

P:\13\STANLEY-ENCORE SUB LEASE @ ECOPLEX-1310A NOV-FP.DWG, 1/10/2014 4:58:43 PM, 1:1

GENERAL NOTES

1. THESE CONTRACT DOCUMENTS ARE DIAGRAMMATIC ONLY. IT IS NOT THE INTENT OF THESE DOCUMENTS TO SHOW EVERY DETAIL OF CONSTRUCTION. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL FINISH AND INSTALL ALL ITEMS NECESSARY FOR COMPLETE SYSTEMS AND COMPLETION AS INDICATED ON THE CONTRACT DOCUMENTS.
2. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE FAMILIAR WITH THE CONTRACT DOCUMENTS PRIOR TO SUBMITTING BIDS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
3. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK.
4. ALL DIMENSIONS, SPECIFICATIONS AND NOTES PROVIDED HEREIN SHALL BE VERIFIED BY THE CONTRACTOR AND SUB-CONTRACTOR PRIOR TO PERFORMANCE OF THE WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
5. WHEN TWO OR MORE REQUIREMENTS OR STANDARDS ARE SPECIFIED ESTABLISHING DIFFERENT OR CONFLICTING LEVELS OF QUALITY, THE MOST STRINGENT REQUIREMENT IS INTENDED AND WILL BE ENFORCED.
6. CONTRACTOR SHALL MAKE NO CHANGES OR SUBSTITUTIONS WITHOUT WRITTEN APPROVAL BY ADDENDUM FROM THE ARCHITECT.
7. CONTRACTOR SHALL MEET WITH THE BUILDING OWNER OR MANAGER PRIOR TO THE BID IN ORDER TO OBTAIN A COPY OF THE BUILDING STANDARD GUIDELINES AND TO DISCUSS THE BUILDING MANAGEMENTS REQUIREMENTS FOR PROTECTION OF PUBLIC SPACES, DAILY CLEANING, CONSTRUCTION STAGING, MATERIAL DELIVERIES, LOCATION OF CONSTRUCTION DUMPSTERS, PARKING, ETC. THE COST TO MEET THESE REQUIREMENTS SHALL BE INCLUDED IN BID.
8. REPLIES TO ALL REQUESTS FOR CLARIFICATION WILL BE ISSUED TO ALL PRIME BIDDERS, AS ADDENDA TO THE CONTRACT DOCUMENTS (DRAWINGS AND SPECIFICATIONS), AND WILL BECOME PART OF THE CONTRACT. ORAL CLARIFICATION WILL NOT BE INCLUDED AS PART OF THE CONTRACT DOCUMENTS.
9. ALL WORK SHALL CONFORM TO THE LATEST REQUIREMENTS OF APPLICABLE LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.
10. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL COORDINATE AND OBTAIN ALL PERMITS REQUIRED TO COMPLETE THE CONSTRUCTION OF THE WORK AS INDICATED ON THE CONTRACT DOCUMENTS.
11. GENERAL CONTRACTOR SHALL INCLUDE IN THE BASE BID ALL FEES ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT, INCLUDING BUT NOT LIMITED TO PERMIT FEES AND ALL SUBCONTRACTOR PERMIT FEES.