

1 FLOOR PLAN
SCALE 1/8" = 1'-0"

DOOR NUMBER	DOOR TYPE	DOOR					FRAME		FIRE RATING LABEL	HWR GRP	NOTES
		WD	HGT	THK	MATL	FINISH	MATL	FINISH			
1712	A	3'-0"	8'-0"	1 3/4"	WOOD	STAIN	-HM	PT-3	-	B	
1713	B	6'-0"	8'-0"	1 3/4"	WOOD	STAIN	-HM	PT-3	-	A	MAG-LOCK, IN-LIE ELECTRIC STRIKE
1714	C	6'-0"	8'-0"	1 3/4"	WOOD	STAIN	-HM	PT-3	-	G	
1715	A	3'-0"	8'-0"	1 3/4"	WOOD	STAIN	-HM	PT-3	-	B	
1716	A	3'-0"	8'-0"	1 3/4"	WOOD	STAIN	-HM	PT-3	-	B	
1717	A	3'-0"	8'-0"	1 3/4"	WOOD	STAIN	-HM	PT-3	-	B	
1718	A	3'-0"	8'-0"	1 3/4"	WOOD	STAIN	-HM	PT-3	-	B	
1719	A	3'-0"	8'-0"	1 3/4"	WOOD	STAIN	-HM	PT-3	-	B	
1720	A	3'-0"	8'-0"	1 3/4"	WOOD	STAIN	-HM	PT-3	-	B	
1721	A	3'-0"	8'-0"	1 3/4"	WOOD	STAIN	-HM	PT-3	-	B	
1722	A	3'-0"	8'-0"	1 3/4"	WOOD	STAIN	-HM	PT-3	-	B	
1723	A	3'-0"	8'-0"	1 3/4"	WOOD	STAIN	-HM	PT-3	-	B	
1724	A	3'-0"	8'-0"	1 3/4"	WOOD	STAIN	-HM	PT-3	-	B	
1725	A	3'-0"	8'-0"	1 3/4"	WOOD	STAIN	-HM	PT-3	-	B	
1726	A	3'-0"	8'-0"	1 3/4"	WOOD	STAIN	-HM	PT-3	-	B	
1727	A	3'-0"	8'-0"	1 3/4"	WOOD	STAIN	-HM	PT-3	-	B	
1728	A	3'-0"	8'-0"	1 3/4"	WOOD	STAIN	-HM	PT-3	-	B	
1729	D	3'-0"	8'-0"	1 3/4"	WOOD	STAIN	-HM	PT-3	-	B	
1730	E	3'-0"	8'-0"	1 3/4"	WOOD	STAIN	-HM	PT-3	-	B	
1731	A	3'-0"	8'-0"	1 3/4"	WOOD	STAIN	-HM	PT-3	-	A	
1732	F	5'-0"	8'-0"	1 3/4"	WOOD	STAIN	-MTL	PT-3	-	F	
1733	A	3'-0"	8'-0"	1 3/4"	WOOD	STAIN	-HM	PT-3	-	D	
1734	A	3'-0"	8'-0"	1 3/4"	WOOD	STAIN	-HM	PT-3	-	F	HINGE STOP
1737	F	5'-0"	8'-0"	1 3/4"	WOOD	PT-2	-MTL	PT-3	-	F	

DOOR NOTES:

- FINAL COORDINATION OF KEYING FUNCTIONS SHALL BE WITH TENANT, KEYING TO BE INCLUDED IN TOTAL PROJECT COSTS
- ALL EXIT HARDWARE SHALL COMPLY WITH F.B.C. 2007 W/ 2009 AMENDMENTS SECTION 10B.1.9
- LEVER HARDWARE SHALL BE SCHLAGE, AL-SERIES, JUPITER LEVER, FINISH #626 SATIN C-ROME
- CLOSURES TO BE LCN & FINISH TO MATCH LEVER
- HINGES TO BE BY HAGER, FINISH US26D
- SILENCERS TO BE BY HAGER
- WALL STOP BY HAGER
- FLUSH BOLT - HAGER
- DOOR STOP BY GLYNN-JOHNSON, FINISH US32D
- DOORS 1713 & 1731 SHALL BE KEYPED IN A MANNER THAT WILL NOT PROHIBIT A PERSON FROM EXITING THE BUILDING.
- DOORS 1713 & 1731 TO RECEIVE CARD READER - COORDINATE WITH SECURITY SUBCONTRACTOR
- DOORS 1713 & 1731 TO RECEIVE ELECTRIC STRIKES - COORDINATE WITH ELECTRICAL DRAWINGS & SECURITY SUBCONTRACTOR
- ALL STAINED WOOD DOORS TO BE MARSH-FIELD DOOR SYSTEMS, WOOD SPECIES CHERRY, PLAIN SLICED, FINISH TO MATCH INTERIOR DESIGNER SAMPLE
- MARSH-FIELD DOORS TO BE THE ENVIRONMENTAL MODELS - GC TO SUBMIT CUT-SHEETS FOR APPROVAL
- ALL ACCESS-CONTROLLED EGRESS DOORS MUST COMPLY WITH FLORIDA FIRE PREVENTION CODE SECTION 7.21.6.2

HARDWARE SETS:

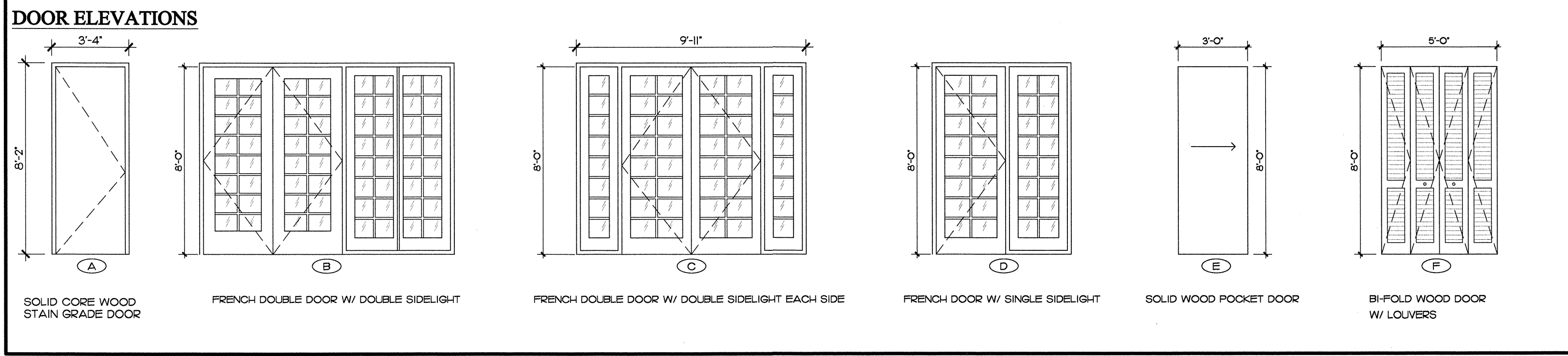
A: CARD READER-P-500 ALPS PROXIMITY READER ELECTRIC STRIKE- DORMA ES110 LEVER STOREROOM SET-W581 HINGES 4PX44 - BB168 CLOSER 2030 SILENCER 307D WALL STOP 230W	B: LEVER ENTRY/OFFICE - W511 HINGES 4PX44 - BB1279 SILENCER 307D WALL STOP 230W	C: LEVER ENTRY/OFFICE - W511 HINGES 4PX44 - BB1279 SILENCER 307D DOOR STOP 410-S	D: LEVER STOREROOM W581 HINGES 4PX44 - BB1279 SILENCER 307D CLOSURE - LCN 2010 DOOR STOP 410-S
E: POCKET DOORS (2) SLIDING DOOR EDGE PULLS IVES 230826D	F: LEVER PASSAGE SET - W101 HINGES 4PX44 - BB1279 SILENCER 307D WALL STOP 230W	G: LEVER PASSAGE SET - W101 HINGES 4PX44 - BB1279 SILENCER 307D DOOR STOP 410-S	

PLAN KEY NOTES

- A** NEW BUILT-IN CABINETS BY GC. BLOCKING TO BE PROVIDED BY GC
- B** WALL MOUNTED TV LOCATION - GC TO PROVIDE FRM BACKING WITHIN WALL
- C** NEW SINGLE COMPARTMENT SINK - SEE PLUMBING DRAWINGS

PARTITION AND SYMBOL KEY

1	EXISTING EXTERIOR WALL
2	NEW PARTITION SEE DETAIL 4/A-3.0
3	EXISTING 1-HR RATED DEMISING WALL G.C. SHALL CHECK ALL EXISTING RATED WALLS TO MAKE SURE THAT THE REQUIRED WARNING SIGNAGE IS PAINTED ABOVE CEILING. IF NOT THE CONTRACTOR SHALL PAINT ABOVE THE CEILING TO BE VISIBLE "FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS"
4	NEW SOUND PARTITION TO BOTTOM OF DECK- SEE DETAIL 17/A-5.0
5	EXISTING PARTITION TO REMAIN-GC TO PATCH AND REPAIRS WALLS TO RECEIVE PAINT
17XX	DOOR NUMBER
PEC	FIRE EXTINGUISHER CABINET - SEE DETAIL 14/A-2.0
⊙	NEW CEILING MOUNTED EXIT LIGHTS AS REQ'D - SEE ELECTRICAL DRAWINGS



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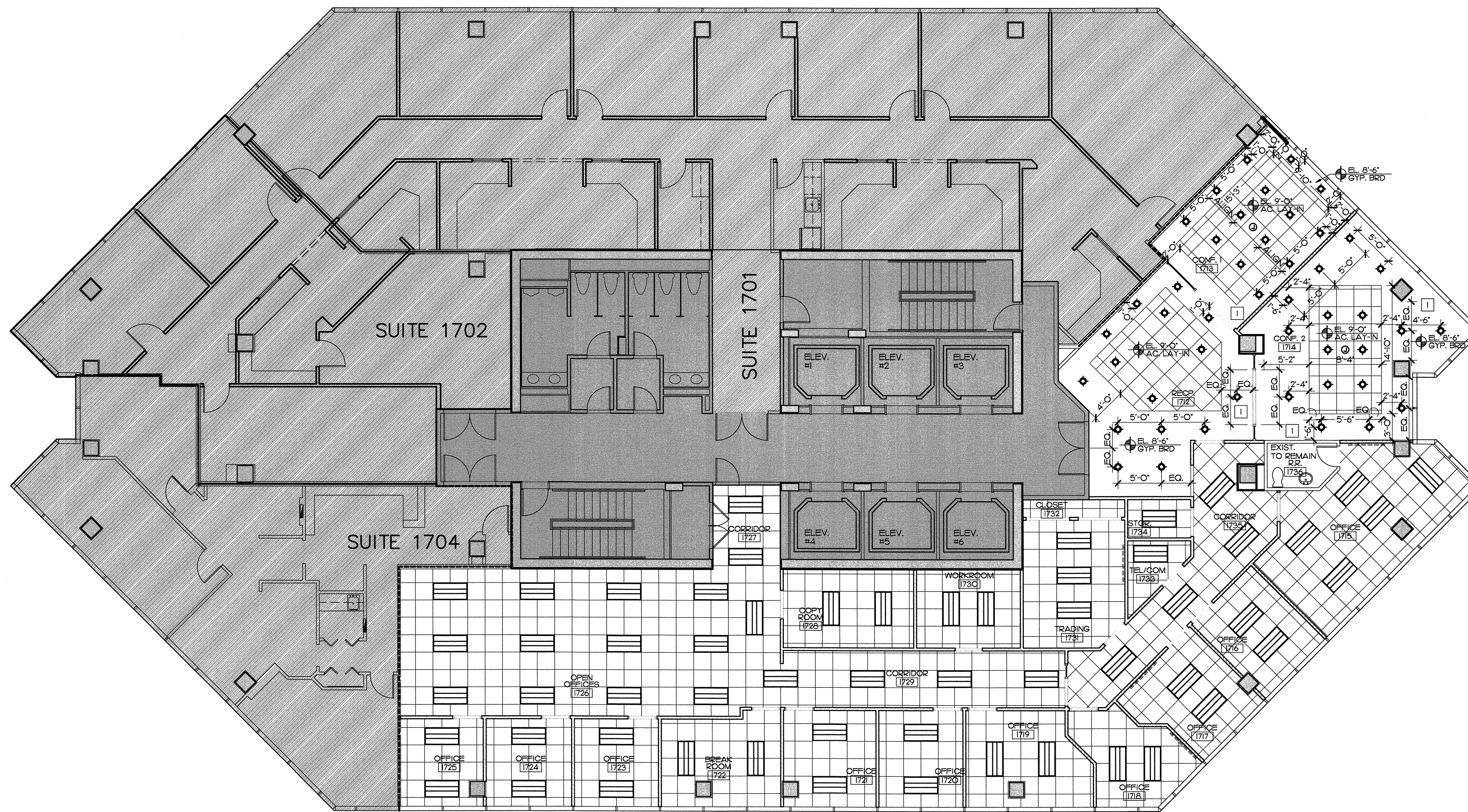
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drawn by: BUJOE
checked by: KS

17TH FLOOR PLAN
SCALE 1/8" = 1'-0"
0' 4' 8' 16' 32'

A-1.0



1 REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

REFLECTED CEILING LEGEND

- NEW 24"x24" SUSPENDED ACOUSTICAL CEILING SYSTEM - SEE FINISH NOTES SHEET A-1.2 FOR SPECIFICATION.
- 2'x4' FLUORESCENT INDIRECT LIGHT FIXTURE
- DOWNLIGHT
- CEILING FINISH - ALL CEILING TO BE 8'-6" UNLESS OTHERWISE NOTED

NOTES
1. ALL EMERGENCY LIGHT FIXTURES SHALL HAVE THE TEST BUTTONS MOUNTED INSIDE THE FIXTURE

CEILING KEY NOTES

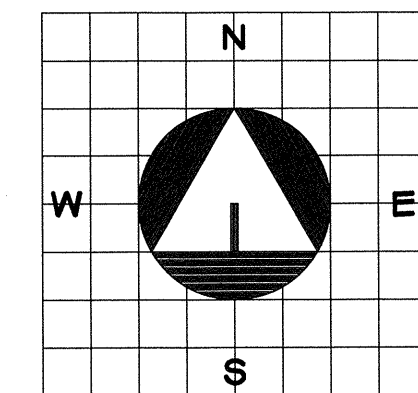
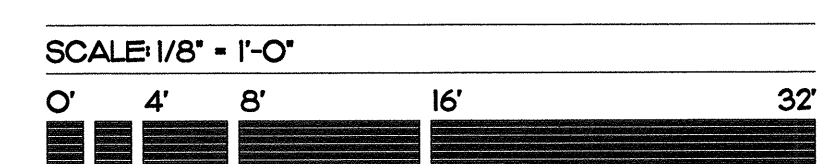
- 1 NEW PAINTED GYPSUM BOARD SOFFIT.
- 2

PARTITION LEGEND

- 1 EXISTING EXTERIOR WALL
- 2 NEW PARTITION SEE DETAIL 4/A-3.0
- 3 EXISTING I-R RATED DEMISING WALL
G.C. SHALL CHECK ALL EXISTING RATED WALLS TO MAKE SURE THAT THE REQUIRED WARNING SIGNAGE IS PAINTED ABOVE CEILINGS. IF NOT THE CONTRACTOR SHALL PAINT ABOVE THE CEILING TO BE VISIBLE "FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS"
- 4 NEW SOUND PARTITION TO BOTTOM OF DECK - SEE DETAIL 17/A-5.0
- 5 EXISTING PARTITION TO REMAIN-GC TO PATCH AND REPAIRS WALLS TO RECEIVE PAINT

- DOOR NUMBER
- FIRE EXTINGUISHER CABINET - SEE DETAIL 14/A-2.0
- NEW CEILING MOUNTED EXIT LIGHTS AS REQ'D - SEE ELECTRICAL DRAWINGS

REFLECTED CEILING PLAN



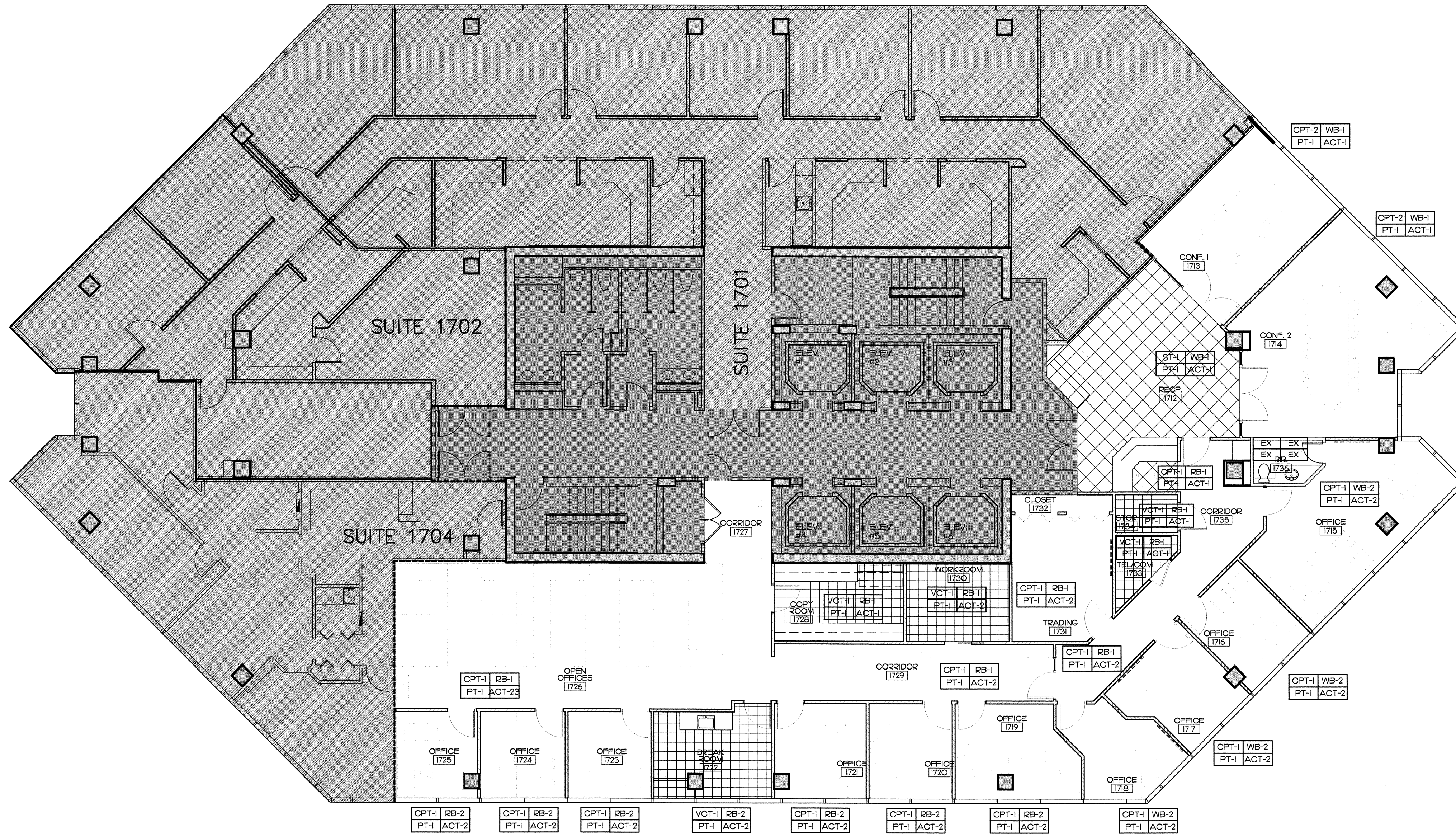
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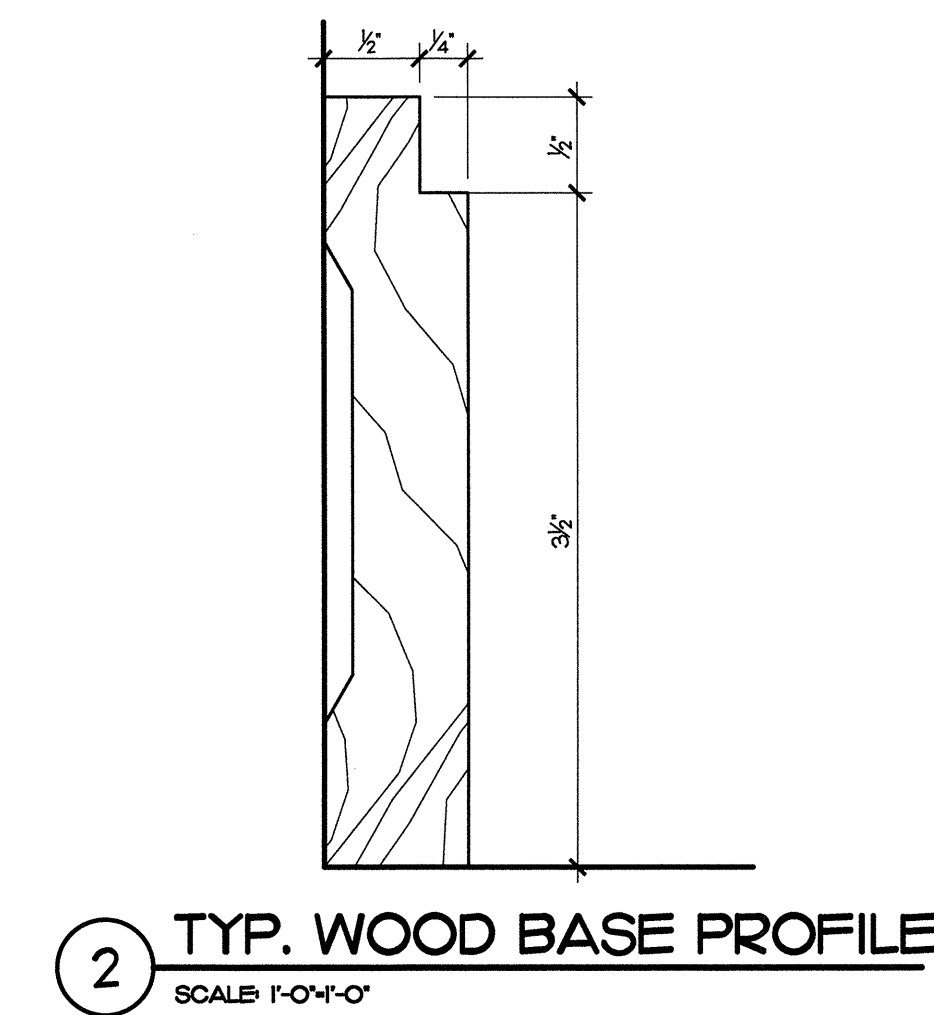
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checked by: **KS**
revisions:

