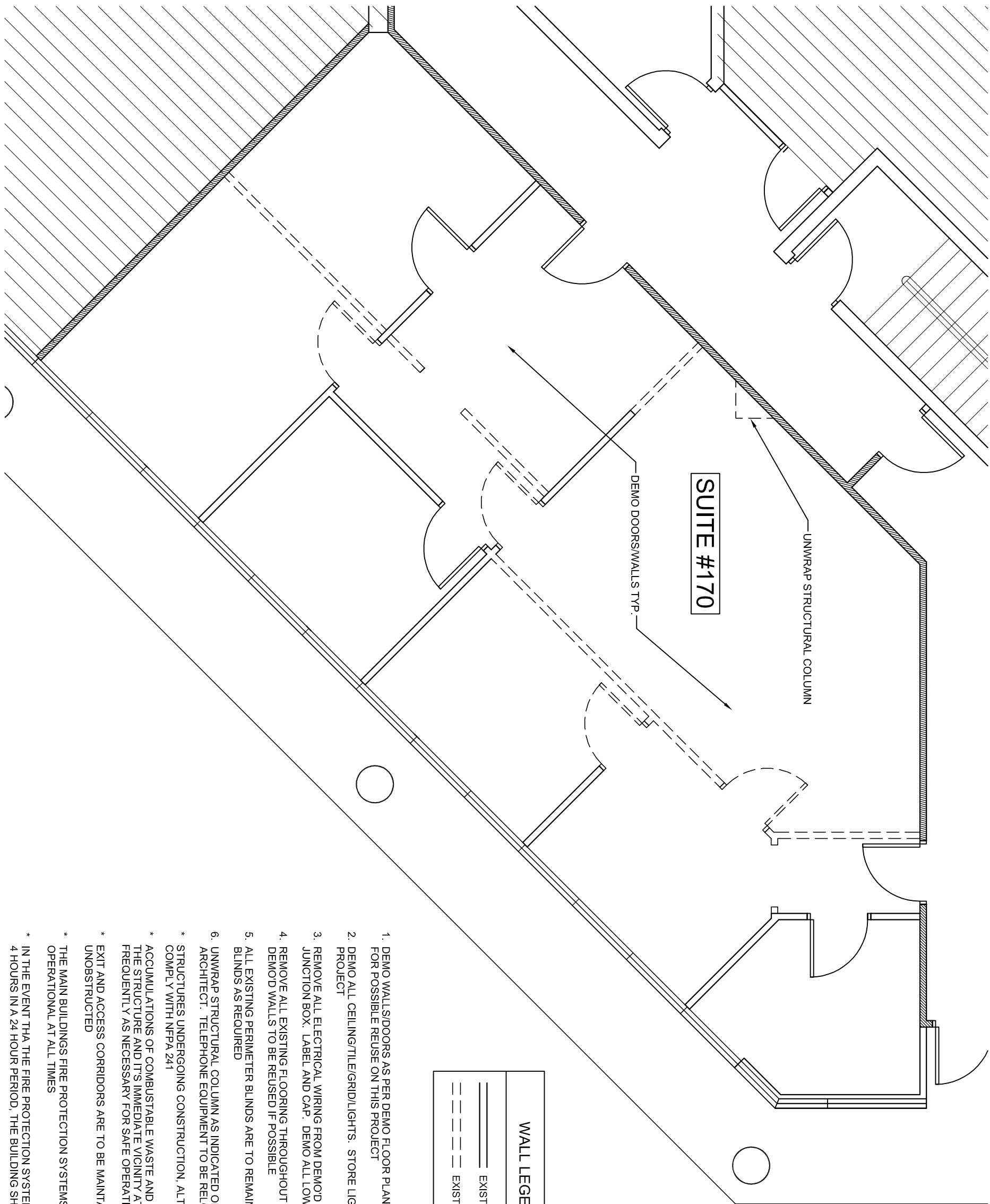


1. PROVIDE NEW PARTITIONS/DOORS AS PER PROPOSED FLOOR PLAN 3/A-1
2. PROVIDE NEW MILLWORK IN OFFICE #101
3. ALL LOCKS ARE TO BE REUSED FROM DEMO'D DOORS. PROVIDE NEW HARDWARE. ALL DOORS ARE TO BE REUSED FROM DEMO'D DOORS. SET BUILDING FRAMEWORK ON SYMBIOSIS
4. STAIN INSIDE OF TENANT ENTRY DOORS TO MATCH TENANT DOORS. STAIN T.D.D
5. PROVIDE BLOCKING AT ALL TV LOCATIONS. BLOCKING @ 60"-70" FOR SESSION ROOMS AND 60"-50" FOR THE BREAK ROOM
6. PROVIDE FINISHES AS PER FINISH SCHEDULE
7. PATCH/REPAIR ALL EXISTING WALLS AS NECESSARY
8. RELOCATE LIGHT SWITCH IN OFFICE #106 TO OTHER SIDE OF ENTRY DOOR
9. PROVIDE ALTERNATE PRONGS TO PROVIDE WOOD FLOORING AT ENTRY #100 CORRIDOR AS PER EXISTING FLOOR PLAN 1/A-1
10. PROVIDE ALTERNATE PRONGS TO THE ALTERED AREA AND THE RESTROOMS, TELEPHONE AND DRINKING FOUNTAIN SERVING THE ALTERED AREA ARE RELOCATED ACCESSIBLE TO AND USEABLE BY INDIVIDUALS WITH DISABILITIES

WALL LEGEND	
	EXIST PARTITION
	NEW METAL STUD PARTITION

3  
3/16" = 1'-0"