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY COORDINATING ALL ASPECTS OF THE CONSTRUCTION INCLUDING CROSS REFERENCING ALL OBVIOUSLY RELATED DOCUMENTS AND DRAWINGS. SHOULD PROBLEMS ARISE DUE TO A LACK OF COORDINATION IN AREAS THAT COULD HAVE REASONABLY BEEN FORESEEN, NO ADDITIONAL PAYMENT SHALL BE WARRANTED OR APPROVED BY THE OWNER OR THE ARCHITECT. SHOULD THE SERVICES OF THE ARCHITECT AND/OR HIS CONSULTANTS BE REQUIRED TO REMEDY OR REVISE THE CONSTRUCTION DUE TO ERRORS AND/OR OMISSIONS BY THE CONTRACTOR, COMPENSATION FOR THESE SERVICES SHALL BE MADE BY THE GENERAL CONTRACTOR THROUGH THE CHANGE ORDER PROCESS OR BY SEPARATE AGREEMENT WITH THE ARCHITECT AND/OR HIS CONSULTANTS.
13. ALL WORK DETAILED IN THESE CONSTRUCTION DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR WHO SHALL SUBCONTRACT AND/OR ASSIGN PORTIONS OF THE WORK TO THE MOST QUALIFIED TRADE. FAILURE BY ANY SUBCONTRACTOR TO INCLUDE CERTAIN WORK REQUIRED SHALL NOT RELIEVE THE GENERAL CONTRACTOR OF HIS RESPONSIBILITY AS PART OF THE CONTRACT FOR CONSTRUCTION TO PROVIDE A COMPLETE JOB.
14. CONTRACTOR IS TO COORDINATE AND ORGANIZE THE CONSTRUCTION PROCESS AND COMPLETE SAME IN A MANNER WHICH LEAST IMPACTS THE ADJOINING COMMON AREAS, IN ORDER TO MINIMIZE INCONVENIENCE TO THE EXISTING TENANTS.
15. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO EMPLOY THOSE CONTROL MEASURES NECESSARY TO INSURE THAT THE BUILDING COMMONS AREAS AS WELL AS EXISTING TENANT SPACES ARE NOT IMPACTED BY AIRBORNE CONTAMINANTS CAUSED BY THE CONSTRUCTION OF THE TENANT SPACE. THE METHODS EMPLOYED SHALL COMPLY WITH THE INDOOR AIR QUALITY (IAQ) GUIDELINES FOR OCCUPIED BUILDINGS UNDER CONSTRUCTION 1ST EDITION, PUBLISHED BY SMOAQA. QUALITY CONTROL METHODS USED TO MONITOR AIR QUALITY, I.E. TESTING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
16. GENERAL CONTRACTOR SHALL, ON A MONTHLY BASIS, PROVIDE A CERTIFIED LETTER TO THE OWNER THAT NO PROJECT RELATED POLLUTANTS HAVE ENTERED THE STORM WATER SYSTEM OR MIGRATED OFFSITE FOR THE REQUIREMENTS OF THE LOCAL JURISDICTION.
17. GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND PRODUCT DATE TO THE ARCHITECT FOR REVIEW AND COMMENTS. SHOP DRAWINGS SHALL BE PREPARED IN A CLEAR AND THOROUGH MANNER AND SHALL BE OF SUFFICIENT DETAIL AND SCALE TO INDICATE COMPLIANCE WITH THE CONTRACT DOCUMENTS, MANUFACTURER AND TRADE STANDARDS. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING, AT THE TIME OF SUBMISSION, OF ANY DEVIATIONS IN THE SUBMITTALS FROM REQUIREMENTS OF THE CONTRACT DOCUMENTS OR OF ANY DISCREPANCIES IN THE CONTRACT DOCUMENTS. ACCEPTANCE OF A SUBMITTAL DOES NOT WAIVE OR ALTER THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE GENERAL CONTRACTOR IS RESPONSIBLE TO DETERMINE AND VERIFY FIELD DIMENSIONS, FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION. THE SUBMITTALS SHALL BE PROPERLY REVIEWED BY THE GENERAL CONTRACTOR PRIOR TO SUBMITTING TO THE ARCHITECT. INCOMPLETE, UNREVIEWED OR UNTESTED WHEN REQUIRED SHOP DRAWINGS WILL BE RETURNED TO THE GENERAL CONTRACTOR WITHOUT THE ARCHITECTS REVIEW OR ACCEPTANCE. THE GENERAL CONTRACTOR SHALL SUBMIT A SHOP DRAWING SCHEDULE INDICATING THE CRITICAL DATES FOR SHOP DRAWINGS SUBMISSION AND DATES THAT REVIEWED SHOP DRAWINGS AND PRODUCT DATA WILL BE NEEDED. ALLOW SUFFICIENT TIME IN THE SCHEDULE FOR ARCHITECT REVIEW AND POSSIBLE RESUBMITTALS IF REQUIRED.
18. THE RETURN OF SHOP DRAWINGS TO THE GENERAL CONTRACTOR, WITH OR WITHOUT COMMENT, DOES NOT RELIEVE THE GENERAL CONTRACTOR AND THEIR SUB CONTRACTORS OF THE RESPONSIBILITY TO CONSTRUCT THE BUILDING PER THE PLANS AND SPECIFICATIONS. EVEN DRAWINGS THAT HAVE BEEN CORRECTED OR REVISED BY THE ARCHITECT. THE GENERAL CONTRACTOR, IN ADDITION, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DEVIATION FROM THE CONTRACT DOCUMENTS CONTAINED IN THE PLANS. GLIDDEN SPINA + PARTNERS, THEIR CONSULTANTS OR THE OWNER ARE NOT RESPONSIBLE FOR ANY CORRECTIVE CONSTRUCTION RESULTING FROM SHOP DRAWINGS THAT DEVIATE FROM THE CONTRACT DOCUMENTS.
19. GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT COPY OF ALL CONTRACT DOCUMENTS AT JOB SITE FOR ARCHITECTS USE.
20. UPON COMPLETION OF THE WORK SPECIFIED THE CONTRACT DOCUMENTS THE GENERAL CONTRACTOR SHALL DEVELOP A PUNCH LIST OF ITEMS THAT NEED TO BE COMPLETED, MODIFIED OR REPLACED UPON COMPLETION OF THE WORK. THE ITEMS IDENTIFIED IN THE PUNCH LIST THE ARCHITECT WILL VISIT THE SITE TO REVIEW THE STATUS OF THE WORK. IF THE ARCHITECT DETERMINES THAT THE WORK IDENTIFIED IN THE PUNCH LIST WILL DEVELOP A PUNCH LIST OF MINOR WORK ITEMS TO ACCOMPANY THE CERTIFICATE OF SUBSTANTIAL COMPLETION.
21. CONTRACTOR SHALL DELIVER TO OWNER PRIOR TO FINAL PAYMENT ALL WARRANTIES, WARRANTIES AND TWO COPIES OF ALL MANUALS AND OPERATING INSTRUCTIONS AND ARRANGE TO GIVE PHYSICAL DEMONSTRATION OF ALL EQUIPMENT TO OWNER OR HIS REPRESENTATIVE.
22. ALL LABOR AND MATERIALS SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION, EXCEPT LONGER AS REQUIRED IN THE DRAWINGS AND/OR SPECIFICATIONS.
23. ALL NEW CONSTRUCTION MUST MEET FEDERAL AND STATE ACCESSIBILITY REQUIREMENTS.
24. MATERIAL OR SYSTEMS SHALL BE INSTALLED ACCORDING TO EXACT MANUFACTURERS INSTALLATION INSTRUCTIONS.