A-1.1



1 FINISH & FURN. PLAN PLAN
SCALE: 1/8" = 1'-0"



2 TYP. WOOD BASE PROFILE
SCALE: 1'-0" = 1'-0"

FINISH SPECIFICATIONS

GENERAL NOTE:
GLIDDEN AND SPINA SHALL QUALIFY GENERAL CONTRACTORS AND SUBCONTRACTORS FOR WALL COVERINGS, CARPET AND TILE FINISHES.

FLOOR FINISHES
CONTRACTOR SHALL REMOVE EXISTING FLOOR COVERING, AND PREPARE CONCRETE SLAB TO ACCEPT FLOOR FINISHES AS PER FINISH SCHEDULE. AT MATERIAL TRANSITIONS, CONTRACTOR TO PROVIDE LEVELING TO EXTEND 2' TO CREATE A GRADUAL SLOPE AND TRANSITIONS SHALL NOT BE GREATER THAN 1/2". FINISH TO BE WITHIN 1/2" IN 10' UNLESS OTHERWISE APPROVED IN NON-CIRCULATION AREAS. PROVIDE SLAB FLASHING AT TRANSITION BETWEEN STONE / TILE AND CARPET WITH 1/8" PER FOOT MAX. SLOPE. CONTRACTOR SHALL PROVIDE TRANSITION STRIPS AS MANUFACTURED BY SCHLUTER AT TILE/CARPET TRANSITIONS. MODEL #N225 AT 3/4" STONE AND MODEL #M60 AT 1/2" STONE TRANSITIONS. FINISH: BRUSHED CHROME. GC TO VERIFY FIELD CONDITIONS WORK WITH MODEL #3. ALL FLOOR MATERIAL CHANGES TO HAVE THE APPROPRIATE SCHLUTER TRANSITION. CARPET TO BE SUPPLIED AND INSTALLED BY OWNER. CONTRACTOR SHALL TOUCH-UP WOOD BASE, DOORS, AND CASING AFTER CARPET IS INSTALLED.

CARPET
CARPET SHALL BE INSTALLED DIRECT GLUE DOWN. AT MATERIAL TRANSITIONS, SUBCONTRACTOR TO PROVIDE LEVELING TO EXTEND 6' TO CREATE A GRADUAL SLOPE AND TRANSITIONS SHALL NOT BE GREATER THAN 1/2". SUBCONTRACTOR SHALL PROVIDE SEAMING DIAGRAM TO DESIGNER FOR APPROVAL. POST CARPET INSTALLATION-NO PLASTIC PROTECTION SHALL BE USED. CARPET ADHESIVE SHALL NOT EXCEED THE VOC CONTENT LIMITS OF ADHESIVES, SEALANTS AND SEALANT PRIMERS SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) RULE #168 REQUIREMENTS IN EFFECT ON JULY 1, 2008 AND RULE AMENDMENT DATED JANUARY 7, 2005. CARPET MEETS THE CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM. CARPET IS RECLAIMABLE AND IS RECLAIMED. CARPET ADHESIVE SHALL NOT EXCEED VOC LIMIT 50 G/L. BIT TO CARPET RUBBER TRANSITION STRIP, JOHNSONITE, COLOR TBD.

CPT-1 = CARPET 1: TBD
CPT-2 = CARPET 2: TBD

STONE TILE
SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR. STONE TO BE INSTALLED OVER A MEDIUM BED WITH A SCHLUTER TRANSITION EDGE AT MATERIAL CHANGE, AND CRACK SUPPRESSION SYSTEM. STONE AND GROUT SHALL RECEIVE A PENETRATING SEALER TO PREVENT STAINING, INCLUDING VANITY TOPS. ACTUAL MATERIAL SHALL BE APPROVED BY TENANT/DESIGNER PRIOR TO INSTALLATION.

ST-1 = STONE TILE 1:
• MANUFACTURE: DALTILE
• NAME: BOTTICINO FIORITO MARBLE #M704
• SIZE: 12"x12"
• FINISH: POLISHED
• TILE JOINT: "CREDIT CARD"
• GROUT: LATICRETE - COLOR #44 BRIGHT WHITE

VCT TILE
ACTUAL MATERIAL SHALL BE APPROVED BY DESIGNER PRIOR TO INSTALLATION.
VCT-1
• MANUFACTURE: ARMSTRONG
• NAME: TBD
• COLOR: TBD
• SIZE: 12"x12"

WALL BASES
ALL WOOD SHALL BE FINISHED BY A QUALITY AWI WORKSHOP. ALL MILLWORK SHALL BE SHOP FINISHED. FINISH SAMPLES SHALL BE SUBMITTED TO INTERIOR DESIGNER FOR APPROVAL PRIOR TO FABRICATION. BASE/TRIM SHALL BE TOUCHED UP AFTER CARPET IS INSTALLED BY GENERAL CONTRACTOR.

WOOD BASE
• **WB-1 = WOOD BASE:**
• STAIN GRADE CHERRY WOOD
• FINISH TO MATCH INTERIOR DESIGNER SAMPLE
• **WB-2 = WOOD BASE:**
• PAINT GRADE WOOD
• FINISH TO MATCH INTERIOR DESIGNER SAMPLE

RUBBER BASE
• RUBBER BASE MATERIAL AND INSTALLATION BY G.C.
• **RB-1 = RUBBER BASE:** 4H CONTINUOUS COVE BASE WITH PRE-FORMED CORNERS COLOR: ____TBS____.

WALL FINISHES
• GYPSUM BOARD - SMOOTH Slick FINISH (LEVEL 4, SMOOTH TEXTURE) READY TO RECEIVE PAINT OR SMOOTH FINISH READY TO RECEIVE WALLPAPER.
• GENERAL CONTRACTOR SHALL PRIME WITH A LOW-VOC PRIMER ON GYPSUM BOARD TO RECEIVE WALL COVERING AND SHALL NOT EXCEED THE VOC CONTENT LIMITS ESTABLISHED IN GREEN SEAL STANDARD GS-II, PAINTS, FIRST EDITION, MAY 20, 1993 AND SHALL PROVIDE FULL COVERAGE TO PROHIBIT "TELEGRAPHING" OF TAPE JOINTS THROUGH THE WALLCOVERING. SEE FINISH SCHEDULE FOR LOCATIONS.

PAINT
2 COATS OF PROGREEN 200 PAINT. SEE PLANS AND INTERIOR ELEVATIONS FOR LOCATIONS. PROVIDE WALL SAMPLE FOR DESIGNER APPROVAL.

PT-1 = PAINT #1
• MANUFACTURE: SHERWIN WILLIAMS
• COLOR: SELECTED BY TENANT
• FINISH: WASHABLE FLAT

PT-2 = PAINT #2
• MANUFACTURE: SHERWIN WILLIAMS
• COLOR: SELECTED BY TENANT
• FINISH: WASHABLE FLAT

PT-3 = PAINT #3 @ METAL DOOR FRAMES
• MANUFACTURE: SHERWIN WILLIAMS
• COLOR: SELECTED BY TENANT
• FINISH: SEMI-GLOSS

CEILING FINISHES
ALL NEW BLUJHEADS OR SOFFITS SHALL BE PAINTED. PAINT SHALL NOT EXCEED THE VOC CONTENT LIMITS ESTABLISHED IN GREEN SEAL STANDARD GS-II, PAINTS, FIRST EDITION, MAY 20, 1993. SEE REFLECTED CEILING PLAN FOR PAINT FINISH LOCATIONS. CONTRACTOR TO LAYOUT CEILING GRID AS SHOWN ON PLAN. TEGULAR EDGES IN ANY VISIBLE AREAS CONTAINING LINEAR AIR BARS, LIGHTS AND SOFFITS SHALL BE FACTORY PAINTED.

DRYWALL SOFFITS:
2 COATS OF PROGREEN 200 LATEX FLAT WALL PAINT ON ALL NEW GYPSUM BOARD CEILINGS AS NOTED ON PLAN.

PT-4 = PAINT #4
• MANUFACTURE: SHERWIN WILLIAMS
• COLOR: HWY 7005 PURE WHITE
• FINISH: WASHABLE FLAT

ACOUSTICAL CEILING
ACT-1 = TILE #1
• MANUFACTURE: ARMSTRONG
• SERIES: ULTIMA #912-42C
• SIZE: 2X2 QUALITY TEGULAR EDGE - WHITE
• GRID: 9/16" SUPRAPINE XL RC - COLOR: WHITE.

CABINERY
• STONE TOPS AT ROOMS 1712
• STONE 2

LAMINATES
PL-1
• MANUFACTURE: T.B.D.
• COLOR: T.B.D.
• FINISH: TEXTURED

PL-2
• MANUFACTURE: T.B.D.
• COLOR: T.B.D.

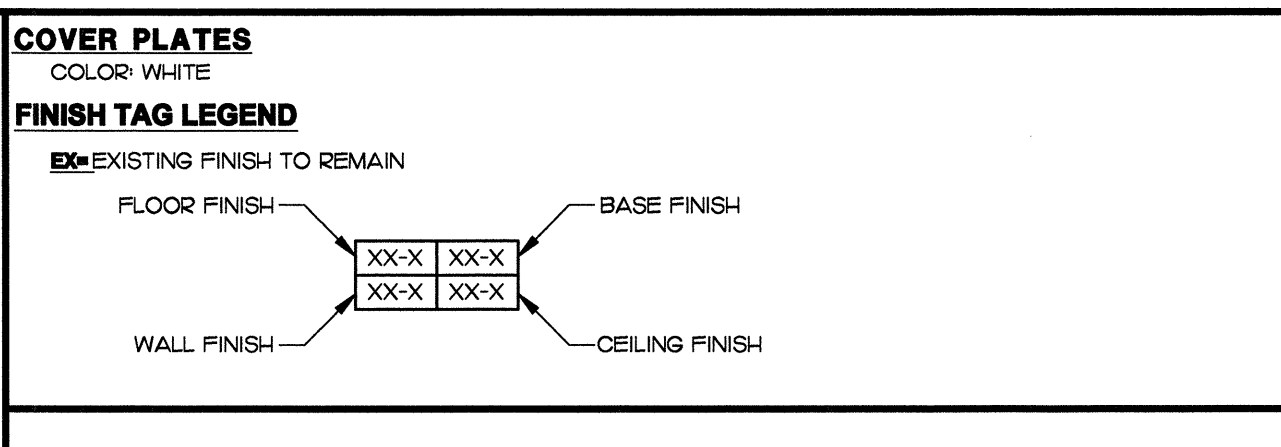
CABINETS DECORATIVE HARDWARE
PULLS: 4" WIRE PULLS - MANUFACTURE: HAFELE - MODEL: #HAF-58459 - COLOR: BRUSHED CHROME. USE AT ALL PLASTIC LAMINATE CABINETS.

WOOD
• ALL WOOD SHALL BE STAIN GRADE CHERRY. COLOR TO MATCH ID SAMPLE FINISH TO MATCH ID SAMPLE.
• CASING - STAIN GRADE CHERRY WOOD - COLOR TO MATCH ID SAMPLE FINISH TO MATCH ID SAMPLE.
• ACCENT WOOD - RECEPTION DESK - SEE INTERIOR ELEVATIONS.
• PAINT GRADE WOOD SHALL NOT EXCEED THE VOC CONTENT LIMITS ESTABLISHED IN GREEN SEAL STANDARD GS-II, PAINTS, FIRST EDITION, MAY 20, 1993.

• STAIN GRADE WOOD, CLEAR WOOD FINISHES, STAINS, SEALERS AND SHELLACS SHALL NOT EXCEED THE VOC CONTENT LIMITS OF SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) RULE #13, ARCHITECTURAL COATINGS, RULES IN EFFECT ON JANUARY 1, 2004.

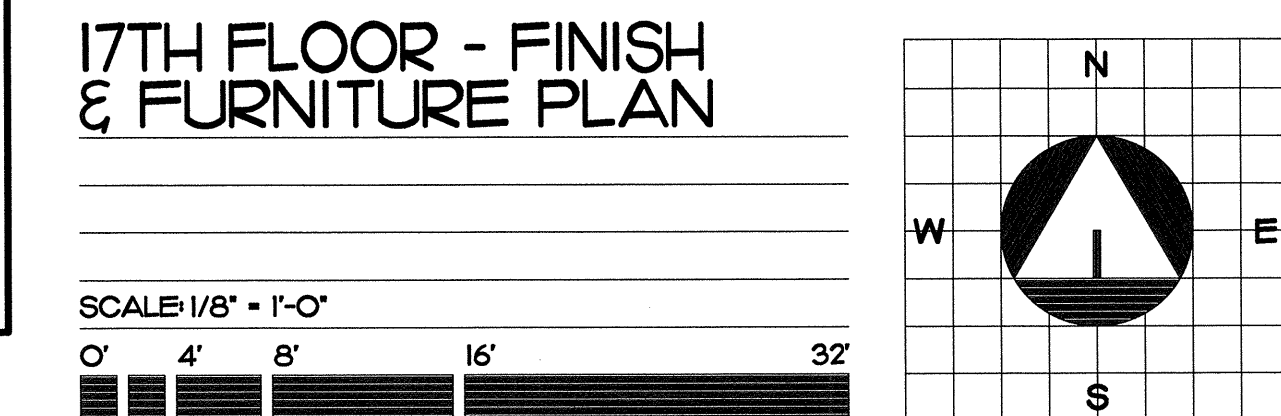
APPLIANCES
CONTRACTOR TO PROVIDE ARCHITECT WITH CUT SHEETS FOR APPLIANCES FOR APPROVAL.

1. REFRIGERATOR WITH ICE-MAKER BY TENANT
2. DISHWASHER BY TENANT



FURNITURE NOTES

- DRAWING FOR REFERENCE ONLY.
- ALL FURNITURE SHALL BE PROVIDED AND INSTALLED BY TENANT.
- G.C. TO COORDINATE ALL FLOOR CORE DRILLING LOCATIONS AND ANY POWER AND JUNCTION BOXES LOCATED BEHIND FURNITURE WITH FURNITURE INSTALLER PRIOR TO CORE DRILLING AND ROUGH ELEC. SEE ELECTRICAL DRAWINGS FOR CORE DRILLING LOCATIONS.
- PRIOR TO CORE DRILLING G.C. MUST X-RAY OR RADIOGRAPH CONCRETE FLOOR SLAB (GPR NOT ACCEPTABLE) OF ALL CORE DRILL LOCATIONS AND HAVE LOCATIONS APPROVED WITH LANDLORD PRIOR TO CORE DRILLING.
- COORDINATE EXACT LOCATIONS OF FURNITURE WITH INSTALLER.
- SEE FINISH SPECIFICATIONS AND INTERIOR ELEVATIONS FOR EQUIPMENT TO BE SUPPLIED AND INSTALLED BY G.C.



