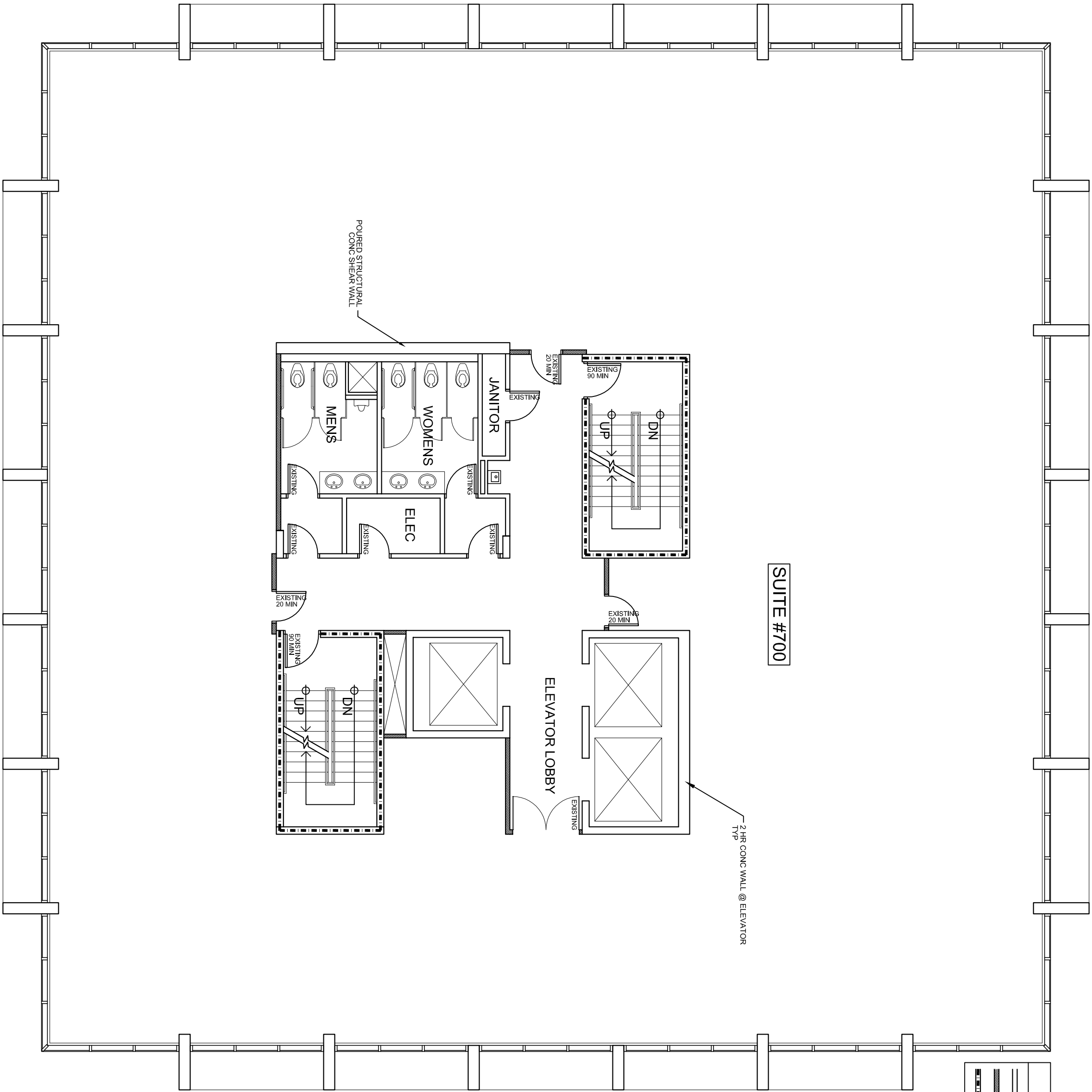


WALL LEGEND	
	EXISTING PARTITION
	EXISTING 1 HR FIRE PARTITION
	EXIST 2 HR PARTED PARTITION



- STRUCTURES UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL COMPLY WITH NFPA 241
- ACCUMULATIONS OF COMBUSTIBLE WASTE AND DUST DEBRIS SHALL BE REMOVED FROM ALL AREAS OF THE BUILDING, INCLUDING COMMON AREAS, AND OF THE SHOP OR WORK FREQUENTLY, AS NECESSARY FOR SAFE OPERATIONS
- EXIT AND ACCESS CORRIDORS ARE TO BE MAINTAINED AND REMAIN CLEAR AND UNOBSTRUCTED
- THE MAIN BUILDINGS FIRE PROTECTION SYSTEMS SHALL BE MAINTAINED AND OPERATIONAL AT ALL TIMES
- IN THE EVENT THAT THE FIRE PROTECTION SYSTEM IS OUT OF SERVICE FOR MORE THAN 4 HOURS IN A 24 HOUR PERIOD, THE BUILDING SHALL BE PLACED ON A FIRE WATCH