25. ALL MATERIALS USED DURING CONSTRUCTION SHALL BE NEW AND FREE FROM BLEMISHES. NO USED MATERIALS WILL BE ALLOWED, EXCEPT AS NOTED HEREIN. COORDINATE WITH ARCHITECT AND OWNER/REPRESENTATIVE IN ADVANCE.
26. DELIVERY AND STORAGE OF ALL MATERIAL SHALL BE ACCEPTABLE TO MANUFACTURERS PRODUCT, REVIEW BY THE ARCHITECT AND SHALL PROVIDE COMPLETE PROTECTION OF PRODUCT.
27. GENERAL CONTRACTOR SHALL COORDINATE DIRECTLY WITH OWNER/TENANT ALL WORK BY 'OWNER' OR 'TENANT' AS INDICATED ON PLANS AND ANY ATTACHED SPECIFICATIONS.
28. GENERAL CONTRACTOR SHALL VERIFY FINAL SELECTION OF ALL FINISHES WITH ARCHITECT AND OWNER/TENANT. SUBMIT SAMPLES FOR REVIEW.
29. TEMPORARY FIRE EXTINGUISHERS SHALL BE PROVIDED BY GENERAL CONTRACTOR AND LOCATED AS REQUIRED BY CODE DURING CONSTRUCTION.
30. CONCRETE SLABS SHALL BE LEVELLED AND PREPARED TO RECEIVE FLOOR FINISH PER FINISH SCHEDULE.
31. WHEREVER DISSIMILAR METALS CONTACT EACH OTHER, AND ARE SEPARATED FURTHER ON THE BELOW SCALE THAN BY A SINGLE INTERMEDIATE, THE CONTACT SHALL BE INSULATED FROM EACH OTHER BY A BUTYLMATE OR OTHER NON-CONDUCTIVE COATING. IF AN ASPHALT SATURATED FELT OR OTHER ARCHITECT APPROVED MEANS. METALS ARRANGED IN ORDER OF GALVANIC ACTIVITY: ALUMINUM, ZINC, GALVANIZED IRON, TIN ON STEEL, LEAD (HARD), STAINLESS STEEL, COPPER, MONEL.
32. GENERAL CONTRACTOR SHALL COORDINATE AND INSTALL ALL NECESSARY BACKING SUPPORTS FOR CABINETRY, SHELVEING, TOILET ACCESSORIES, PLUMBING FIXTURES, ETC.
33. ALL WOOD FRAMING AND BLOCKING LOCATED WITHIN CONCEALED SPACES, SUCH AS PARTITIONS ABOVE CEILINGS, ETC., SHALL BE FIRE RETARDANT.
34. ALL GYPSUM BOARD SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE UNITED STATES GYPSUM 'GYPSUM CONSTRUCTION HANDBOOK'.
35. ALL GYPSUM BOARD SHALL RECEIVE A SLOK FINISH (LEVEL 4, SMOOTH TEXTURE), UNLESS OTHERWISE NOTED.
36. AT WALLS SCHEDULED TO RECEIVE WALLCOVERING SHALL BE PREPARED TO RECEIVE WALLCOVERING BY APPLYING A FLAT OIL BASE PRIMER TO PROVIDE FULL COVERAGE TO PROHIBIT 'TELEGRAPHING' THROUGH THE WALLCOVERING.
37. GENERAL CONTRACTOR AND THE APPROPRIATE SUBCONTRACTORS SHALL COORDINATE THE LOCATION OF OUTLETS, SWITCHES, THERMOSTATS, ETC. WITH THE FURNITURE LAYOUT AND WITH CONSIDERATION GIVEN TO THE PLACEMENT OF ART, PICTURES, PLACES, ETC. THIS SHALL BE REVIEWED WITH THE ARCHITECT AND TENANT.
38. CONTRACTOR SHALL ADJUST EXISTING FIRE SPRINKLER SYSTEM AS REQUIRED BY CODE. ALL SPRINKLER HEADS SHALL BE FLUSH, FULLY CONCEALED TYPE, UNLESS OTHERWISE NOTED. FIRE SPRINKLER SUB-CONTRACTOR SHALL PREPARE AND SUBMIT SHOP DRAWINGS TO BUILDING DEPARTMENT AS REQUIRED.