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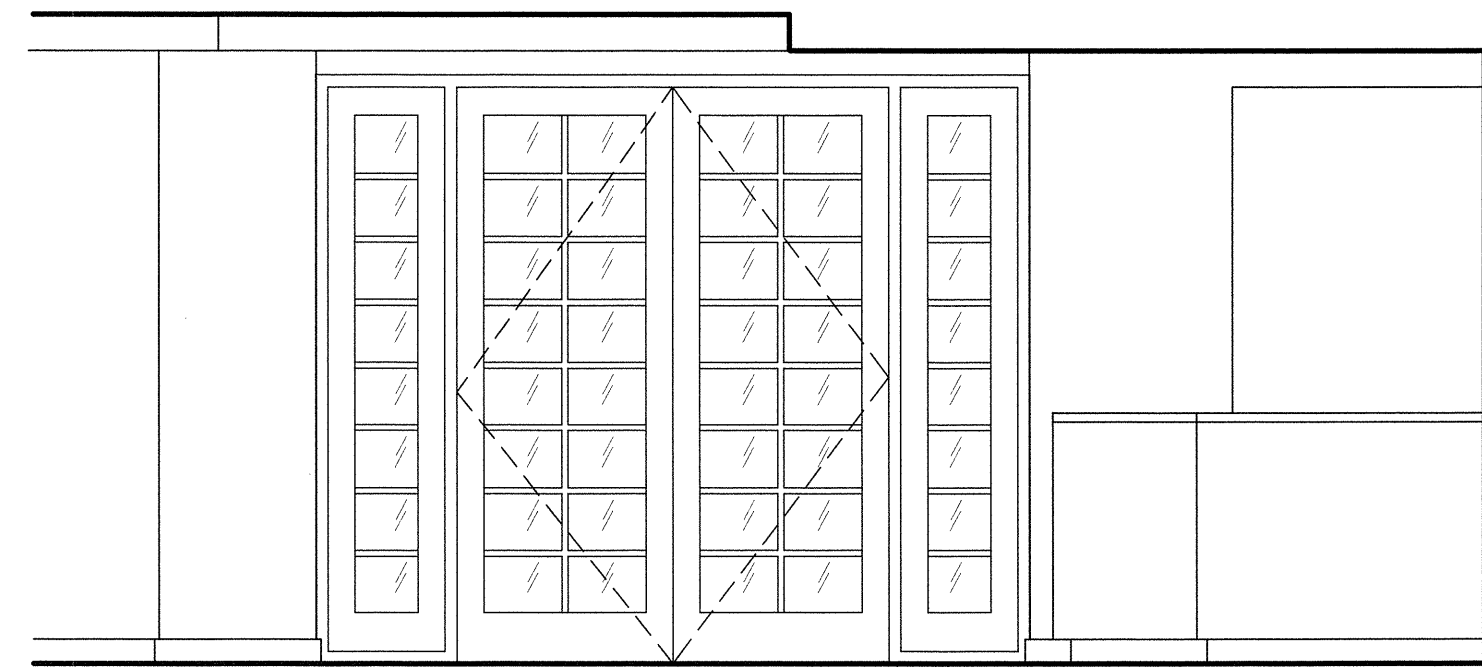
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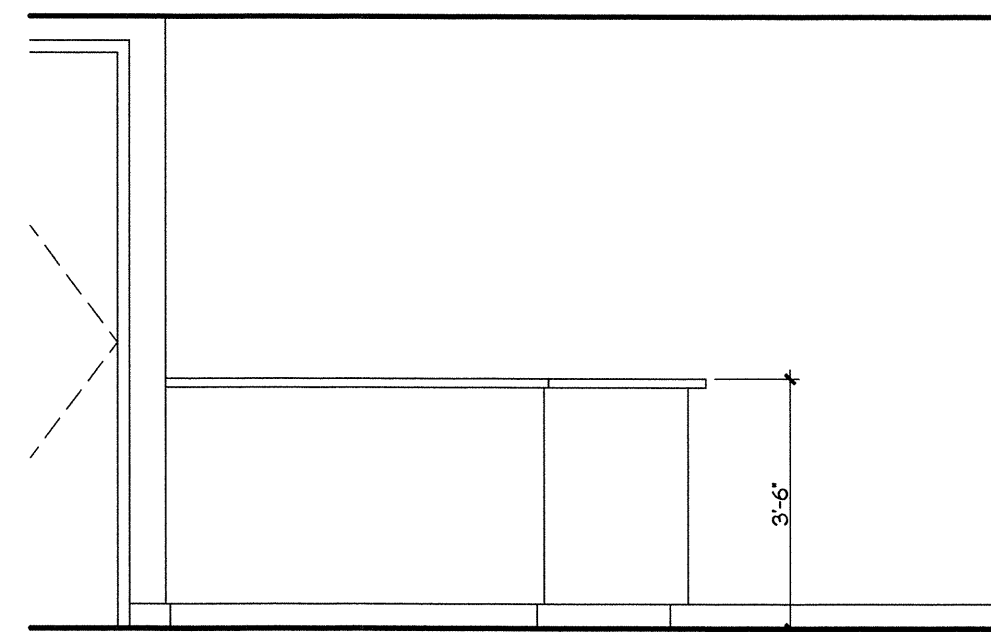
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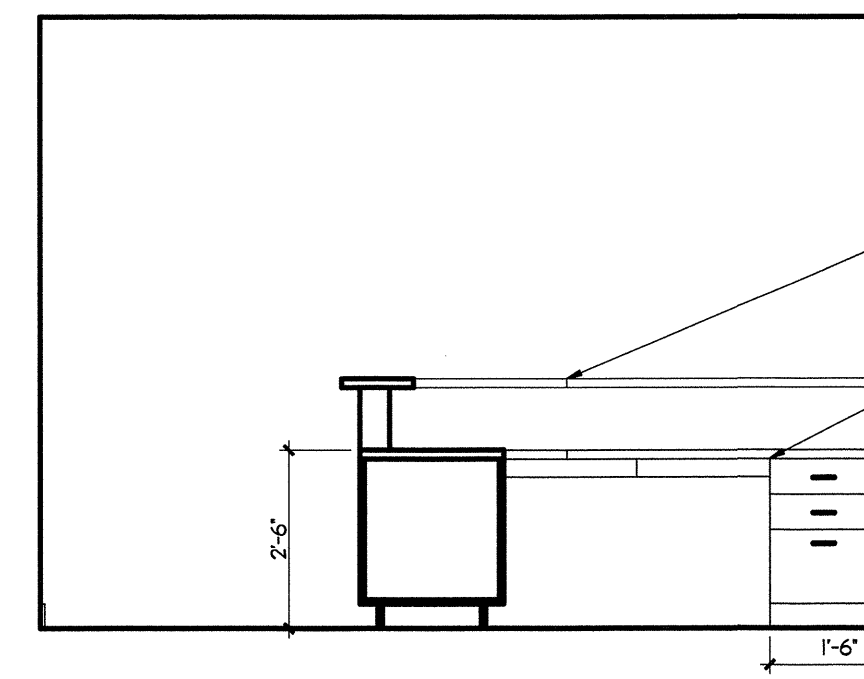
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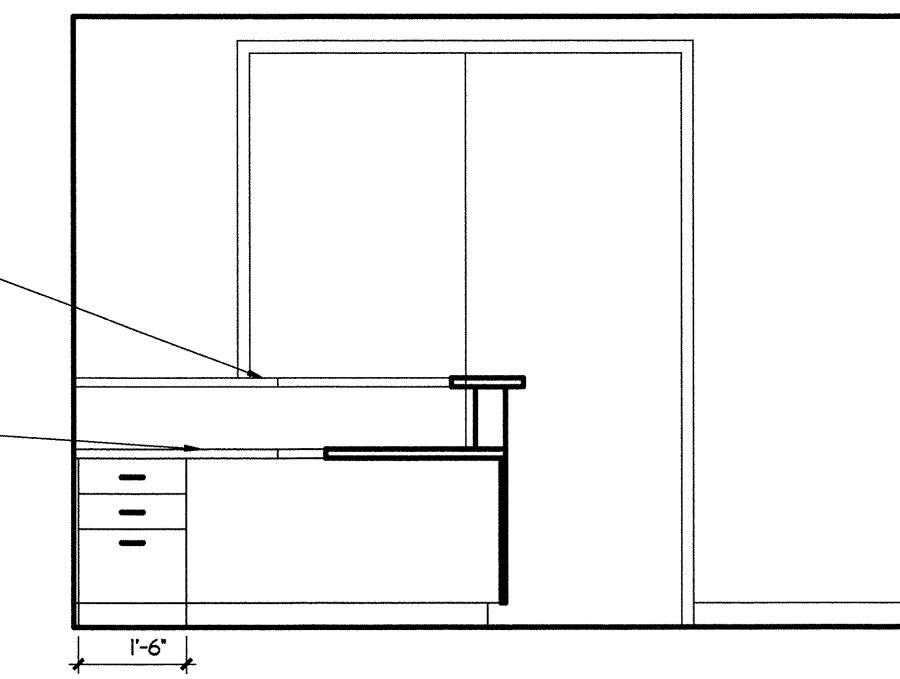
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SCALE 3/8"=1'-0"



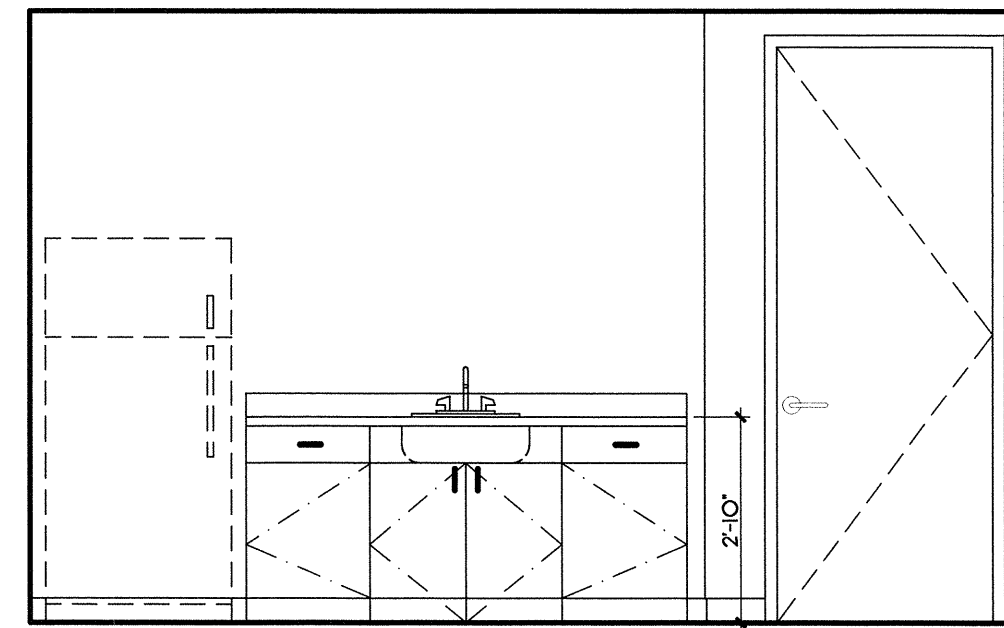
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SCALE 3/8"=1'-0"



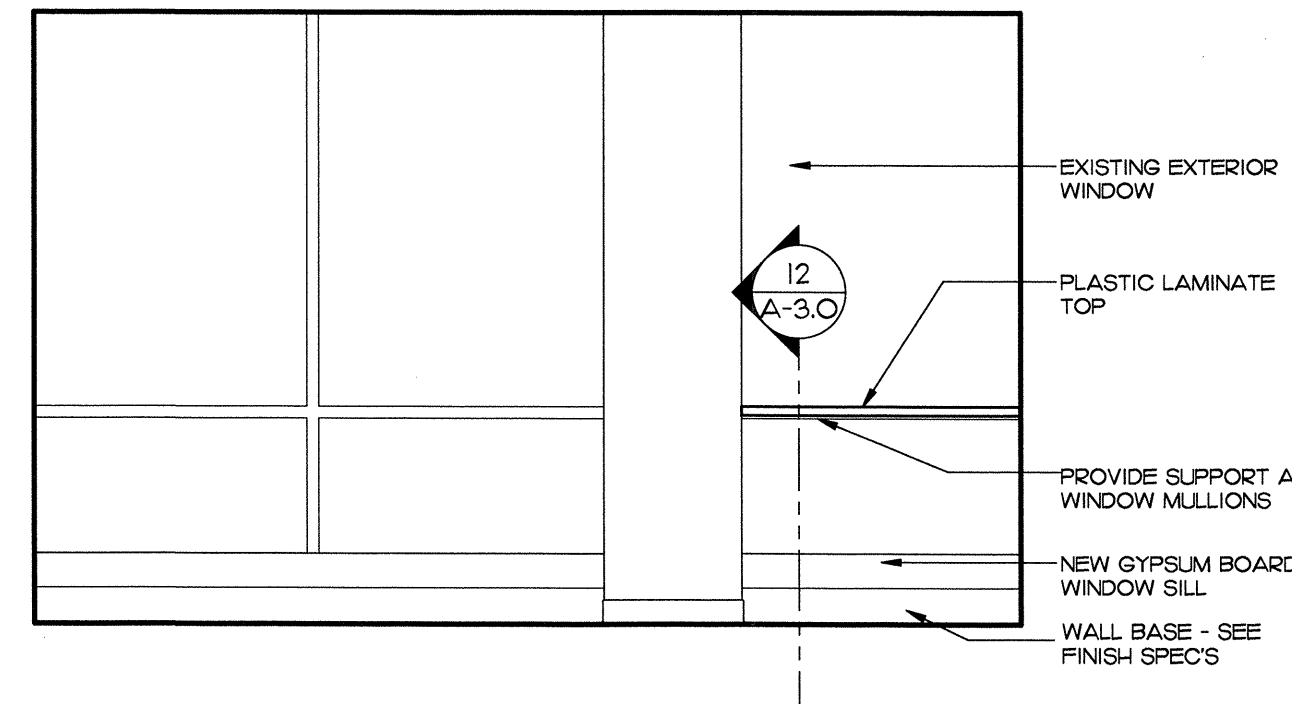
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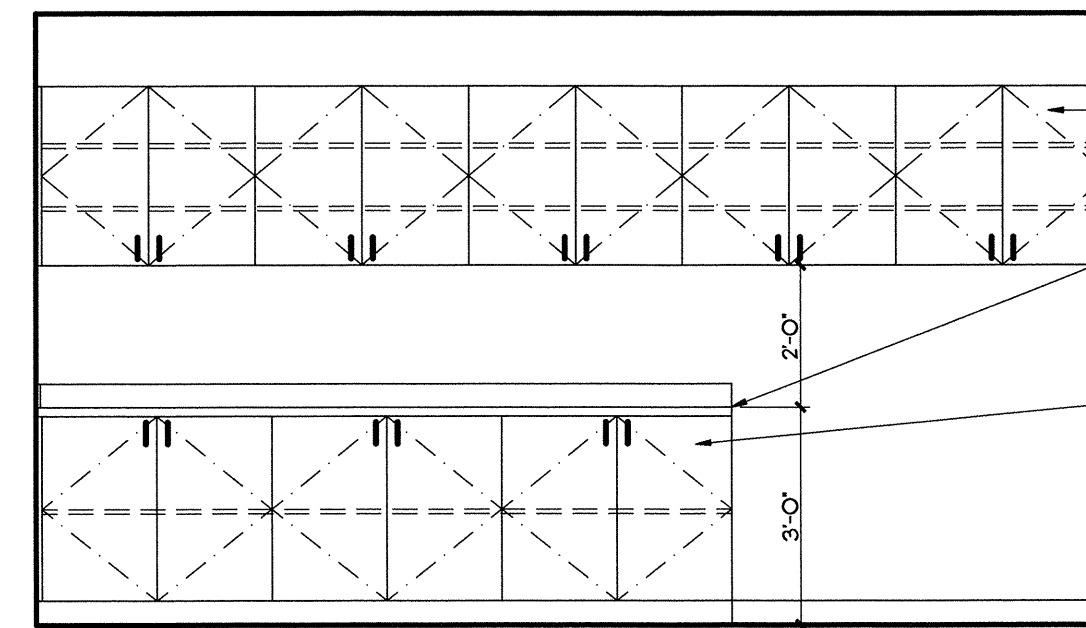
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SCALE 3/8"=1'-0"



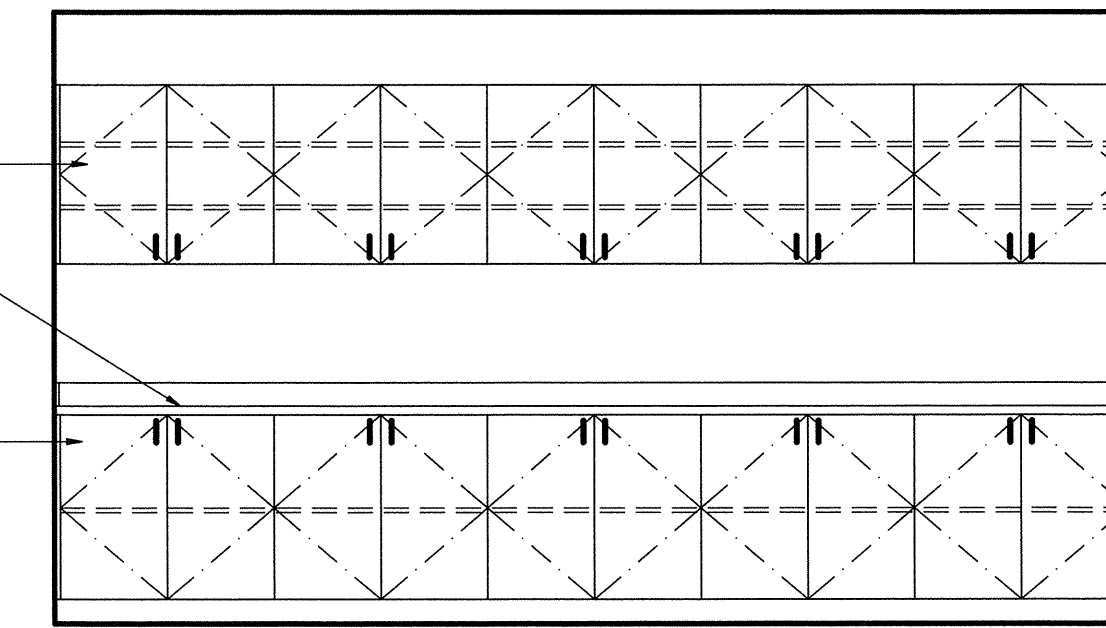
5 BREAKROOM 1722
SCALE 3/8"=1'-0"



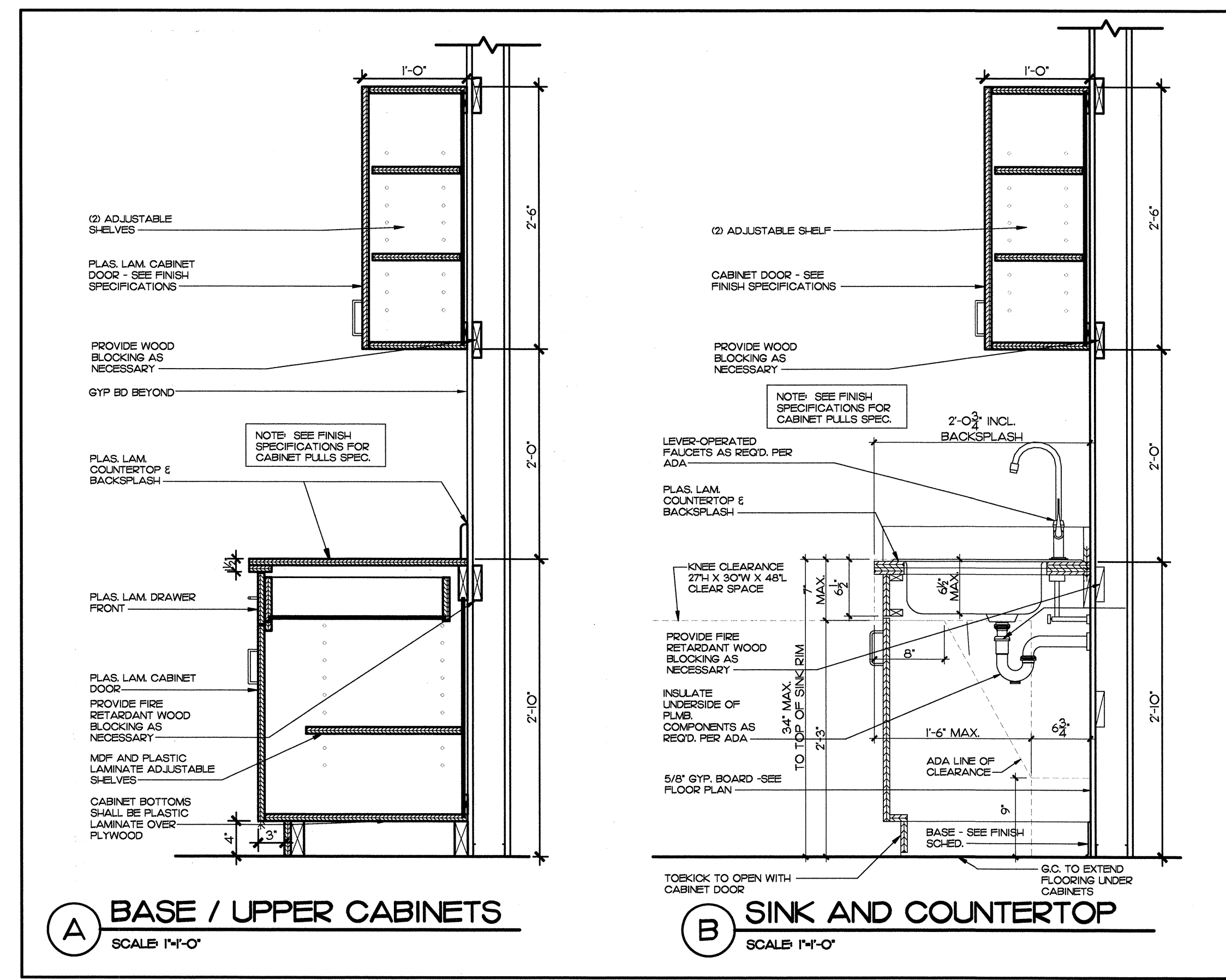
6 BREAKROOM 1722
SCALE 3/8"=1'-0"