(PROPOSED) FLOOR PLAN

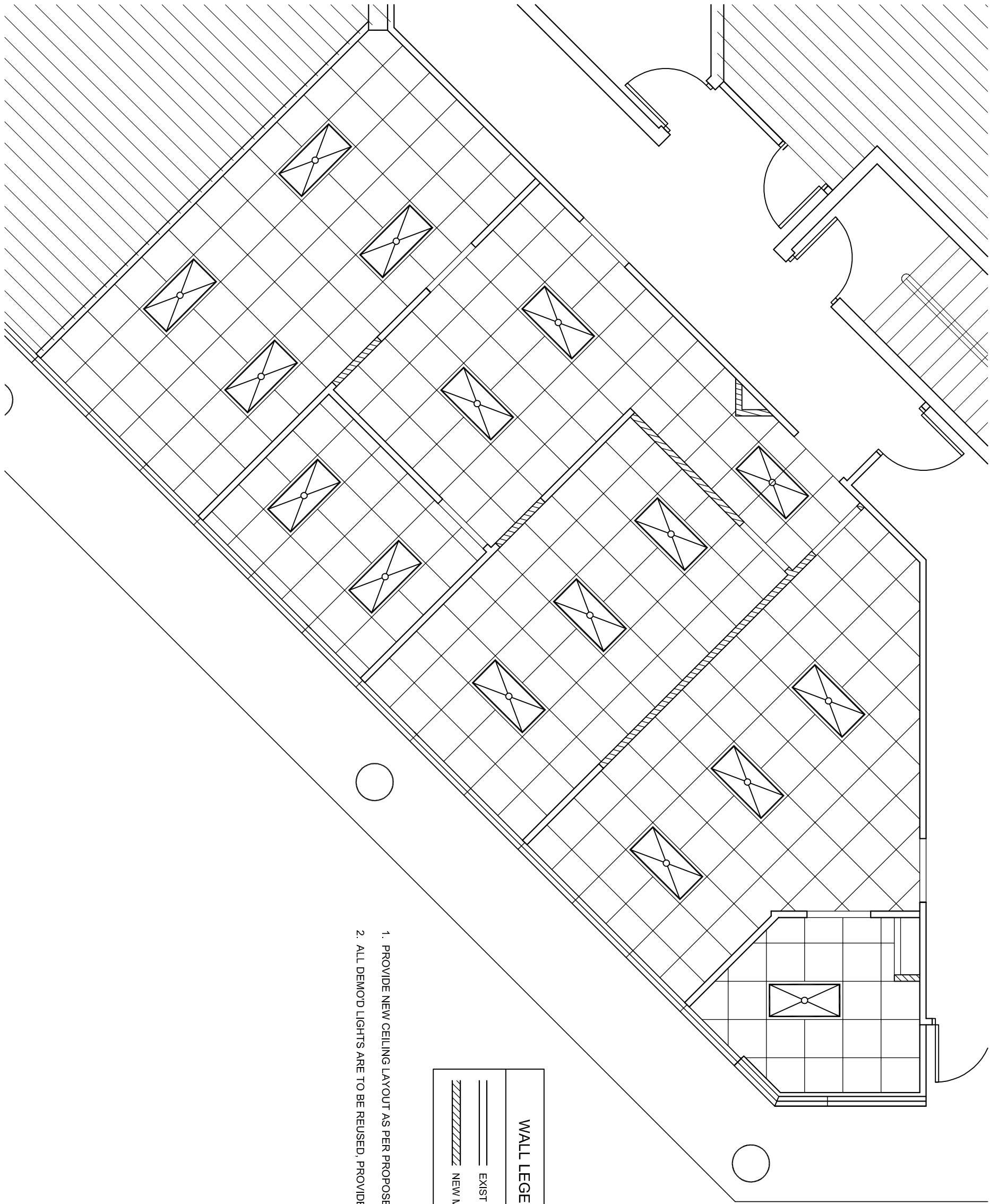


WALL LEGEND	
	EXIST PARTITION
	EXIST WALLS TO BE DEMO'D

1. DEMO WALL STROPS AS PER DEMO 2 COR 2/A-1. STORGE ALL DOORSHARDWARE FOR POSSIBLE REUSE ON THIS PROJECT
2. DEMO ALL CEILINGTIE/EGROULIGHTS. STORGE LIGHTS FOR POSSIBLE REUSE ON THIS PROJECT
3. REMOVE ALL ELECTRICAL WIRING FROM DEMO'D WALLS AND BACK TO THE FIRST JUNCTION BOX. LABEL AND CAP- DEMO ALL LOW VOLTAGE WIRING
4. REMOVE ALL EXISTING FLOORING THROUGHOUT ENTIRE SUITE. WOOD BASE FROM DEMO'D WALLS TO BE REUSED. DEMO ALL LOW VOLTAGE WIRING
5. ALL EXISTING DEMO'D BUILDINGS ARE TO REMAIN AS EXISTING. REPLACE ANY DAMAGED BLINDS AS REQUIRED
6. UNWRAP STRUCTURAL COLUMN AS INDICATED ON DEMO PLAN 2/A-1 FOR INSPECTION BY ARCHITECT. TELEPHONE EQUIPMENT TO BE RELOCATED
7. STRUCTURES UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL COMPLY WITH NFPA 241
8. ALL EXISTING DEMO'D WASTE AND DUST DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT THE END OF THE SHIFT ON WARE