1 EXISTING FLOOR PLAN (7TH FLOOR)

1/8" = 1'-0"

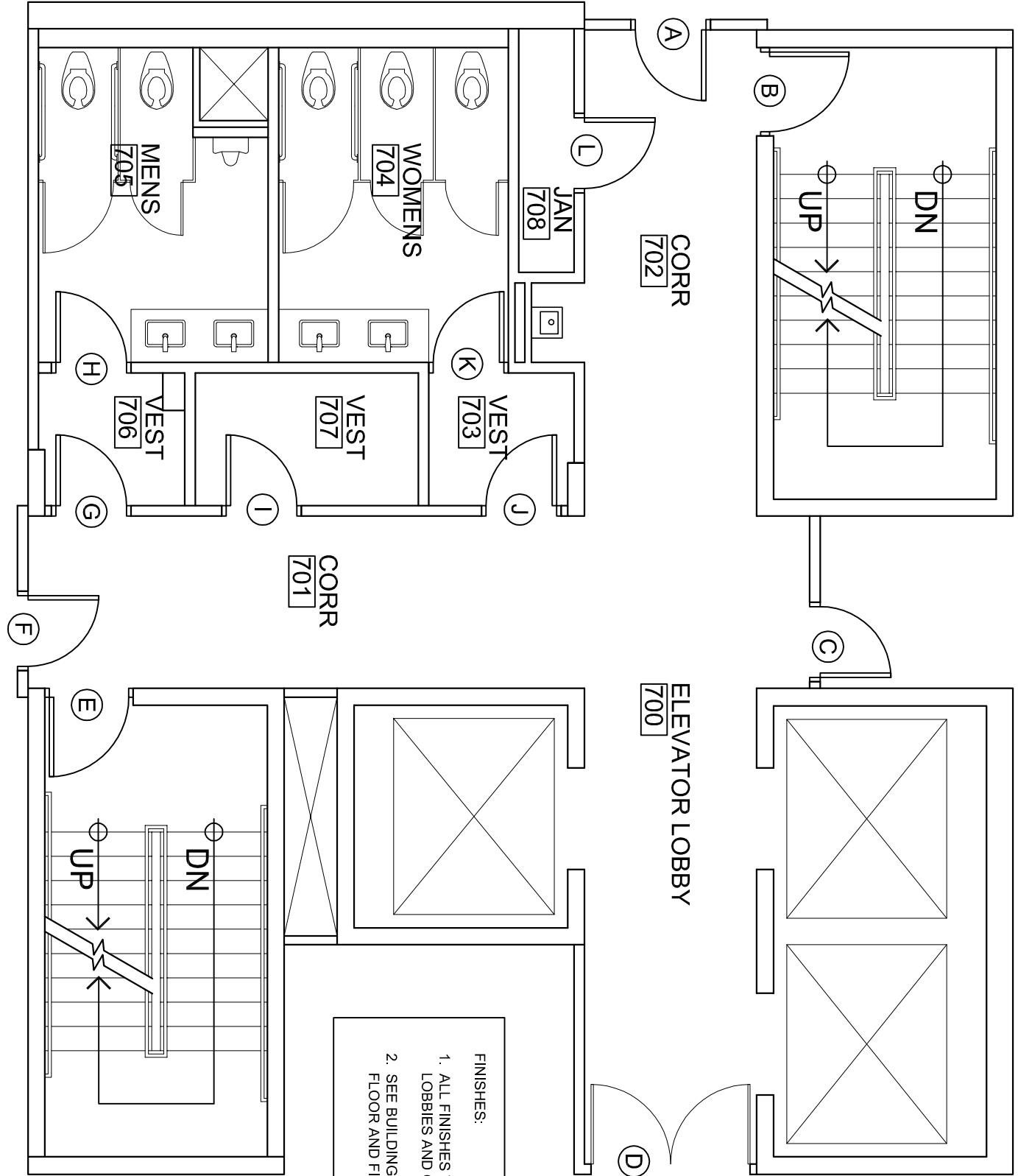
COMMON CORRIDOR DEMO NOTES

- DEMO EXISTING SUSPENDED CEILING SYSTEM AND ALL EXISTING LIGHTS. CAP ALL WIRING AT JUNCTION BOX. REMOVE ALL SCONES FROM WALL. WIRING TO REMAIN
 - REMOVE ALL WALL COVERING AND FLOOR COVERING. REMOVE ALL WOOD BASE
 - REMOVE ALL EXISTING LIFE SAFETY DEVICES
- RESTROOM DEMO NOTES
- DEMO ALL EXISTING WALL COVERING/TILE
 - DEMO ALL EXISTING FLOOR TILE
- REMOVE EXISTING SUSPENDED CEILING AND ALL EXISTING LIGHTS. DEMO LIGHTING SPLIT ABOVE TOILET
- DEMO ALL EXISTING TOILET PARTITIONS
 - DEMO ALL EXISTING COUNTERS/SINKS/MIRRORS/FITURES
 - WALL MOUNT/CABINETS/SPRINKLER TO REMAIN AS EXISTING

COMMON CORRIDOR PROPOSED NOTES

- PROVIDE NEW BUILDING STANDARD TILE THROUGHOUT ELEVATOR LOBBY AND CORRIDORS
- PROVIDE BUILDING STANDARD WALL COVERING THROUGHOUT ELEVATOR LOBBY AND CORRIDORS