7 COPY ROOM 1728
SCALE 3/8"=1'-0"

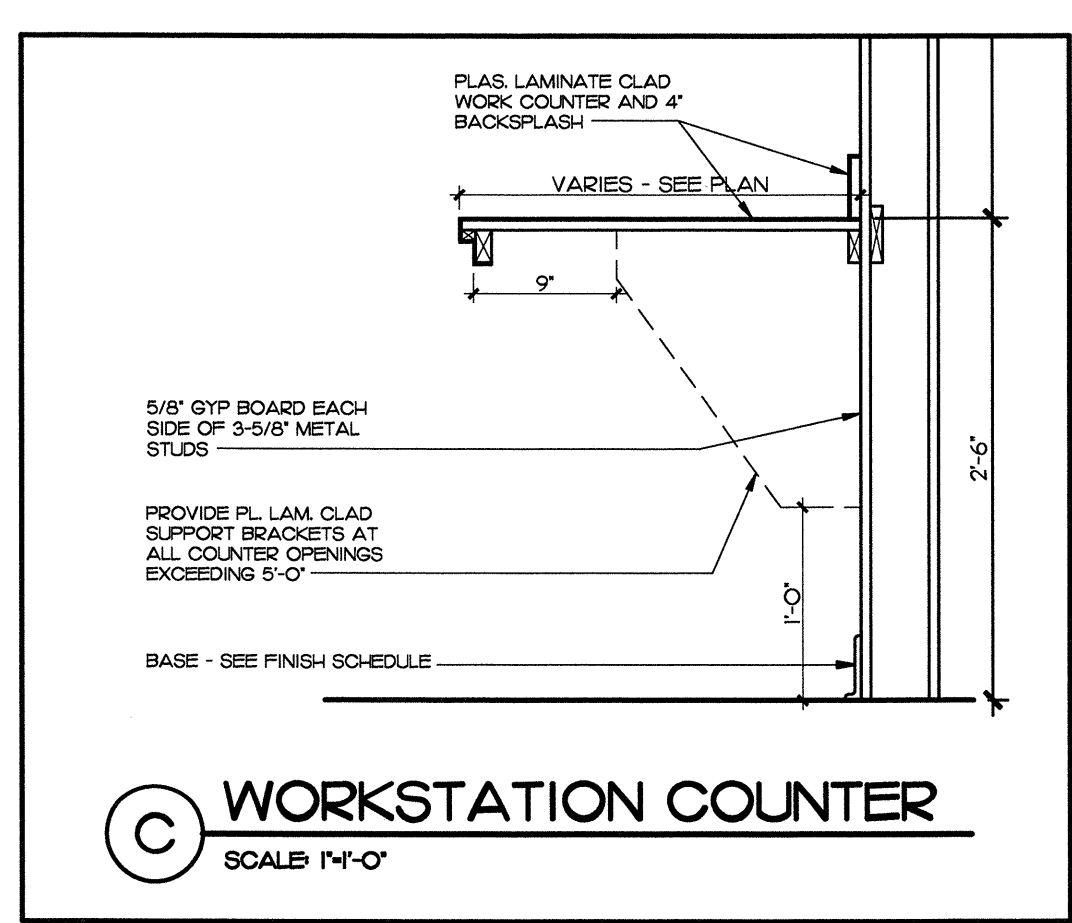


8 COPY ROOM 1728
SCALE 3/8"=1'-0"



A BASE / UPPER CABINETS
SCALE 1"=1'-0"

B SINK AND COUNTERTOP
SCALE 1"=1'-0"



C WORKSTATION COUNTER
SCALE 1"=1'-0"

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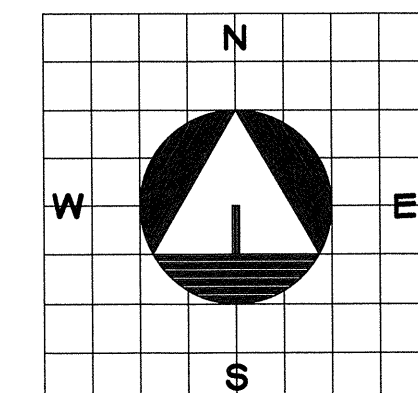
TENANT IMPROVEMENTS FOR:
NH NOWLEN, HOLT & MINER, P.A.
CERTIFIED PUBLIC ACCOUNTANTS
AT NORTHBRIDGE CENTER
515 N. FLAGLER DR., SUITE 1700
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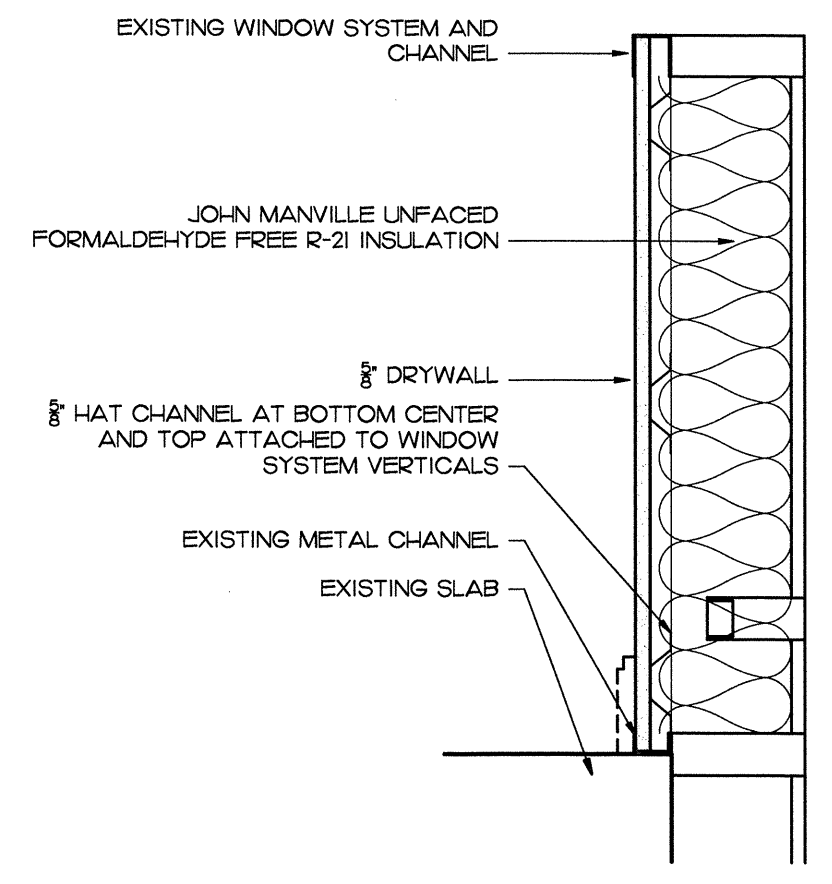
sheet title: 17TH FLOOR PLAN
file name: N17MFP.DWG
project no: 11198
date: 11/01/11
drawn by: BJOE
checked by: KS

17TH FLOOR PLAN

SCALE 1/8" = 1'-0"
0' 4' 8' 16' 32'



A-2.0



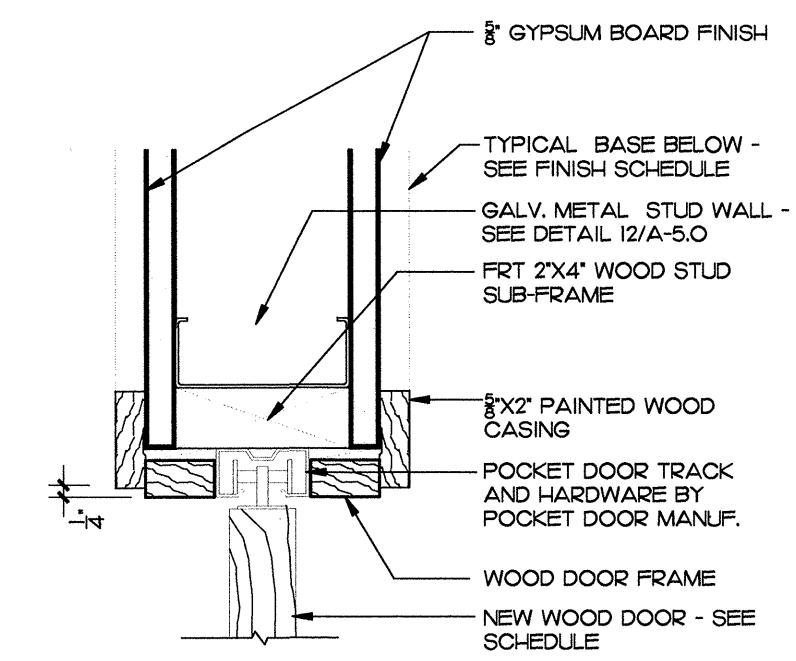
13 EXTERIOR WALL/ SILL
SCALE: 1/2"=1'-0"

INTERIOR FRAMING LIMITING HEIGHTS

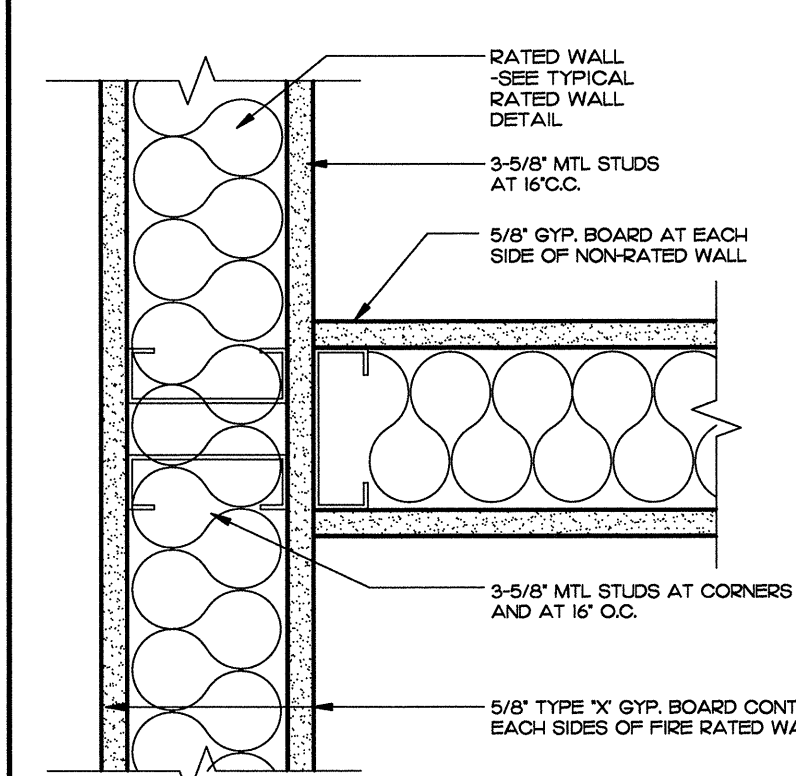
STUD DEPTH	STUD SPACING (IN)	DESIGN LIMIT (PSF)	ALLOWABLE DEFLECTION	20 GAUGE FINISH
1 1/2"	16	5	L/240	9'-6"
2"	16	5	L/240	12'-10"
3 1/2"	16	5	L/240	16'-5"
4"	16	5	L/240	14'-6"
6"	16	5	L/240	24'-6"

NOTES:
 1. LIMITING HEIGHTS APPLY TO WALLS CONSTRUCTED WITH A MINIMUM 1/2" THICKNESS OF GYPSUM BOARD AND WITH A MINIMUM OF ONE FULL-EIGHT FRAMING ON BOTH SIDES OF THE STUD FRAMING.
 2. LIMITING HEIGHTS ARE BASED ON TESTS CONDUCTED WITH GYPSUM BOARD ATTACHED WITH SCREWS SPACED 12" O.C. TO FRAMING MEMBERS.
 3. THIS LIMITING HEIGHT DATA IS FROM ASTM C754. OGS&P PRESENTS THIS INFORMATION ONLY AS REFERENCE AND WILL NOT BE RESPONSIBLE FOR THE PERFORMANCE OF WALLS BASED ON THIS TABLE. CONSULT CURRENT INFORMATION FROM ASTM C754 AND SSMA AND THE STUD MANUFACTURERS FOR LIMITING HEIGHT CHARACTERISTICS OF THEIR PARTICULAR PRODUCT.
 4. CONTRACTOR TO SUBMIT PRODUCT APPROVAL AND MANUFACTURER SPECIFICATIONS TO ARCHITECT.
 5. INSTALL 20 GA. FRAMING AT ALL WALLS WITH CABINETS OR PANELING.

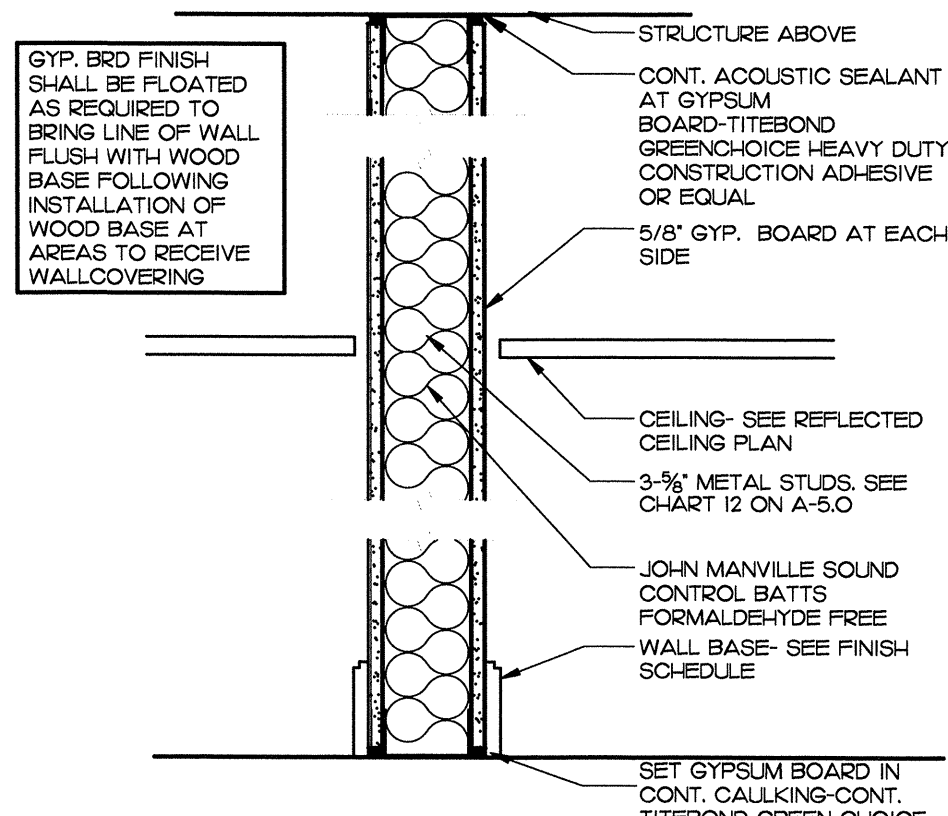
9 INTERIOR FRAMING
SCALE



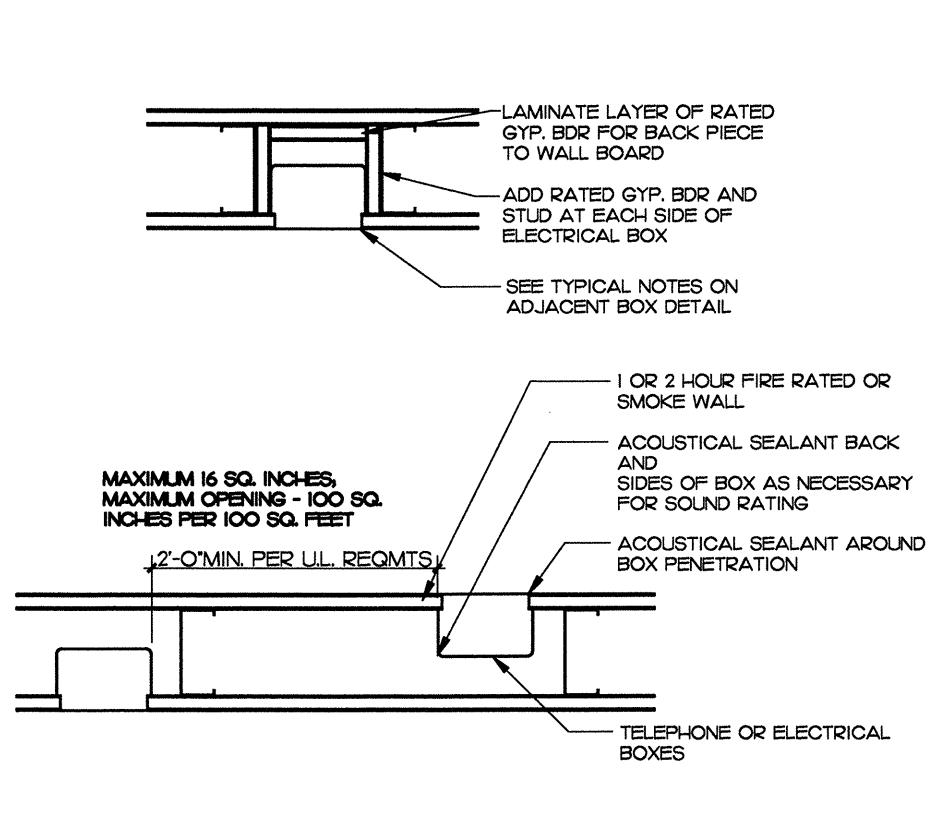
5 SECTION AT POCKET DOOR HEAD
SCALE: 3/4"=1'-0"



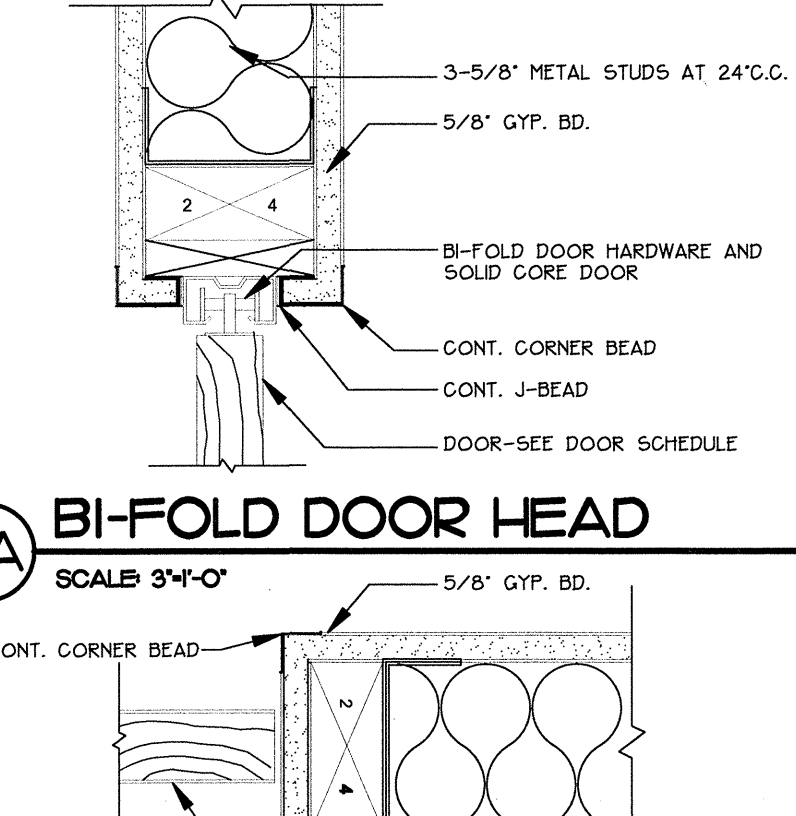
1 PLAN DETAIL AT INTERSECTION AT I-HR WALL
SCALE: 3/4"=1'-0"