9. EXT AND ACCESS CORRIDORS ARE TO BE MAINTAINED AND REMAIN CLEAR AND UNOBSERVED
10. THE MAIN BUILDINGS FIRE PROTECTION SYSTEMS SHALL BE MAINTAINED AND OPERATIONAL AT ALL TIMES
11. IN THE EVENT THAT THE FIRE PROTECTION SYSTEM IS OUT OF SERVICE FOR MORE THAN 4 HOURS IN A 24 HOUR PERIOD, THE BUILDING SHALL BE PLACED ON A FIRE WATCH

2  
3/16" = 1'-0"

(DEMO) FLOOR PLAN



WALL LEGEND	
	EXIST PARTITION
	NEW METAL STUD PARTITION

1. PROVIDE NEW CEILING LAYOUT AS PER PROPOSED CEILING PLAN 4/A-1
2. ALL DEMO'D LIGHTS ARE TO BE REUSED. PROVIDE NEW AS REQUIRED

4  
3/16" = 1'-0"

(PROPOSED) CEILING PLAN

Bd

birse design inc.  
5300 woodland lakes drive  
palm beach gardens, fl 33418  
phone 561-249-4001  
fax 772-409-8684  
AA26001615

ALEN S BIRSE  
A062779

WASHTON LUKENS  
FAIRWAY OFFICE CENTER  
7108 FAIRWAY DR #170  
PALM BEACH GARDENS, FL  
PROJECT NUMBER 710830

1  
2  
3  
4  
5

DRAWN BY ASB  
CD  
03/19/12

A-1