- PROVIDE NEW BUILDING STANDARD SUSPENDED CEILING AND SYSTEM AND LIGHTS AS PER PROPOSED CEILING PLAN 4/A-1 (BOTH COMMON AREAS AND RESTROOMS) PAINT HEADERS WHITE
- ALL FIRE SPRINKLER HEADS ARE TO BE CANCELED WHITE, CENTERED IN TILE
- TOUCH-UP AND STAIN EXISTING DOORS AND PROVIDE NEW HARDWARE AS PER EXISTING DOOR SCHEDULE. BUILDING STANDARD DOOR STAIN TO MATCH 3RD FLOOR AND NEW BUILDING CONTRACTOR TO PROVIDE UNIT PRICING TO REPLACE ALL BUILDING STANDARD 2'-8 1/2" x 3' DOORS/FRAMES. NEW DOORS TO BE SOLID CORE STAIN GRADE W/ Mtl FRAME
- PROVIDE NEW BUILDING STANDARD WALL COVERING THROUGHOUT ELEVATOR LOBBY AND CORRIDOR
- EXISTING WALL SCONE TO BE REPLACED WITH NEW
- PROVIDE ALL NEW BUILDING STANDARD LIFE SAFETY DEVICES
- EXISTING OVERTIME AIR SWITCH TO BE REPLACED WITH NEW
- SEE SHEET 1/A-6 FOR RESTROOM NOTES/DETAILS. DRINKING FOUNTAIN TO REMAIN AS EXISTING