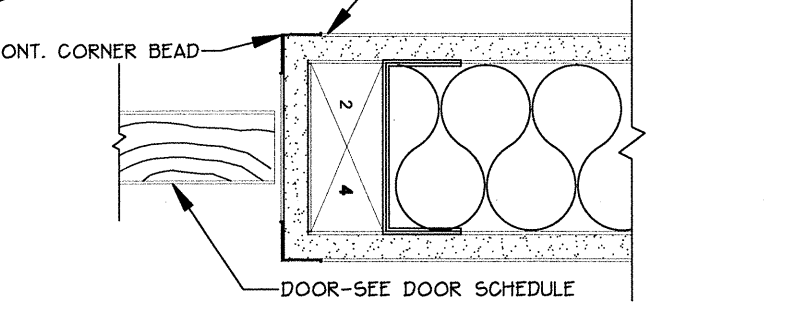
14 SOUND PARTITION WALL
SCALE: 1/2"=1'-0"



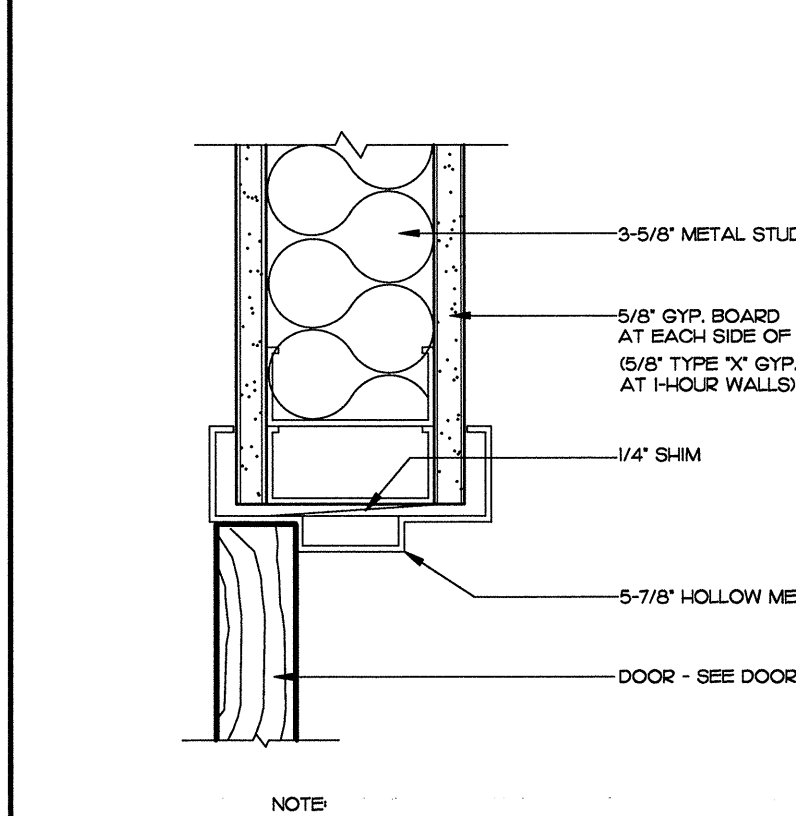
10 RATED WALL OPENINGS
SCALE: 1/2"=1'-0"



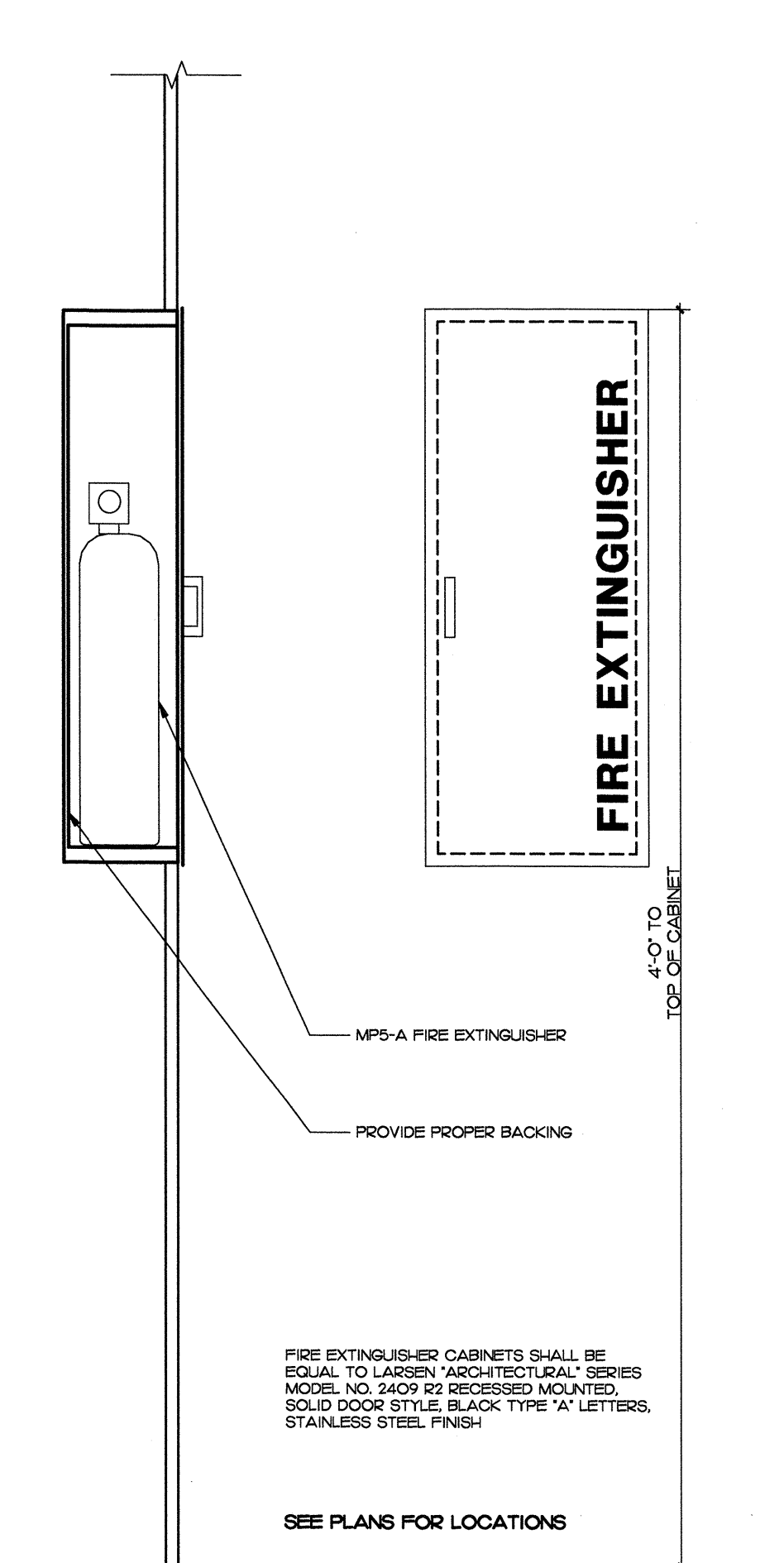
6A BI-FOLD DOOR HEAD
SCALE: 3/4"=1'-0"



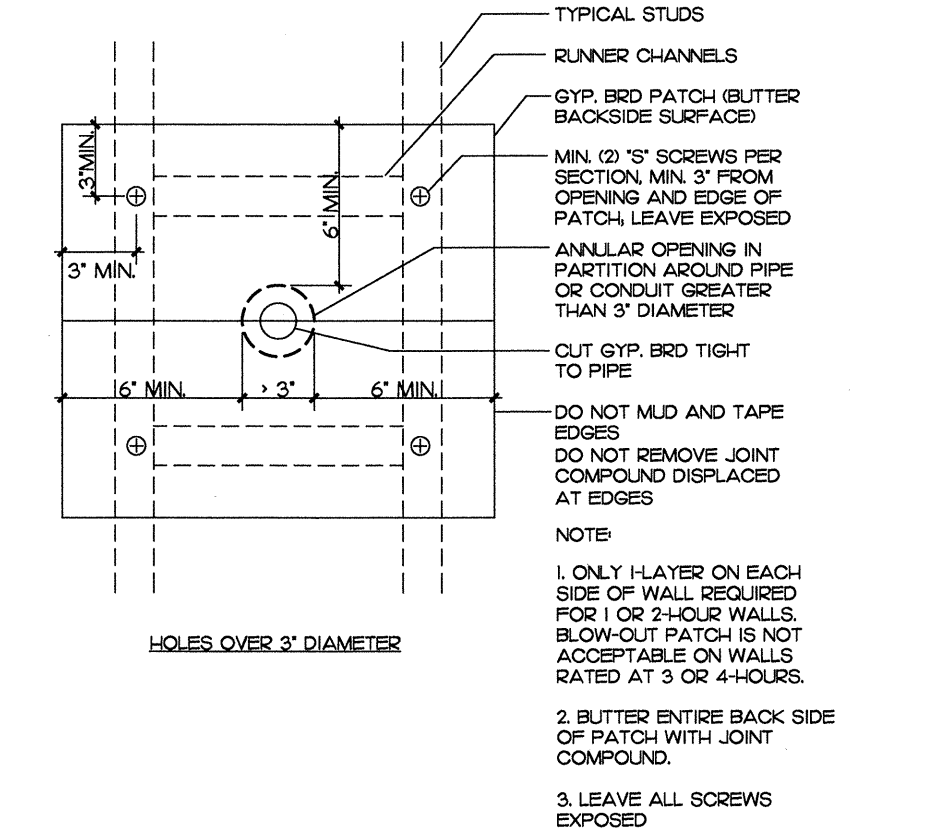
6B BI-FOLD DOOR JAMB
SCALE: 3/4"=1'-0"



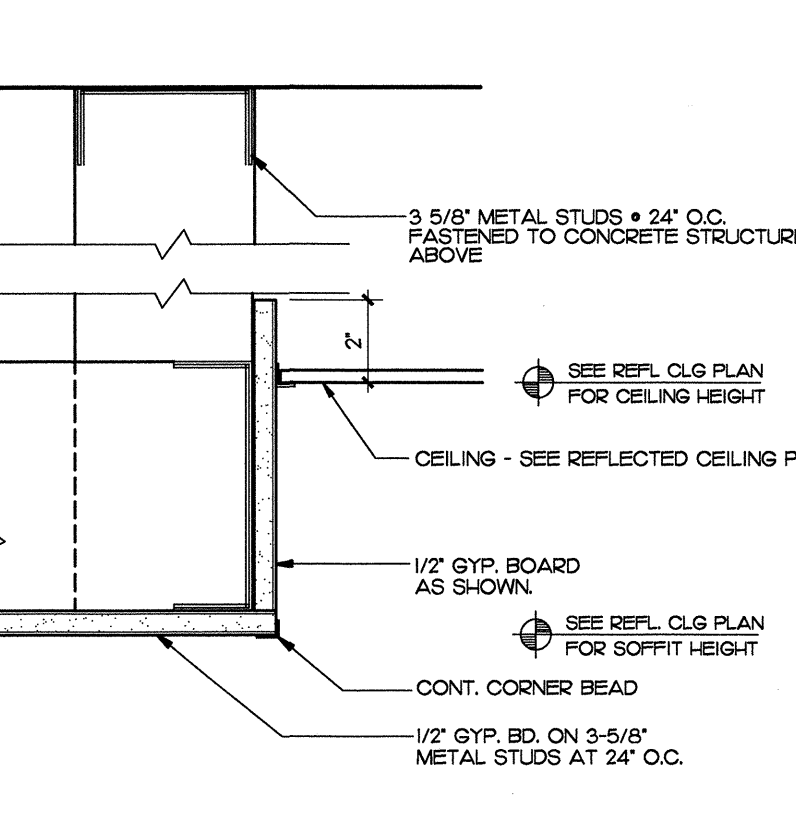
2 DETAIL AT INT. DOOR HEAD/JAMB
SCALE: 3/4"=1'-0"



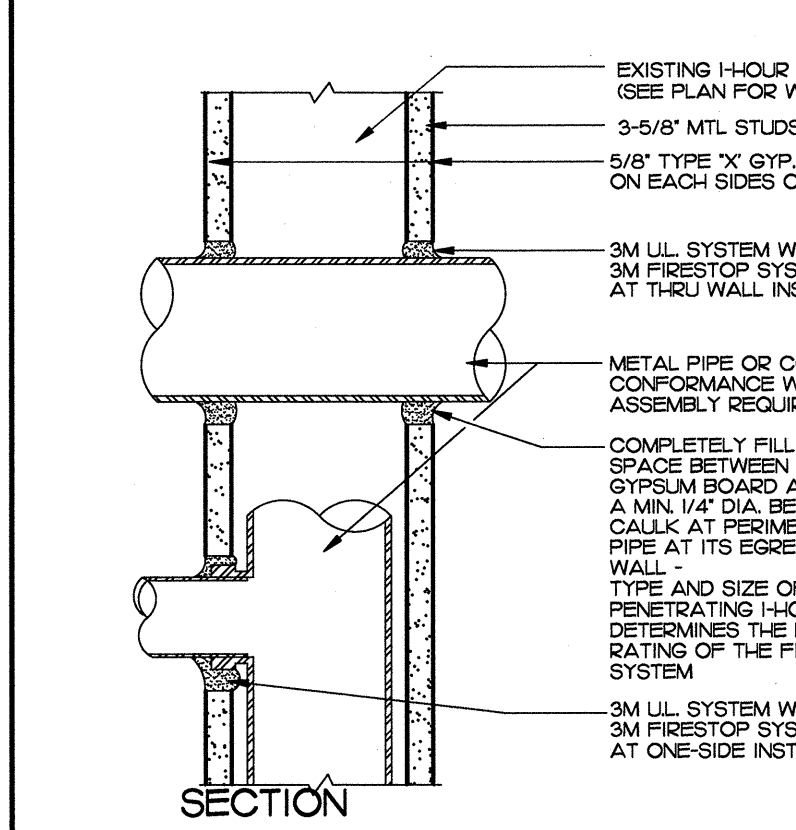
15 SECTION / ELEVATION FIRE EXTINGUISHER MOUNTING
SCALE: 1/2"=1'-0"



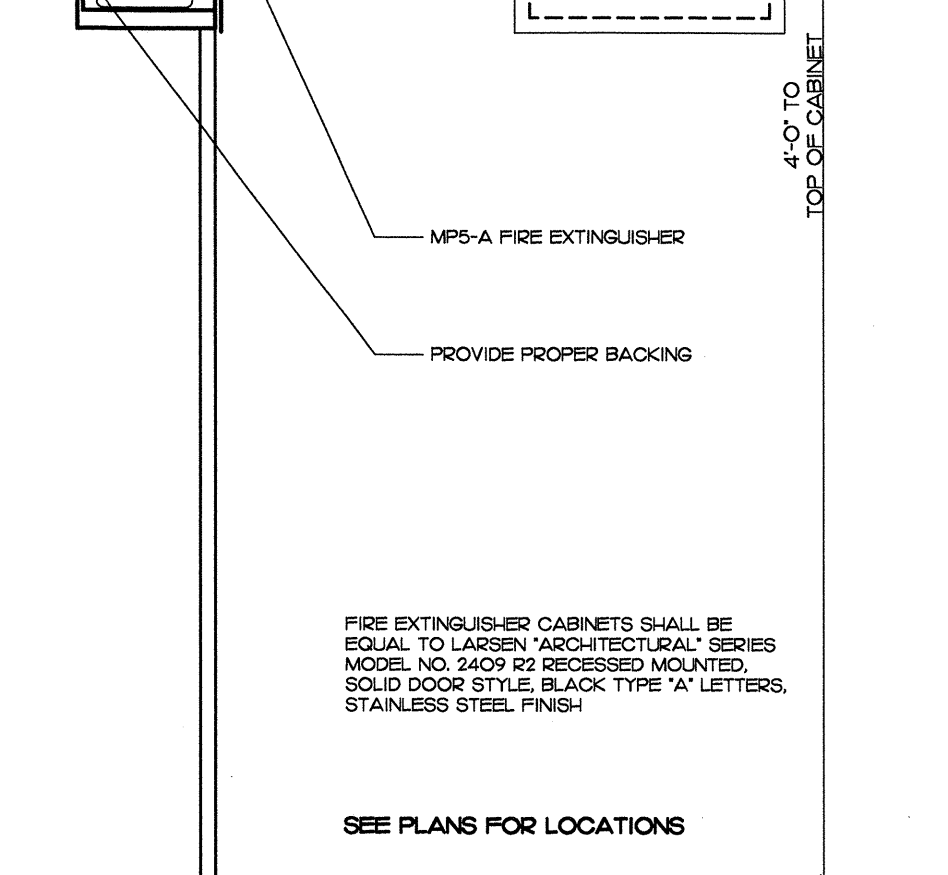
11 MULTIPLE PIPE/CONDUIT PENETRATION AT I HR WALL
SCALE: 1/2"=1'-0"



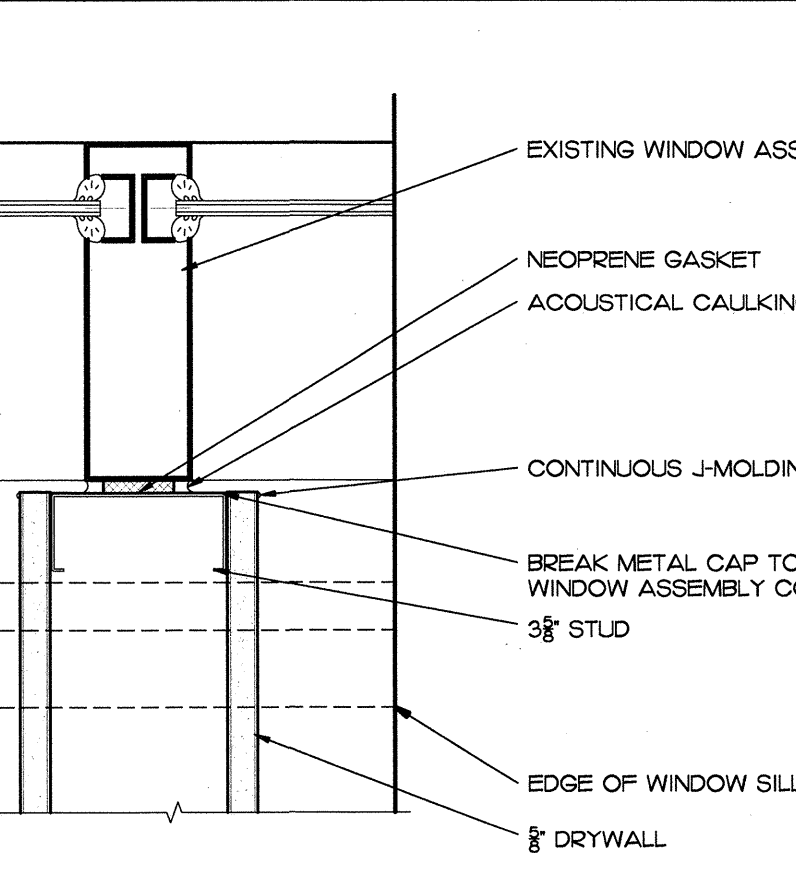
7 SECTION AT SOFFIT DETAIL
SCALE: 3/4"=1'-0"