39. THE EXISTING FIRE PROTECTION SYSTEM SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES DURING CONSTRUCTION. GENERAL CONTRACTOR SHALL NOTIFY THE FIRE DEPARTMENT PRIOR TO SHUTTING DOWN ANY FIRE PROTECTION SYSTEM AND NOTIFY AGAIN WHEN THE SYSTEM IS RETURNED TO NORMAL OPERATION.
40. ALL REQUIRED EXITS SHALL BE MAINTAINED DURING CONSTRUCTION.
41. ALL SLABS ON GRADE SHALL BE INSTALLED OVER VAPOR BARRIER OVER TERMITE TREATED COMPACTED FILL. SLABS SHALL BE OF THICKNESS AND REINFORCED PER STRUCTURAL DRAWINGS. VAPOR BARRIER SHALL BE MINIMUM 10 MIL POLYETHYLENE INSTALLED IN ACCORDANCE WITH F.B.C. 1807.21. TERMITE TREATMENT FILL BE ABOVE SECTION 1806 OVER PROPERLY PREPARED AND COMPACTED FILL. FILL SHALL BE PREPARED AND COMPACTED PER SOILS INVESTIGATION / RECOMMENDATIONS IF APPLICABLE AND PER F.B.C. CHAPTER 15, SECTIONS 1801 THRU 1804.
42. PRIOR TO FINAL COMPLETION, CONTRACTOR SHALL THOROUGHLY CLEAN ALL SURFACES.
43. GENERAL CONTRACTOR SHALL PROVIDE INTERIOR AND EXTERIOR CODE COMPLIANT SIGNAGE.
44. ALL CONSTRUCTION ACTIVITY REGULATED BY THIS CODE SHALL BE PERFORMED IN MANNER SO AS NOT TO ADVERSELY IMPACT THE CONDITION OF ADJACENT PROPERTY. UNLESS SUCH ACTIVITY IS PERMITTED TO AFFECT SAID PROPERTY PURSUANT TO A CONSENT BY THE APPLICABLE PROPERTY OWNER, UNDER TERMS & CONDITIONS AGREEABLE TO THE APPLICABLE PROPERTY OWNER.
45. IT SHALL BE UNLAWFUL FOR ANY PERSON TO ALLOW CONSTRUCTION RELATED MATERIALS EQUIPMENT AND DEBRIS TO REMAIN LOOSE OR OTHERWISE UNSCURED AT A CONSTRUCTION SITE FROM 24 HRS. AFTER A HURRICANE WATCH HAS BEEN ISSUED UNTIL THE HURRICANE WATCH OR WARNING HAS BEEN LIFTED. ALL SUCH CONSTRUCTION MATERIALS, EQUIPMENT AND DEBRIS SHALL BE EITHER REMOVED FROM THE CONSTRUCTION SITE OR SECURED IN SUCH A MANNER AS TO MINIMIZE THE DANGER OF SUCH CONSTRUCTION MATERIALS, EQUIPMENT AND DEBRIS CAUSING DAMAGE TO PERSONS OR PROPERTY FROM HIGH WINDS. ANY PERSONS WHO FAILS TO COMPLY TO REMOVE OR SECURE THE CONSTRUCTION MATERIALS EQUIPMENT AND DEBRIS WITHIN 24 HRS AFTER A HURRICANE WATCH HAS BEEN ISSUED SHALL BE SUBJECT TO A FINE NOT TO EXCEED \$500.00. IN ADDITION TO THE ABOVE, A LICENSED CONTRACTOR WHO VIOLATES THIS SECTION SHALL BE SUBJECT TO DISCIPLINE PURSUANT TO SECTION 15 OF THIS CHAPTER.
46. STRUCTURES UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION OPERATIONS SHALL COMPLY WITH NFPA 241.
47. THE SCOPE OF WORK SHALL NOT HINDER OR INTERFERE WITH EMERGENCY RESPONSE ACCESS TO THE PROPERTY/DEVELOPMENT OR VICINITY THEREOF (INCLUDING STREETS, ALLEYS, FIRE LANES).