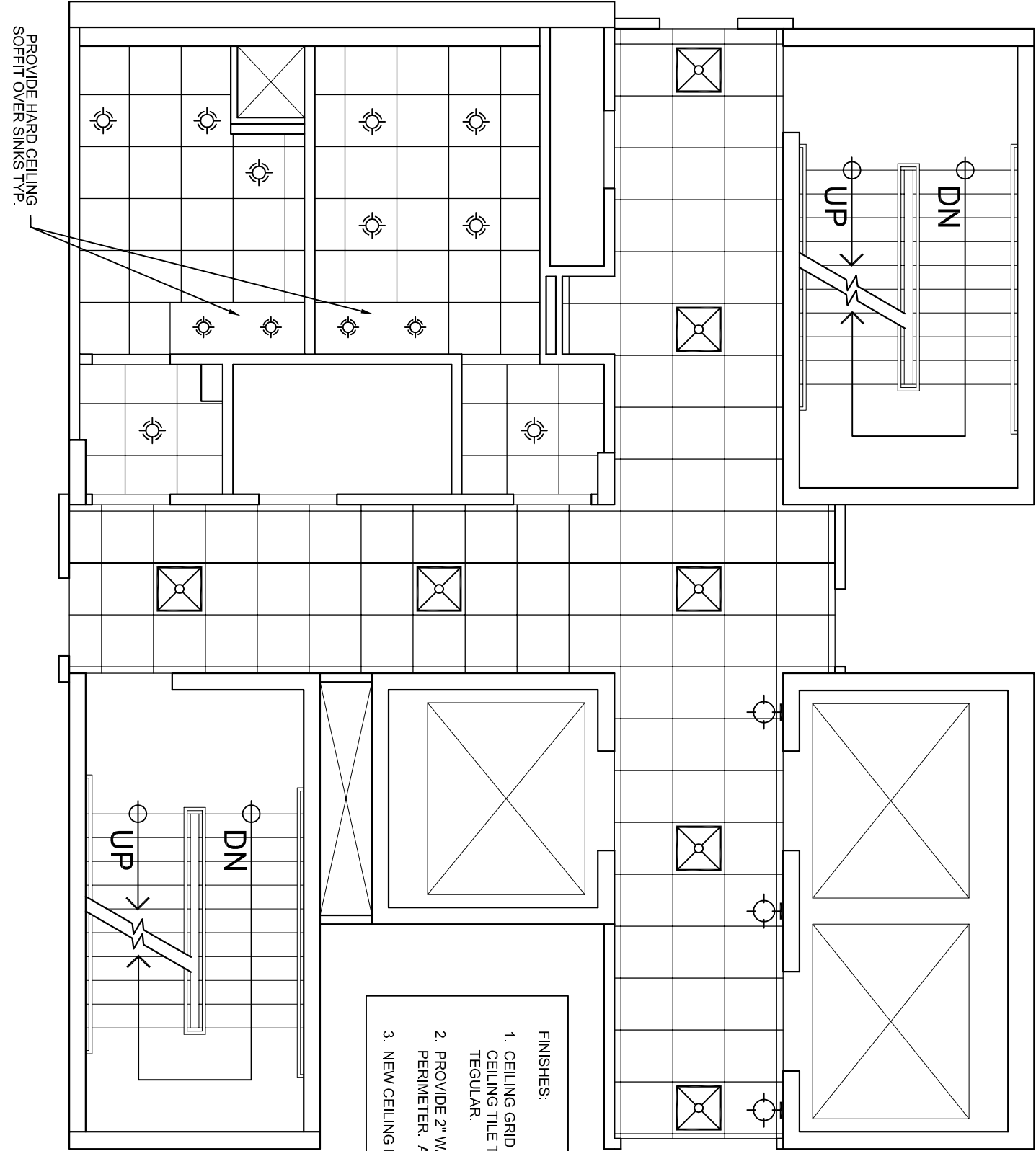
EXISTING DOOR SCHEDULE		
#	SIZE	NOTES
A	35 1/2" x 77"	RESTAURANT DOOR NEW HARDWARE
B	25 1/2" x 65"	PAINT DOOR NEW HARDWARE
C	35 1/2" x 65"	RESTAURANT DOOR NEW HARDWARE
D	25 1/2" x 65"	DOORS TO REMAIN AS EXISTING
E	35 1/2" x 65"	PAINT DOOR NEW HARDWARE
F	25 1/2" x 65"	RESTAURANT DOOR NEW HARDWARE
G	25 1/2" x 65"	RESTAURANT DOOR NEW HARDWARE
H	25 1/2" x 65"	RESTAURANT DOOR NEW HARDWARE
I	25 1/2" x 65"	RESTAURANT DOOR NEW HARDWARE
J	25 1/2" x 65"	RESTAURANT DOOR NEW HARDWARE
K	25 1/2" x 65"	RESTAURANT DOOR NEW HARDWARE
L	25 1/2" x 65"	RESTAURANT DOOR NEW HARDWARE



3 PROPOSED FLOOR PLAN (7TH FLOOR)

3/16" = 1'-0"

- FINISHES:
- CEILING GRID TO BE ARNSTRONG WHITE 15/16" REGULAR
 - PROVIDE 2" WALL ANGLE AT CORRIDOR CEILING PERIMETER ARNSTRONG PRODUCT # 7808 WHITE
 - NEW CEILING HEIGHTS TO MATCH EXISTING



4 PROPOSED CEILING PLAN (7TH FLOOR)

3/16" = 1'-0"

Bd

birse design inc.

5300 woodland lakes drive
palm beach gardens, fl 33418

phone 561-249-4001
fax 772-409-8684
AA26001615

ALLEN'S BIRSE
A060279

COMMON AREA UPGRADE

4400 PGA BLVD
PALM BEACH GARDENS, FL

PROJECT NUMBER 4405

REVISIONS	
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DRAWN BY ASB	
CD	
10/23/13	

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