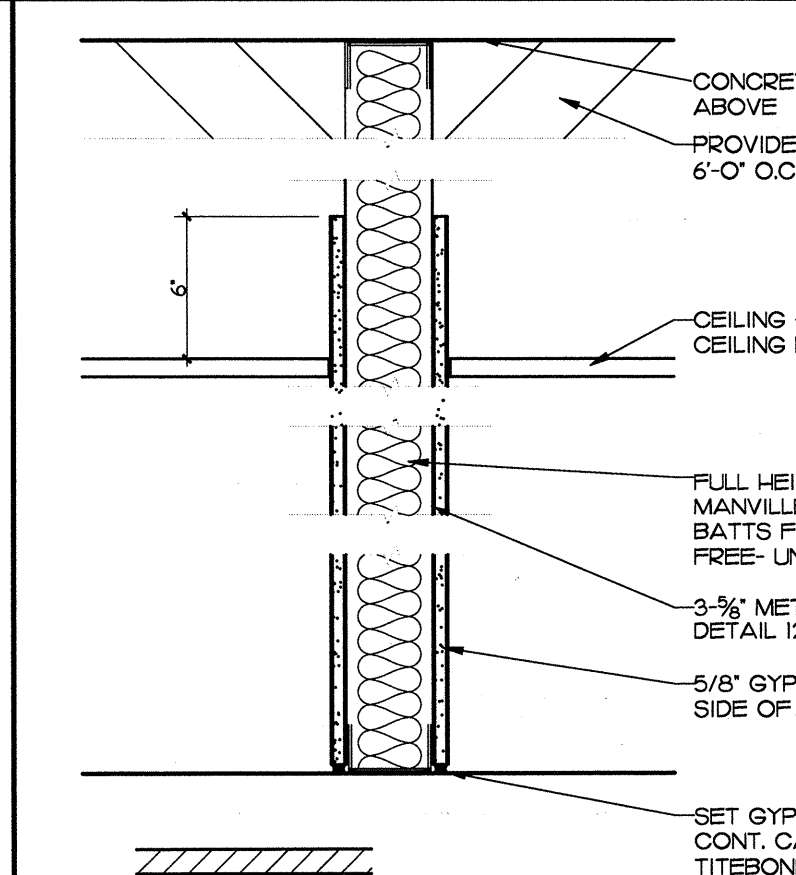
3 SECTION DETAIL
SCALE: 3/4"=1'-0"



12 EXTERIOR WALL/ SILL
SCALE: 1/2"=1'-0"



8 EXTERIOR WALL/ MULLION
SCALE: 3/4"=1'-0"



4 TYP. WALL SECTION
SCALE: 1/2"=1'-0"

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 file name: **NH-Details.dwg**
 project no: **11198**
 date: **11/01/11**
 drawn by: **BUJOE**
 checked by: **KS**
 revisions:

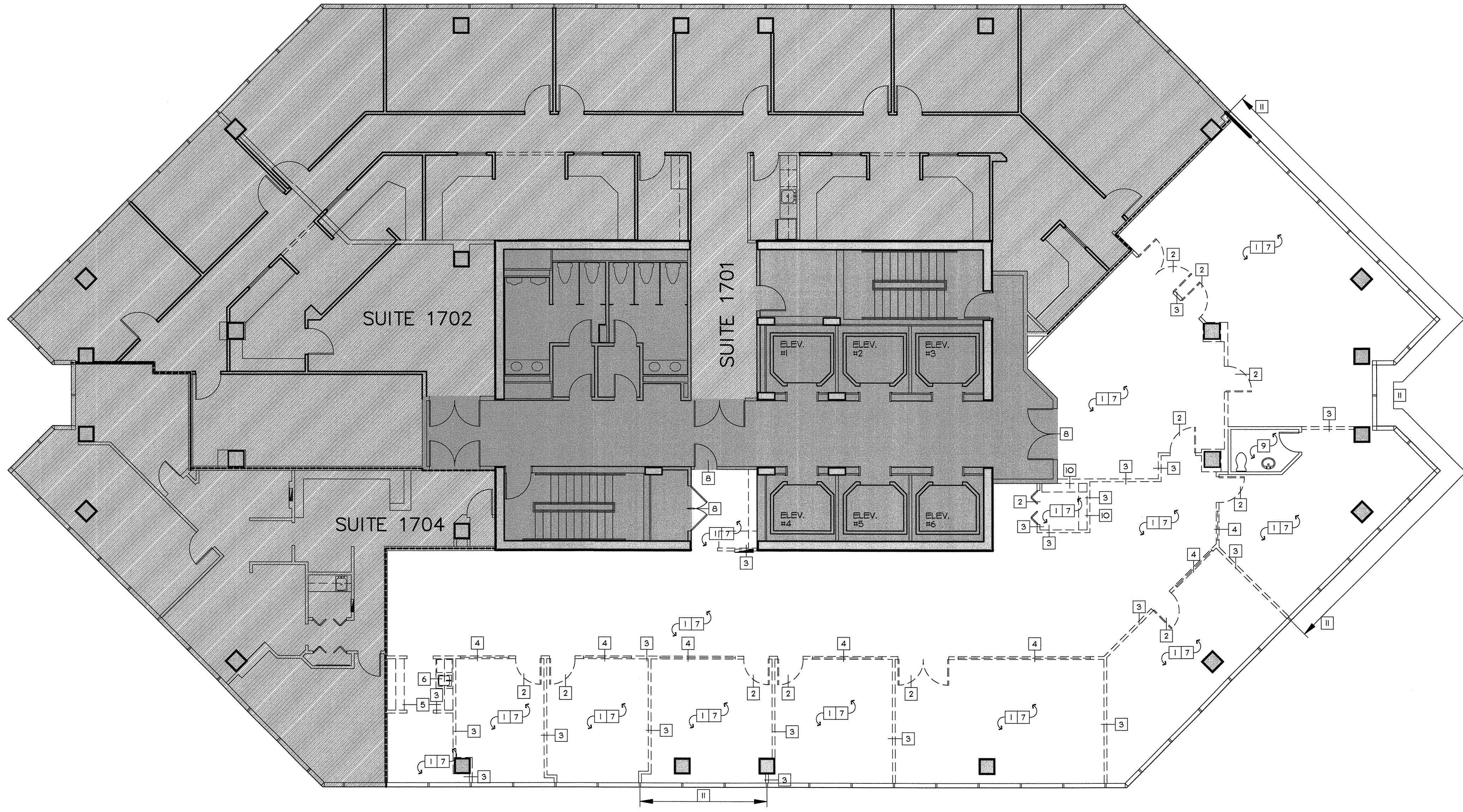
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 file name: **NHM-FP.DWG**
 project no: 11198
 date: 11/07/11
 drawn by: BJJOE
 checked by: KS
 revisions:

D-1.0



1 DEMOLITION PLAN
 SCALE 1/8" = 1'-0"

DEMOLITION GENERAL NOTES

- CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ANY AND ALL DISCREPANCIES IN THE PROPOSED DEMOLITION PLAN PRIOR TO EXECUTION OF THE ITEMS IN QUESTION.
- DEMOLITION SHALL INCLUDE:
 - REMOVAL OF EXISTING WALLS, DOORS AND FRAMES AS SHOWN ON PLAN.
 - REMOVAL OF ALL EXISTING CEILING AND CEILING FIXTURES NOT SHOWN BUT NOTED.
 - REMOVAL OF EXISTING FLOOR FINISHES IN AREAS OF REMOVED WALLS AND AS NOTED.
 - REMOVAL OF ALL ELECTRICAL WIRING AND DEVICES AT ALL REMOVED WALLS AND CEILING. ALL WIRING, DEVICES, CONDUIT, AND EQUIPMENT TO BE ABANDONED SHALL BE REMOVED.
 - FIRE SPRINKLER SYSTEM SHALL REMAIN IN DEMOLITION PHASE. FIRE SPRINKLER LAYOUT AND HEAD LOCATIONS WILL BE RELOCATED AS REQUIRED IN NEW CONSTRUCTION PHASE OF WORK. CARE SHALL BE TAKEN IN DEMOLITION PHASE TO PROTECT EXISTING HEADS AND PIPING TO KEEP SYSTEM IN OPERABLE CONDITION FOR FIRE PROTECTION.
- CONTRACTOR SHALL REMOVE AND STOCKPILE REMOVED MATERIALS AS DIRECTED BY OWNER, FOR BUILDING OWNER'S FUTURE USE.
- ALL EXISTING WALLS TO REMAIN SHALL BE PATCHED AND PREPARED TO RECEIVE NEW FINISH.
- GENERAL CONTRACTOR MAY NEED ADDITIONAL DIMENSIONS TO COMPLETE DEMOLITION ACCURATELY.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL AREAS NOT INCLUDED IN THIS WORK.
- ALL WORK SHALL BE COORDINATED AND APPROVED BY BLDG. MGMT. PRIOR TO COMMENCEMENT.
- PROTECT ALL WINDOW BLINDS (REMOVE AND BAG AND PLACE BACK IN ORIGINAL LOCATION FOR PROTECTION IN DEMO PROCESS).
- CONTRACTOR TO COORDINATE WITH BUILDING MANAGEMENT FOR ANY DEMOLITION WORK THAT NEEDS TO BE PERFORMED "AFTER-HOURS"
- PROTECT ELEVATOR SHAFT AT ALL ELEVATOR OPENINGS

ELECTRICAL DEMO NOTES

- REMOVE ALL EXISTING LIGHTING FIXTURES IN AREA TO BE DEMOLISHED, INCLUDING ALL ASSOCIATED BRANCH CIRCUIT WIRING (CONDUCTORS CONDUITS, FIXTURE WHIPS AND SWITCH WIRING) NO LONGER IN USE. REUSE WIRING WHEREVER POSSIBLE. STOCKPILE (60) 2X2 LIGHT FIXTURES FOR RE-USE.
- REMOVE ALL WIRING DEVICES IN EXISTING PARTITION WALL TO BE REMOVED, INCLUDING ALL BRANCH CIRCUIT WIRING (CONDUCTORS AND CONDUIT) NO LONGER IN USE.
- ALL ELEVATOR CONTROLS, ELEVATOR LIGHTS, FIRE ALARM PULLS, SMOKE DETECTORS, FIRE ALARM STROBES, FIRE ALARM HORNS AND SPEAKERS SHALL BE PROTECTED AS REQUIRED AND SHALL REMAIN OPERATIONAL DURING CONSTRUCTION.
- ALL HIGH VOLTAGE PANELS TO REMAIN OPERATIONAL TO POWER HEAT PUMPS.
- ALL LOW VOLTAGE PANELS AND ASSOCIATED TRANSFORMERS TO BE REMOVED FROM TENANT SPACES.
- FIRE ALARM CONTRACTOR TO DISCONNECT DEVICES FROM PANEL AS NEEDED. PLACE ITEMS IN A MARKED BOX AND GIVE IT TO BUILDING CHIEF ENGINEER.
- NECESSARY EMERGENCY/LIFE SAFETY LIGHTING TO REMAIN.
- EXIT SIGNS TO REMAIN AS NEEDED.
- REMOVE FLOOR OUTLETS INCLUDING ANY RELATED ACCESSORIES AND CONDUITS ON FLOOR BELOW - PATCH HOLE TO MEET FIRE RATING.
- ELECTRICAL ROOM AND MECHANICAL ROOM TO REMAIN.

MECHANICAL DEMO NOTES

- CAREFULLY REMOVE ALL THERMOSTATS AND TEMPERATURE SENSORS AT WALLS TO BE DEMOLISHED AND RE-CONNECT TO MAINTAIN HEAT PUMPS OPERATIONAL.
- ALL EXISTING HEAT PUMPS TO REMAIN OPERATIONAL AND IN TACKED (INCLUDING POWER, CONDENSATE, AND CONDENSER WATER PIPING, ETC)
- ALL DUCT WORK AND GRILLS TO BE REMOVED.

PLUMBING DEMO NOTES

- AT EXISTING TENANT AREAS, THE NOTED PLUMBING FIXTURES TO BE REMOVED SHALL BE REMOVED AND PIPING SHALL BE CAPPED ABOVE FLOOR.

DEMOLITION KEY NOTES

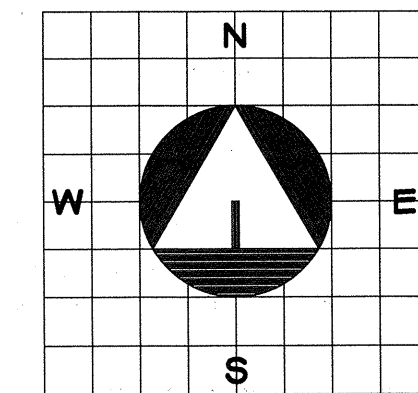
- REMOVE EXISTING CEILING, LIGHTING FIXTURES AND ALL RELATED ACCESSORIES IN AREAS TO BE DEMOLISHED.
- REMOVE EXISTING DOORS, FRAME AND ALL RELATED ACCESSORIES. SALVAGE DOORS FOR POSSIBLE REUSE. COORDINATE WITH BUILDING MANAGEMENT FOR STORAGE.
- REMOVE EXISTING METAL STUD PARTITION AS DESIGNATED ON WALL LEGEND. REMOVAL SHALL INCLUDE ANY AND ALL GYPSUM BOARD, BASE AND TRIM, METAL STUDS, TOP AND BOTTOM RUNNERS AND ANY EXISTING BRACING AND BLOCKING THAT MAY BE PRESENT.
- REMOVE INTERIOR WINDOW AND ALL RELATED ACCESSORIES.
- REMOVE EXISTING BUILT-IN CABINETS, COUNTERS AND ALL RELATED ACCESSORIES.
- REMOVE EXISTING SINK AND ALL RELATED PLUMBING. CAP PIPES 6" ABOVE FLOOR.
- REMOVE ALL EXISTING FLOOR FINISH AND BASE.
- EXISTING DOOR TO REMAIN.
- EXISTING RESTROOM FIXTURES, COUNTERS, CABINETS AND FINISHES TO REMAIN.
- REMOVE EXISTING SHELVING, STYLES AND RELATED ACCESSORIES.
- REMOVE LOWER PORTION OF GYPBO. AT EXTERIOR CURTAIN WALL.

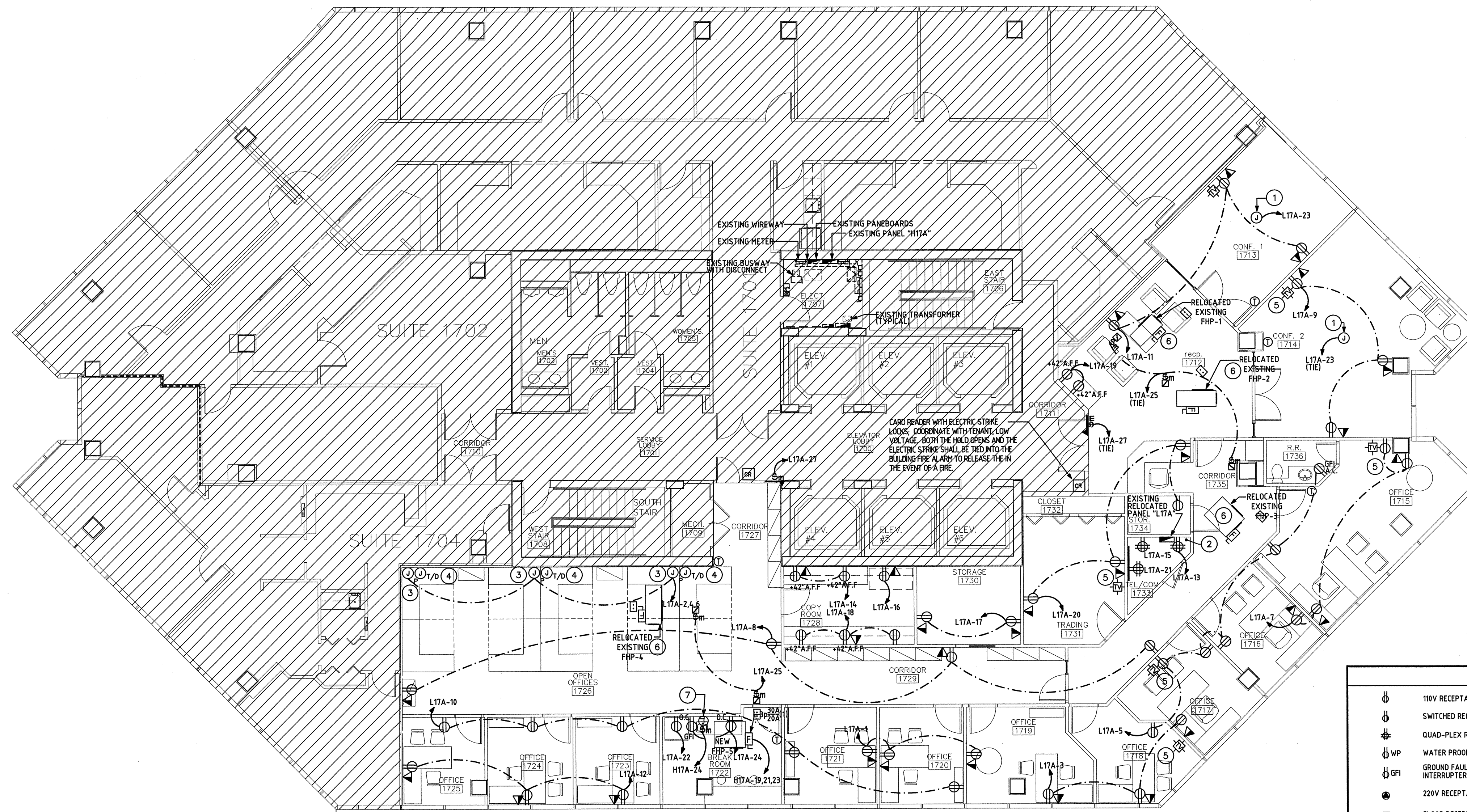
WALL LEGEND

- EXISTING WALL TO BE DEMOLISHED
- EXISTING PARTITION WALL TO REMAIN

DEMOLITION PLAN

SCALE 1/8" = 1'-0"
 0 4' 8' 16' 32'





1 POWER PLAN
SCALE: 1/8"=1'-0"

**CEILING IS COMMON PLENUM
NO COMBUSTIBLE MATERIAL ALLOWED**

COORDINATION NOTE
CONTRACTOR TO COORDINATE ALL FINAL LOCATIONS AND TYPES OF ALL DEVICES AND EQUIPMENT WITH ARCHITECT PRIOR TO CONSTRUCTION.

- KEY NOTES**
- 1 PROVIDE CEILING MOUNTED JUNCTION BOX FOR ELECTRICAL CONNECTION TO FUTURE PROJECTOR. COORDINATE EXACT LOCATION AND REQUIREMENTS WITH SUPPLIER PRIOR TO ROUGH-IN.
 - 2 VERIFY ALL ELECTRICAL REQUIREMENTS OF OUTLETS, DATA DROPS, VOLTAGE, AMPS OF PHONE ROOM WITH OWNER.
 - 3 SINGLE GANG J-BOX FOR POWER CONNECTION TO MODULAR FURNITURE SYSTEM. COORDINATE ALL REQUIREMENTS WITH HFG SPECS.
 - 4 DOUBLE GANG J-BOX FOR TELE/DATA CONNECTION TO MODULAR FURNITURE SYSTEM. COORDINATE ALL REQUIREMENTS WITH HFG SPECS. EXTEND 1/2" CONDUITS W/ PULL WIRE ABOVE CEILING WITH INSULATING BUSHING 6" FROM WALL.
 - 5 VERIFY MOUNTING HEIGHT OF RECEPTACLES AND TV OUTLET WITH OWNER PRIOR TO INSTALLATION.
 - 6 INTERCEPT AND EXTEND EXISTING FEEDER TO RELOCATED AC UNIT, AND CONNECT FOR OPERATION IN SAME MANNER AS IN PREVIOUS LOCATION. NO ADDITIONAL LOAD ADDED.
 - 7 PROVIDE JUNCTION BOX WITH DISCONNECT SWITCH FOR CONNECTION TO TANKLESS WATER HEATER. COORDINATE EXACT LOCATION AND REQUIREMENTS WITH SUPPLIER PRIOR TO ROUGH-IN.