1 LIFE SAFETY PLAN

SCALE: 1/16"=1'-0"

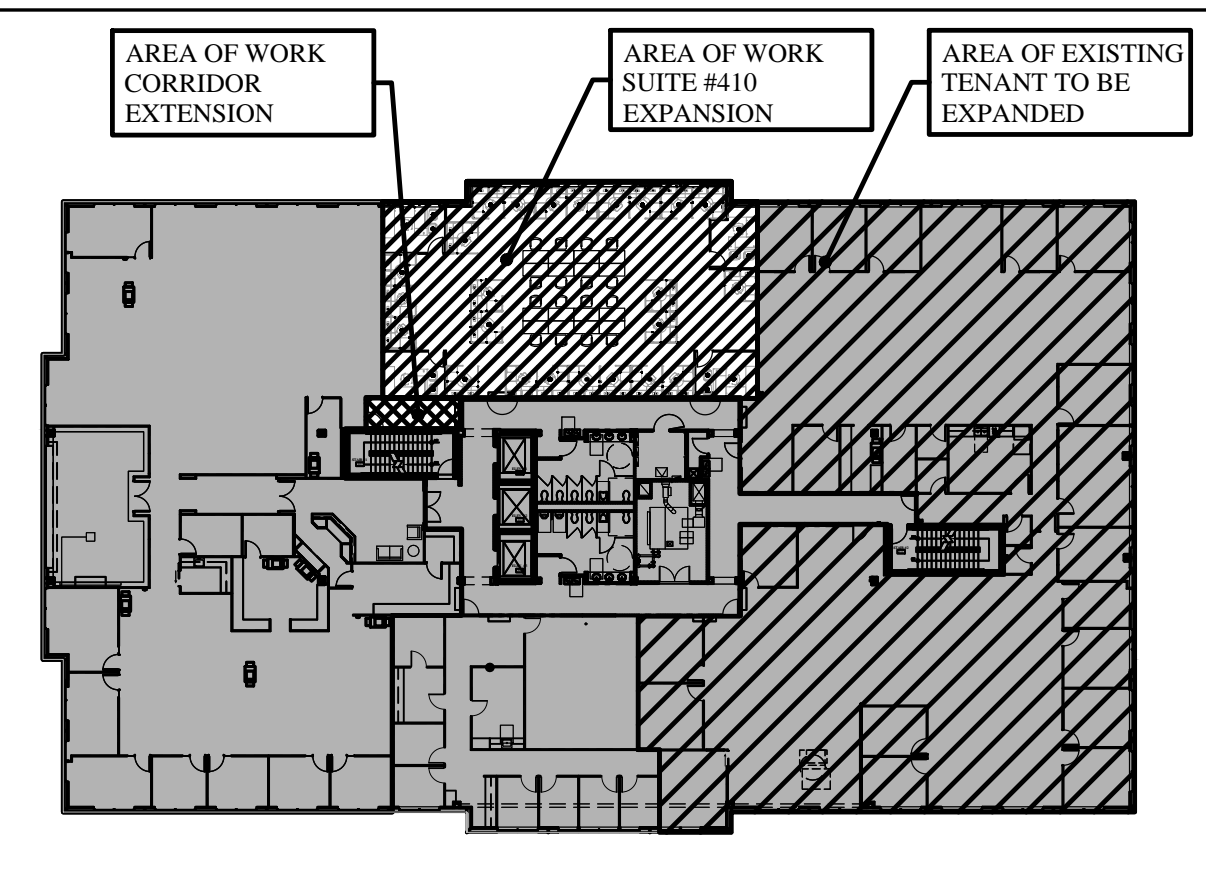
LIFE SAFETY DATA:

COMMON PATH OF TRAVEL (1026.4) ALLOWED 100FT.	SUITE 400	PROVIDED 86'-9"
EXIT ACCESS TRAVEL DISTANCE (1015.1) ALLOWED 300'	SUITE 410	PROVIDED 92'-1"
DEAD ENDS (1016.3) ALLOWED 50'		PROVIDED N.A.