ELECTRICAL SYMBOL LEGEND

⊕	100V RECEPTACLE	⊕	SWITCH
⊕	SWITCHED RECEPTACLE	⊕	3-WAY SWITCH
⊕	QUAD-PLEX RECEPTACLE	⊕	MOTOR RATED SWITCH
⊕	WATER PROOF RECEPTACLE	⊕	FACILITY INSTALLED PULL DISCONNECT
⊕	GROUND FAULT CIRCUIT INTERRUPTER	⊕	FUSE DISCONNECT
⊕	220V RECEPTACLE	⊕	ELECTRICAL CIRCUIT BREAKER
⊕	FLOOR RECEPTACLE & FLOOR TELE/DATA PORT; FLUSH WITH FLOOR; PROVIDE BRASS COVER PLATE	⊕	ELECTRICAL PANEL
⊕	FLOOR RECEPTACLE; FLUSH WITH FLOOR; PROVIDE BRASS COVER PLATE	⊕	ASTRONOMICAL TIME CLOCK
⊕	J-BOX	⊕	AUTOMATIC TRANSFER SWITCH
⊕	LOW VOLTAGE TRANSFORMER	⊕	FIRE ALARM CONTROL PANEL
⊕	TELE/FAX/DATA PORT **	⊕	ELECTRICAL METER
⊕	TELEPHONE JACK **	⊕	EXHAUST FAN
⊕	CABLE TV J-BOX & CONDUIT	⊕	CARD READER
⊕	TELEPHONE BOARD / CATV BOARD (SEE NOTE 3)	⊕	FRAME SIZE (NEMA ENCLOSURE)
⊕	THERMOSTAT	⊕	FUSE SIZE
⊕	REMOTE ALARM TEST STATION	⊕	JUNCTION BOX FOR FURNITURE POWER
⊕	OVER COUNTER, VERIFY HEIGHT W/ OWNER/ARCH	⊕	JUNCTION BOX FOR FURNITURE TELE/DATA
⊕	EXISTING TO REMAIN		

** PROVIDE 3/4" WITH PULL WIRE. STUB ABOVE CEILING WITH A BOX.
NOTES: 1. ALL SYMBOLS MAY NOT BE USED FOR THIS PROJECT.
2. ALL LIGHT SWITCHES AND RECEPTACLES SHALL BE STANDARD WHITE DECORA TYPE.

LOW VOLTAGE NOTE
CONTRACTOR TO COORDINATE LOCATION AND REQUIREMENTS OF ALL LOW VOLTAGE WIRING AND TELEPHONE/DATA/TV DEVICES WITH OWNER PRIOR TO CONSTRUCTION.

FIRE RATING NOTE
ALL RECEPTACLES PENETRATING FIRE RATED WALLS SHALL BE PROVIDED WITH U.L. APPROVED FIRE RATED RECEPTACLE BOXES. (EQUAL TO WALL FIRE RATING - SEE ARCHITECTURAL DRAWINGS)

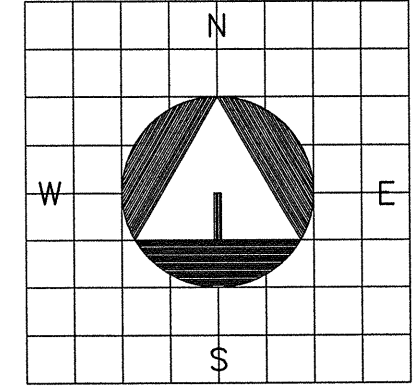
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project no: 11421
date: 11/09/11
drawn by: CJSK/AB
checked by: UJ

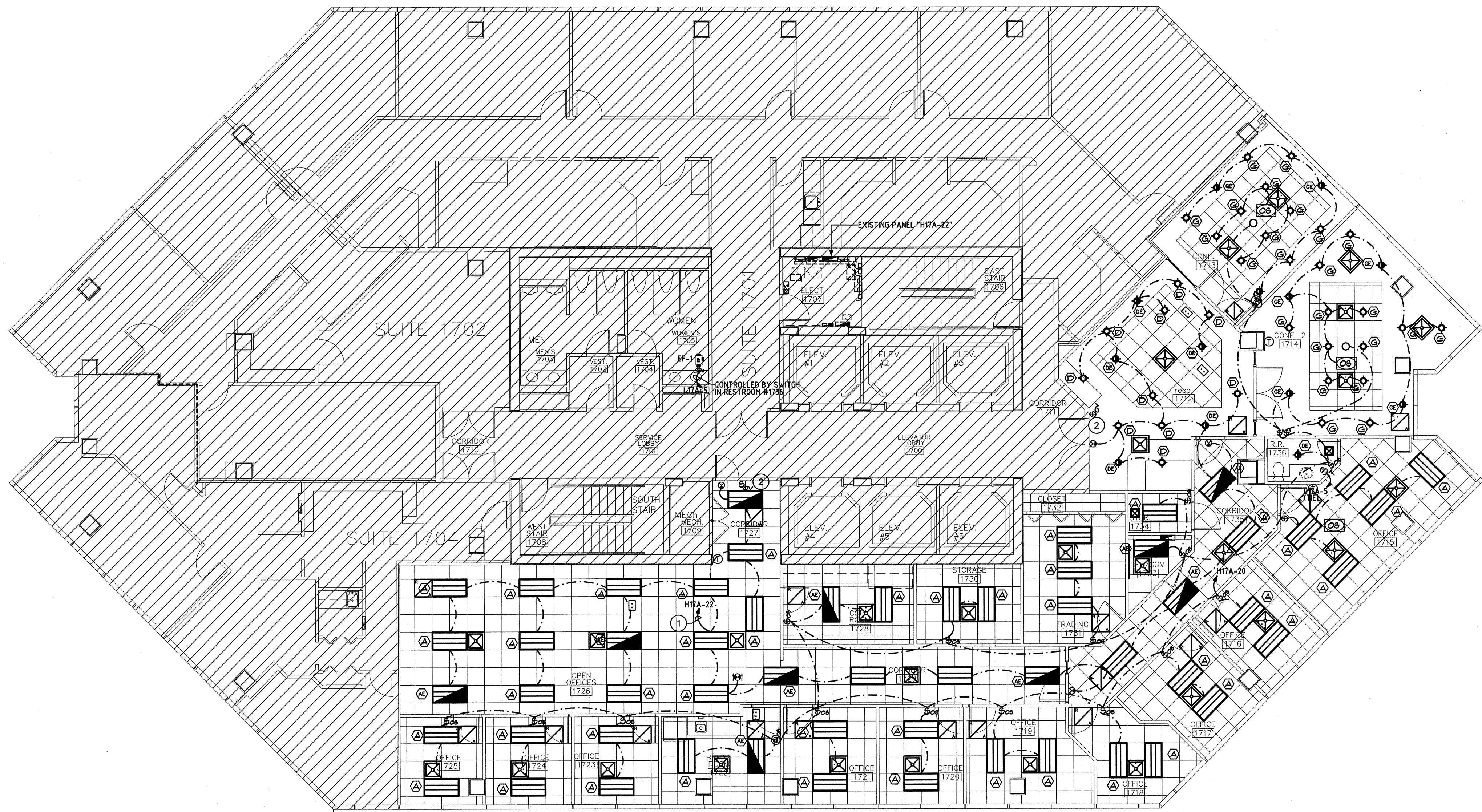
PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.

PERMIT SET: 11/09/11
FAEC CONSULTING
1640 N.W. BOGA RATON BLVD.
BOGA RATON, FL 33432
TEL: (561) 391-9292 FAX: (561) 391-9898
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E-MAIL: INFO@FAECONULTING.COM

17TH FLOOR PLAN
SCALE: 1/8" = 1'-0"
0' 4' 8' 16' 32'



E1.1



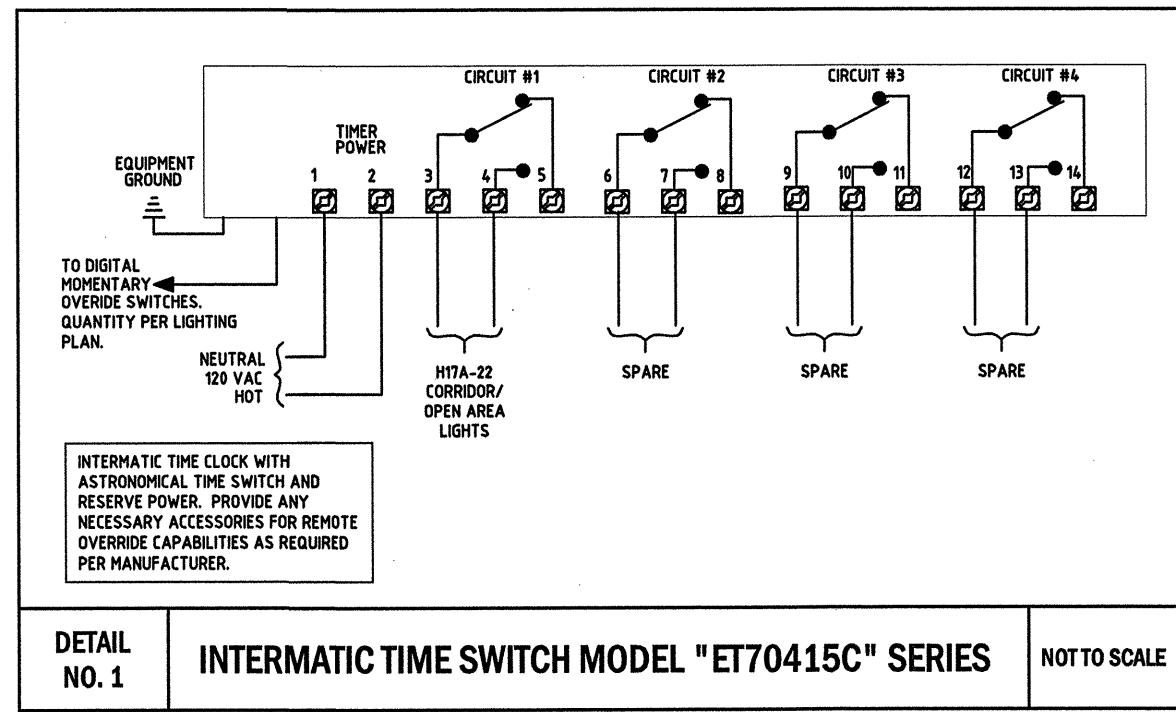
1 LIGHTING PLAN
SCALE: 1/8"=1'-0"

LIGHTING CONTROL SYMBOL LEGEND	
[Symbol]	LEVITON E2-MAX LIGHTING CONTROL PANEL WITH ASTRONOMICAL TIME CLOCK
[Symbol]	OCCUPANCY SENSOR SWITCH LEVITON OSSMT-MDW
[Symbol]	SWITCH
[Symbol]	3-WAY SWITCH
[Symbol]	4-WAY SWITCH
[Symbol]	DIMMER SWITCH
[Symbol]	TIMER SWITCH FOR EXHAUST FAN
[Symbol]	OVERRIDE SWITCH LEVITON LV240
[Symbol]	OCCUPANCY SENSOR LEVITON OSC10-R
[Symbol]	RELOCATED LIGHT FIXTURE
[Symbol]	EXISTING

NOTE:
1. ALL SYMBOLS MAY NOT BE USED FOR THIS PROJECT.

- GENERAL LIGHTING NOTES**
- ALL EXIT, EMERGENCY, AND BATTERY PACKS IN FLUORESCENT FIXTURES TO BE WIRED AHEAD OF CONTROL SWITCH.
 - IF APPLICABLE, ALL DIMMER SWITCHES SHALL HAVE A PRESET MINIMUM RATING OF 1.0 KW.
 - ALL FIXTURE COUNTS, SELECTIONS, AND EXACT LOCATIONS MUST BE VERIFIED WITH OWNER/ARCHITECT PRIOR TO PURCHASE.
 - CONTRACTOR TO VERIFY IF ANY LOW VOLTAGE LIGHT FIXTURES REQUIRE STEP-DOWN TRANSFORMERS, QUANTITY AND LOCATION TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
 - ALL FIXTURES TO HAVE UL CERTIFICATION.
 - ALL LUMINAIRES SHALL COMPLY WITH SECTION 4.10.73.G OF THE NEC.

- ENERGY COMPLIANCE NOTE**
- OCCUPANCY SENSORS SHALL BE THE MEANS OF AUTOMATIC LIGHTING SHUTOFF FOR NEW AREAS PER FBC 13-415.AB.1. OCCUPANCY SENSORS MUST TURN LIGHTS OFF WITHIN 30 MINUTES AFTER AN OCCUPANT LEAVES THE SPACE.
 - RECORD DRAWINGS OF INSTALLATION AND OPERATION MANUALS ARE TO BE PROVIDED TO THE OWNER WITHIN 30 DAYS AS SPECIFIED IN THE FLORIDA BUILDING CODE SECTION 13-413.ABC.2.



2ND FLOOR INTERIOR LIGHTING POWER ALLOWANCE PER FLORIDA BUILDING CODE, CHAPTER 13, METHOD B

CALCULATIONS HAVE BEEN MADE TO VERIFY THAT LIGHTING LEVELS COMPLY WITH CHAPTER 13, ENERGY SECTION OF THE 2007 FLORIDA BUILDING CODE, WITH 2009 SUPPLEMENT LIGHTING POWER DENSITIES PER TABLE 13-415.A.1

AREA	ALLOWED	USED
RECEPTION/LOBBY	13 W/SQ.FT. x 493 SQ.FT. = 6409 WATTS	6409 WATTS
CONFERENCE RM	13 W/SQ.FT. x 343 SQ.FT. = 4499 WATTS	4499 WATTS
OPEN OFFICE	11 W/SQ.FT. x 669 SQ.FT. = 7359 WATTS	7359 WATTS
CORRIDOR/TRANSITION	0.5 W/SQ.FT. x 453 SQ.FT. = 226.5 WATTS	226.5 WATTS
OFFICES/COPY/TRADING	11 W/SQ.FT. x 1758 SQ.FT. = 19338 WATTS	19338 WATTS
TELE/COM	15 W/SQ.FT. x 43 SQ.FT. = 645 WATTS	645 WATTS
STORAGE	0.8 W/SQ.FT. x 165 SQ.FT. = 132 WATTS	132 WATTS
REST RM	0.2 W/SQ.FT. x 42 SQ.FT. = 8.4 WATTS	8.4 WATTS
BREAK RM	12 W/SQ.FT. x 92 SQ.FT. = 1104 WATTS	1104 WATTS
TOTAL ALLOWED		4771 WATTS
TOTAL USED		4766 WATTS

LIGHTING FIXTURE SCHEDULE OR EQUAL

TYPE	MFG/MOD NO	LAMP	MOUNTING	DESCRIPTION
⊕	DAYBRITE "ARIOSO SERIES" ZAVG28-PMW-UV-EB10R	2-28T5	RECESSED	2'x4' FLUORESCENT DIRECT/INDIRECT W/ 90 MIN. BATTERY PACK
⊕	DAYBRITE "ARIOSO SERIES" ZAVG28-PMW-UV-EB10R-E7	2-28T5	RECESSED	2'x4' FLUORESCENT DIRECT/INDIRECT W/ 90 MIN. BATTERY PACK
⊕	INFINITY PH960 SERIES FLUORESCENT DOWNLIGHT	1-32DTT	RECESSED	6" OPEN REFLECTOR DOWNLIGHT, CLEAR TRIM, AND SPECULAR LOW IRIDESCENT FINISH
⊕	INFINITY PH960 SERIES W/ EM FLUORESCENT DOWNLIGHT	1-32DTT	RECESSED	6" OPEN REFLECTOR DOWNLIGHT, CLEAR TRIM, AND SPECULAR LOW IRIDESCENT FINISH W/ 90 MIN. BATTERY PACK
⊕	INFINITY PH960 SERIES - DIMMABLE FLUORESCENT DOWNLIGHT	1-32DTT	RECESSED	6" OPEN REFLECTOR DOWNLIGHT, CLEAR TRIM, AND SPECULAR LOW IRIDESCENT FINISH W/ DIMMING BALLAST
⊕	PENDANT IN CONFERENCE ROOM TO BE SELECTED BY INTERIOR DESIGNER	CALCULATED @ 32W	PENDANT	
⊕	MCPHILBEN (SHALL MATCH 17TH FLOOR) COLOR RED	INCLUDED	EXIT LIGHT	LED EXIT LIGHT - COLOR RED W/ 90 MIN. BATTERY PACK

NOTES:

- PROVIDE ELECTRONIC BALLAST FOR ALL FLUORESCENT LAMPED FIXTURES.
- FLUORESCENT LAMP COLOR TEMPERATURE SHALL BE 3500K.
- SEE LIGHTING PLAN FOR EXIT SIGN CHEVRON REQUIREMENTS AND NUMBER OF FACES.
- COORDINATE ALL LIGHTING FIXTURE TYPES WITH ARCHITECT PRIOR TO BID/PURCHASE.
- ALL EMERGENCY LIGHTING TEST BUTTONS TO BE MOUNTED INSIDE LIGHT FIXTURE.

- NOTES TO CONTRACTOR:**
- REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR THE FINAL LOCATION OF ALL FIXTURES, DEVICES, ETC.
 - VERIFY LIGHTING REQUIREMENTS WITH OWNER/VENDOR PRIOR TO BID & CONSTRUCTION.
 - ALL SWITCHES AND THERMOSTATS SHALL BE MOUNTED @ 42" A.F.F. COORDINATE EXACT LOCATIONS ON WALL IN FIELD WITH ARCHITECT PRIOR TO ROUGH IN.
 - ALL SWITCH AND OUTLET PLATES SHALL MATCH THE COLOR OF SWITCH AND OUTLET PLATES ON 20TH FLOOR.

- LIGHTING KEY NOTES**
- WIRE CIRCUIT THROUGH ELECTRONIC TIME CLOCK "TC-1". SEE THIS SHEET FOR DETAILS.
 - PROVIDE DIGITAL MOMENTARY SWITCH TO OVER-RIDE TIME "OFF" FOR CIRCUIT "HTA-22"

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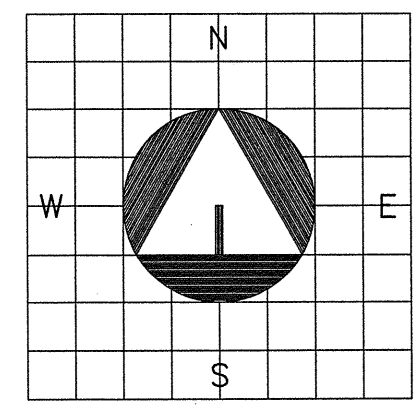
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17TH FLOOR PLAN

SCALE: 1/8" = 1'-0"

0' 4' 8' 16' 32'



PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFYABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.