WALL LEGEND

1	EXISTING TILT WALL, W/ NEW 5/8" TYPE 'X' GYP. BOARD OVER 1/2" METAL STUDS AT 16" O.C. PARTITION TO 4" ABOVE FINISH O.G.S. SEE #12/A.3.0 - G.C. SHALL MEASURE EXISTING FIELD CONDITIONS AND NOTIFY ARCH/OWNER OF DISCREPANCIES THAT RESULT RESULT FROM EXISTING BLOCK OR CONCRETE WALLS THAT ARE OUT OF PLUMB OR THICKER THEN WHAT HAS BEEN ASSUMED IN THESE DOCUMENTS
2	NEW DEMOUNTABLE PARTITION
3	EXISTING 1-HR RATED DEMISING WALL. G.C. SHALL CHECK ALL EXISTING RATED WALLS TO MAKE SURE THAT THE REQUIRED WARNING SIGNAGE IS PAINTED ABOVE CEILINGS. IF NOT THE CONTRACTOR SHALL PAINT ABOVE THE CEILING TO BE VISIBLE FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS.
4	NEW 1-HR RATED DEMISING WALL. G.C. SHALL CHECK ALL EXISTING RATED WALLS TO MAKE SURE THAT THE REQUIRED WARNING SIGNAGE IS PAINTED ABOVE CEILINGS. IF NOT THE CONTRACTOR SHALL PAINT ABOVE THE CEILING TO BE VISIBLE FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS.
FEC	FIRE EXTINGUISHER CABINET - SEE DETAIL #19/A.3.0
⊗	CEILING MOUNTED EXIT LIGHTS AS REQ'D - SEE ELECTRICAL DRAWINGS

KEY PLAN: 4TH FLOOR - N.T.S.



PROJECT SCOPE:

THE SCOPE OF THE PROJECT INVOLVES THE RELOCATION OF THE DEMISING WALL BETWEEN SUITE 4?? (NEW AREA DECREASED TO 8107 S.F.) AND SUITE 4?? (NEW AREA INCREASED TO 10,528 S.F.) ON EXISTING FLOOR. EXISTING EXIT CORRIDOR EXTENDED TO ACCOMMODATE EXIT SEPARATION REQUIREMENTS (114 S.F.)

BUILDING CODE CLASSIFICATION

-2010 FLORIDA BUILDING CODE
-FLORIDA ACCESSIBILITY CODE
-FLORIDA FIRE PREVENTION CODE 2010 EDITION
-NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS
-2008 NFPA-70 2008 EDITION - NATIONAL ELECTRIC CODE
-2007 NFPA-72 2007 EDITION
-2007 NFPA-13 2007 EDITION
-2010 FLORIDA EXISTING BUILDING CODE-ALTERATION LEVEL 2
OCCUPANCY:
CLASSIFICATION (TYPE) GROUP B (BUSINESS)
LOAD (SEE OCCUPANT LOAD CALCULATIONS BELOW)
CONSTRUCTION TYPE II-B (SPRINKLERED)

OCCUPANT FINISHES:
FBC TABLE 803.5 - FOR TYPE 'B' OCCUPANCY, FULLY SPRINKLERED, CLASS 'C' IS ALLOWABLE. NFPA 101 SEC. 10.2.8.1 & 39.3.3.2.1 & TABLE A.10.2.2

THE BUILDING HAS EXISTING AUTOMATIC FIRE SPRINKLER SYSTEM. G.C. TO SUBMIT FOR SEPARATE PERMIT FOR ANY CHANGES TO EXISTING FIRE SPRINKLER SYSTEM AND FIRE ALARM SYSTEM.

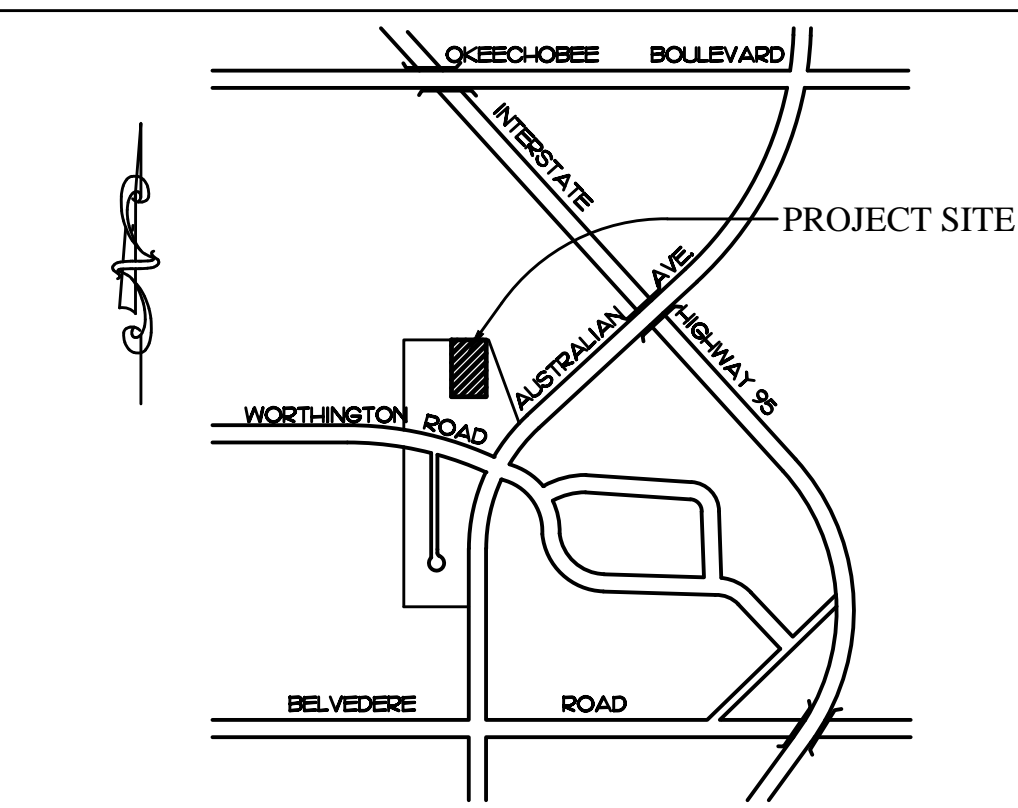
OCCUPANT LOAD CALCULATIONS

TABLE 1004.1.2			
SUITE #400	100 GROSS	8107 S.F./100	= 82
SUITE #410	100 GROSS	10528 S.F./100	= 106

INDEX OF DRAWINGS

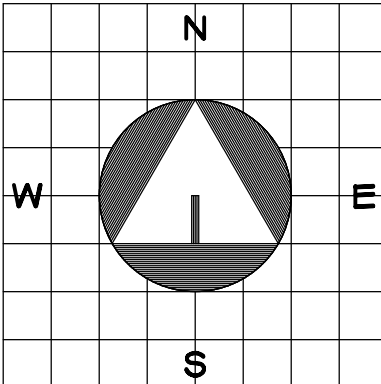
ARCHITECTURAL	
LS1-0	LIFE SAFETY PLAN AND GENERAL NOTES
A-1	PARTIAL DEMOLITION, FLOOR PLAN & DOOR SCHEDULE
A-1.1	REFLECTED CEILING PLAN & INTERIOR ELEVATIONS
A-1.2	FINISH PLAN
A-2	SPECS & DETAILS
A-3	DETAILS
MECHANICAL	
M0.1	MECHANICAL NOTES, LEGEND & INDEX
M0.2	MECHANICAL DETAILS
M2.1	MECHANICAL PLAN - UNDER FLOOR DISTRIBUTION
M2.2	MECHANICAL PLAN - OVERHEAD DISTRIBUTION
PLUMBING	
P0.1	PLUMBING NOTES, LEGEND & INDEX
P2.1	SANITARY PLAN
P3.1	DOMESTIC WATER PLAN
ELECTRICAL	
E0.1	ELECTRICAL NOTES, LEGEND & INDEX
E2.1	LIGHTING PLAN
E3.1	POWER PLAN
E5.1	ELECTRICAL RISER DIAGRAM
E6.1	ELECTRICAL PANEL SCHEDULES
FIRE ALARM	
FA0.1	FIRE ALARM NOTES AND RISER
FA2.1	FIRE ALARM PLAN

LOCATION MAP: N.T.S.



PROJECT DATA & LIFE SAFETY

SCALE: AS NOTED



Tenant Improvements For:

NOVATIONS

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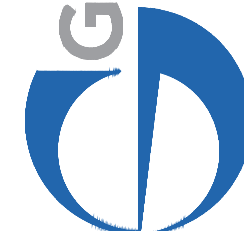
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checked by: KS

LS-1.0

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