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checked by: UI

E2.1

MFG. EXISTING		TYPE		MAIN LUGS ONLY		PANEL RATING		100 AMP	
VOLTS 208/120V 3Ø4W		PANEL		"L17A"		POS 30			
BUS KVA	LOAD	COND.	WIRE SIZE	POLE	AMPS	CKT.	BUS	CKT.	AMPS
0.6	RECEPT - OFFICES	Ø	1/2"	#12	1	20	1	2	20
0.6	RECEPT - OFFICES	Ø	1/2"	#12	1	20	3	4	20
1.0	RECEPT - OFFICES	Ø	1/2"	#12	1	20	5	6	20
0.8	RECEPT - OFFICES	Ø	1/2"	#12	1	20	7	8	20
0.6	RECEPT - CONF. RM	Ø	1/2"	#12	1	20	9	10	20
0.6	RECEPT - CONF. RM	Ø	1/2"	#12	1	20	11	12	20
1.0	RECEPT - TEL. RM	Ø	1/2"	#12	1	20	13	14	20
0.4	RECEPT - TEL. RM	Ø	1/2"	#12	1	20	15	16	20
0.8	RECEPT - PRINTER	Ø	1/2"	#12	1	20	17	18	20
0.8	RECEPT - COFFEE BAR	Ø	1/2"	#12	1	20	19	20	20
0.4	RECEPT - TEL. BACKBOARD	Ø	1/2"	#12	1	20	21	22	20
0.8	FUTURE PROJECTORS	Ø	1/2"	#12	1	20	23	24	20
0.1	MOTORIZED DAMPERS	Ø	1/2"	#12	1	20	25	26	20
0.1	FIRE SMOKE DAMPERS	Ø	1/2"	#12	1	20	27	28	20
	SPACE						29	30	

MFG. EXISTING		TYPE		MAIN CIRCUIT BREAKER		PANEL RATING		100 AMP	
VOLTS 480/277V 3Ø4W		PANEL		"H17A"		POS 24			
BUS KVA	LOAD	COND.	WIRE SIZE	POLE	AMPS	CKT.	BUS	CKT.	AMPS
2.0	EXISTING LOAD	Ø	1/2"	12	3	20	1	2	100
2.0	EXISTING LOAD	Ø	1/2"	12	1	20	3	4	100
2.0	EXISTING LOAD	Ø	1/2"	12	1	20	5	6	100
2.0	EXISTING LOAD	Ø	1/2"	12	1	20	7	8	100
2.0	EXISTING LOAD	Ø	1/2"	12	1	20	9	10	100
2.0	EXISTING LOAD	Ø	1/2"	12	1	20	11	12	100
2.0	EXISTING LOAD	Ø	1/2"	12	1	20	13	14	100
2.0	EXISTING LOAD	Ø	1/2"	12	2	20	15	16	100
4.1	FH-5	Ø	1/2"	12	3	20	17	18	100
4.1							19	20	100
							21	22	100
							23	24	100

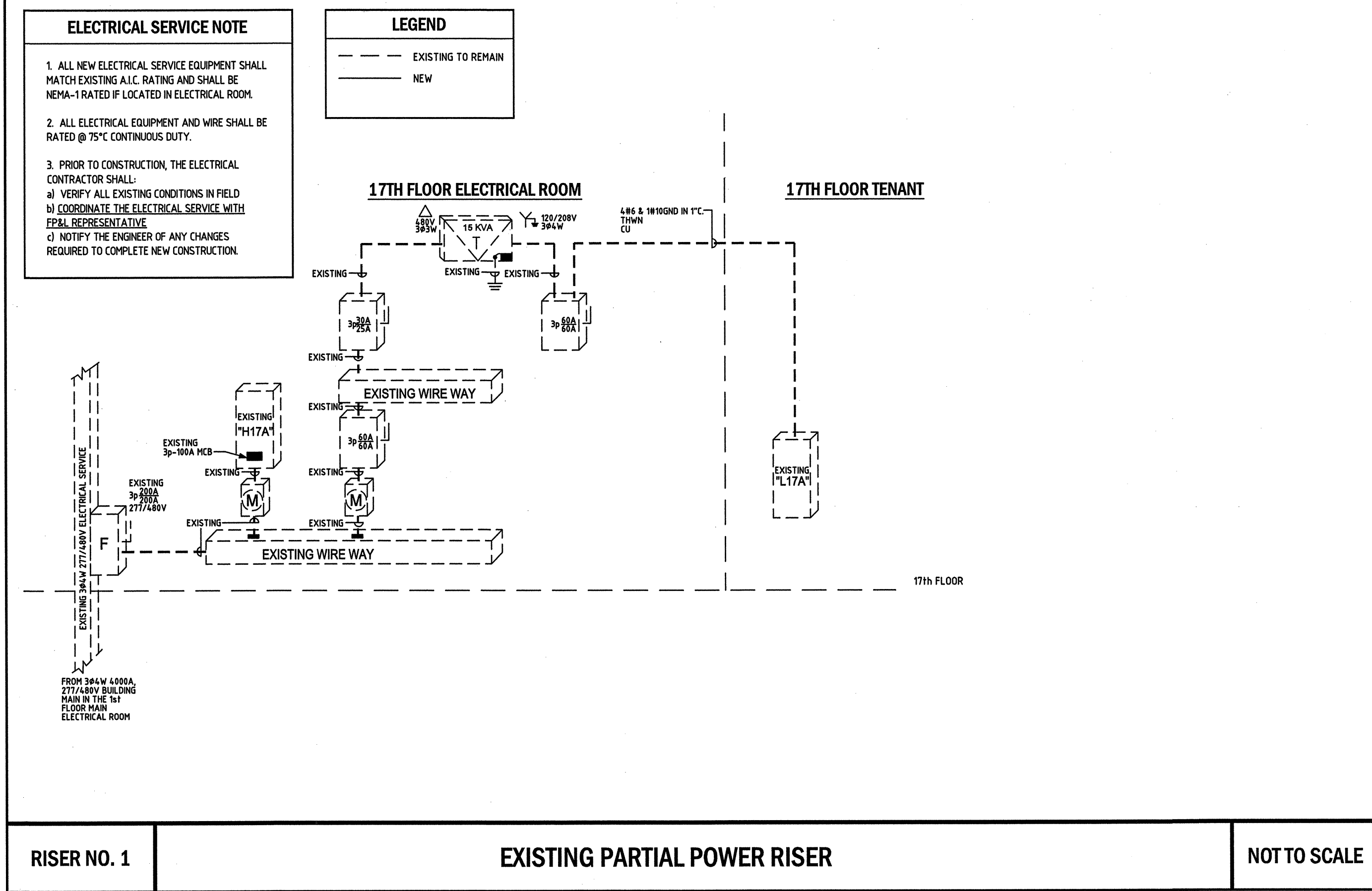
REMARKS & KEY NOTES:
 Ø PROVIDE NEW BRANCH CIRCUIT AND CONNECT TO EXISTING SPARE BREAKER AS INDICATED.

REMARKS & KEY NOTES:
 Ø NOT USED
 Ø EXISTING BRANCH CIRCUIT AND CIRCUIT BREAKER TO REMAIN.
 Ø PROVIDE NEW CIRCUIT BREAKER AS INDICATED, INSTALL IN EXISTING SPACE IN PANEL, AND CONNECT NEW BRANCH CIRCUIT FOR OPERATION.
 Ø REMOVE EXISTING SPARE BREAKER, PROVIDE NEW CIRCUIT BREAKER AS INDICATED, INSTALL IN SPACE IN PANEL AND CONNECT NEW BRANCH CIRCUIT FOR OPERATION.
 Ø PROVIDE "HACR" RATED CIRCUIT BREAKER

LOAD CALCULATIONS PER NEC:
 1st 10 KVA OF RECEPTACLES @ 100% = 10.0 KVA
 REMAINDER OF RECEPTACLES @ 50% = 2.1 KVA
 REMAINING LOADS @ 100% = 2.6 KVA
 TOTAL DEMAND IL = 14.7 KVA / 208 $\sqrt{3}$ V = 40.8 AMPS

- ### ELECTRICAL SPECIFICATIONS
- DO NOT SCALE THE ELECTRICAL DRAWING. REFER TO THE ARCHITECTURAL PLAN AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT AND CONFIRM WITH OWNERS REPRESENTATIVES.
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2008 EDITION OF THE NATIONAL ELECTRICAL CODE, 2008 EDITION OF NFPA 70, 2005 EDITION OF NFPA 72, 2005 EDITION OF NFPA 75, 2005 EDITION OF NFPA 101, 2005 EDITION OF NFPA 104, AND 2005 EDITION OF NFPA 2009 SUPPLEMENT.
 - UNLESS OTHERWISE NOTED, ALL CONDUCTORS SHALL BE COPPER, WITH "THHN" INSULATION FOR SIZE #10 AND SMALLER. CONDUCTORS LARGER THAN #10 SHALL HAVE "THWN" INSULATION. ALL CONDUCTORS IN WET LOCATIONS MUST HAVE "THWN" INSULATION. ALL CONDUCTORS #10 AND SMALLER MAY BE SOLE. ALL CONDUCTORS #8 AND LARGER SHALL BE STRANDED. ALL CONDUCTORS MUST COMPLY WITH ARTICLE 310 OF THE 2005 NEC.
 - OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
 - DISCONNECT SWITCHES SHALL BE H.P. RATED, HEAVY DUTY, QUICK MAKE, QUICK BREAK, WITH ENCLOSURES AS REQUIRED BY EXPOSURE.
 - THESE PLANS DO NOT SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND MEET ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
 - THE ELECTRICAL SYSTEM SHALL BE COMPLETELY AND EFFECTIVELY GROUNDED AS REQUIRED IN ARTICLE 250, NATIONAL ELECTRICAL CODE. THE GROUNDING SYSTEM SHALL BE TESTED AND SHALL MEASURE A MAXIMUM OF 5 OHMS. PROVIDE A COPY OF THE TEST REPORT TO ENGINEER.
 - ALL MATERIALS SHALL BE NEW AND SHALL BEAR U.L. LABELS WHERE APPLICABLE.
 - ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANSHIP MANNER. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIVE AND ACCEPTANCE BY ENGINEER/ARCHITECT MUST BE A CONDITION OF THE SUBCONTRACTOR.
 - THE ELECTRICAL INSTALLATION SHALL MEET ALL STANDARD REQUIREMENTS OF POWER, LIGHT COMPANY AND TELEPHONE COMPANY.
 - CIRCUITS SHOWN ON PLANS ARE TO DETERMINE LOAD DATA AND PANEL SIZE. THE CONTRACTOR SHALL PROVIDE CIRCUITS TO SUIT JOB CONDITIONS.
 - SEE NOTES ON PLANS FOR OTHER REQUIREMENTS.
 - FURNISH AND INSTALL LIGHTING FIXTURES AND LAMPS AS CALLED FOR ON PLANS, OR AS SELECTED BY OWNER.
 - ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROCESS OF CONSTRUCTION.
 - CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY PHASE OF THE INSTALLATION WHICH MAY BE DAMAGED.
 - ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY OF PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
 - CHECK ALL EQUIPMENT FOR PROPER VOLTAGE, PHASE, AND CURRENT BEFORE CONNECTION TO CIRCUITS.
 - ELECTRICAL CONTRACTOR SHALL CHECK AND VERIFY EQUIPMENT FURNISHED AGAINST THOSE SPECIFIED OR INTENDED AND REVISE BRANCH CIRCUITS AS MAY BE REQUIRED WITH PRIOR APPROVAL OF ENGINEER/ARCHITECT.

- ### SCOPE OF WORK
- THE SCOPE OF ELECTRICAL WORK SHALL INCLUDE, BUT IS NOT LIMITED TO THE FOLLOWING:
- ELECTRICAL CONTRACTOR SHALL IDENTIFY ALL THE BRANCH CIRCUITS BEING FED FROM EXISTING PANELS.
 - ELECTRICAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BID AND INSTALLATION. INFORM THE ENGINEER OF RECORD OF ANY DISCREPANCY BETWEEN THE DOCUMENTS AND THESE CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER THE CONTRACT HAS BEEN AWARDED.
 - ELECTRICAL CONTRACTOR SHALL KEEP AS-BUILTS AND SUBMIT TO ENGINEER OF RECORD FOR REVIEW. ALL CHANGES SHALL BE FORWARDED A MINIMUM OF (2) WEEKS PRIOR TO FINAL INSPECTION. ANY EXPENSES, SUCH AS REVISIONS OR AS-BUILTS, NECESSARY FOR FINAL C.O. SHALL BE AT THE EXPENSE OF THE OWNER.



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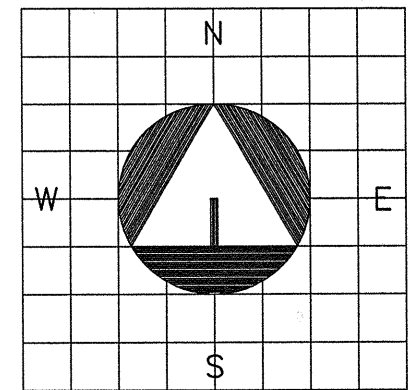
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ELECTRICAL PANELS,
 RISER AND SPECS

SCALE: 1/8" = 1'-0"

0' 4' 8' 16' 32'

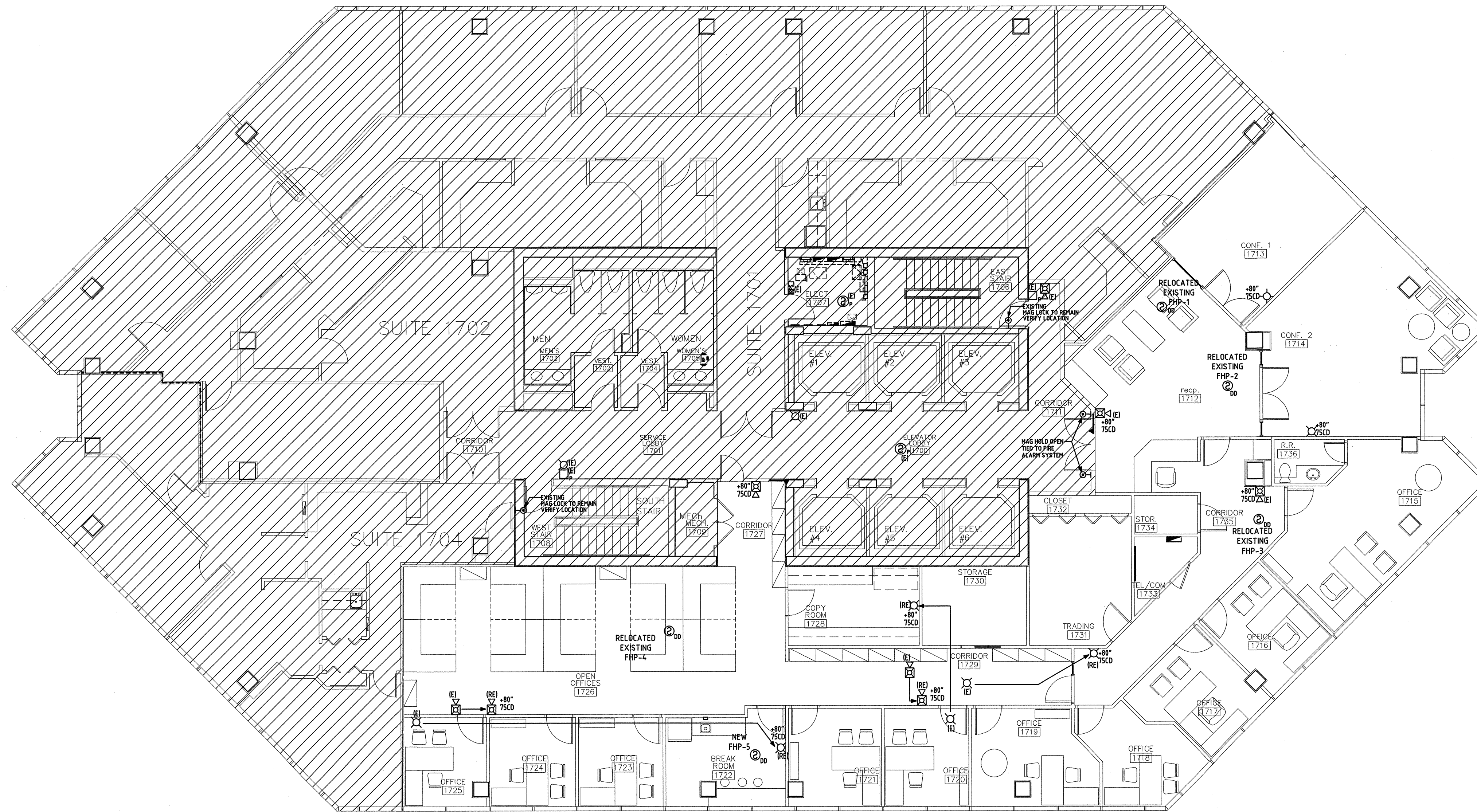


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 checked by: UI

E3.1



1 FIRE ALARM PLAN
SCALE: 1/8"=1'-0"

ALL FIRE ALARM WORK OR COORDINATION OF FIRE ALARM SYSTEM SHALL BE COORDINATED WITH BUILDING MANAGEMENT.

CEILING IS COMMON PLENUM
NO COMBUSTIBLE MATERIAL ALLOWED

ALL HVAC UNITS TO TIE INTO THE FIRE ALARM SYSTEM AND HAVE GLOBAL SHUT DOWN. COORDINATE WITH BUILDING ENGINEER.

FIRE ALARM SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	WALL MOUNTED STROBE LIGHT (CD AS INDICATED)
	WALL MOUNTED HORN/STROBE (CD AS INDICATED)
	PULL STATION
	SMOKE DUCT DETECTOR
	(GROUND TEST STATION) (CONTROL MODULE)
	PHOTOELECTRIC SMOKE DETECTOR (STANDARD BASE WITH TRM RING) (ADDRESSABLE MONITOR MODULE)
	FIRE SMOKE DAMPER
(E)	EXISTING DEVICE TO REMAIN
(RE)	RELOCATED DEVICE
NO SYMBOL	NEW DEVICE

ALL NEW DEVICES SHALL TIE INTO BUILDING'S EXISTING FIRE ALARM SYSTEM. ALL FIRE ALARM DEVICES SHALL MATCH EXISTING BUILDING'S STANDARDS.

FIRE ALARM NOTE
FIRE ALARM DEVICES ON THIS PLAN ARE SHOWN FOR INTENT ONLY. FIRE ALARM CONTRACTOR TO PROVIDE SHOP DRAWINGS AND CUT SHEETS FOR APPROVAL BY THE LANDLORD AND BY THE FIRE MARSHALL. FIRE ALARM DEVICES SHALL TIE INTO THE BUILDING'S MAIN FIRE ALARM SYSTEM.

SPRINKLER NOTE
BUILDING IS FULLY SPRINKLED, THEREFORE SMOKE DETECTORS ARE NOT REQUIRED AND ONLY (1) PULL STATION IS REQUIRED PER BUILDING.

GENERAL NOTE
PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS. THE ENGINEER IS NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED.

PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.

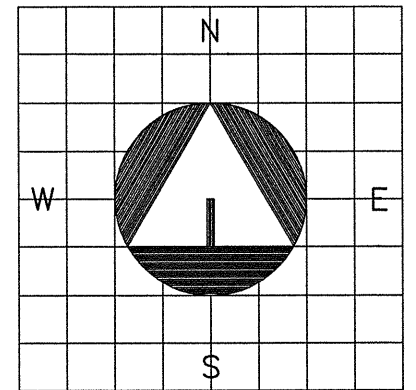
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17TH FLOOR PLAN

SCALE: 1/8" = 1'-0"

0' 4' 8' 16' 32'



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GENERAL NOTES

- THESE CONSTRUCTION DOCUMENTS ARE DIAGRAMMATIC ONLY. IT IS NOT THE INTENT OF THESE DOCUMENTS TO SHOW EVERY DETAIL OF CONSTRUCTION. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL FURNISH AND INSTALL ALL ITEMS NECESSARY FOR COMPLETION AS INDICATED ON THESE DRAWINGS.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE FAMILIAR WITH THE CONSTRUCTION DOCUMENTS PRIOR TO SUBMITTING BIDS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK.
- ALL DIMENSIONS, SPECIFICATIONS AND NOTES PROVIDED HEREIN SHALL BE VERIFIED BY EACH CONTRACTOR PRIOR TO PERFORMANCE OF THE WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- WHEN TWO OR MORE REQUIREMENTS OR STANDARDS ARE SPECIFIED ESTABLISHING DIFFERENT OR CONFLICTING LEVELS OF QUALITY, THE MOST STRINGENT REQUIREMENT IS INTENDED AND WILL BE ENFORCED.
- CONTRACTOR SHALL MAKE NO CHANGES OR SUBSTITUTIONS WITHOUT WRITTEN APPROVAL BY ADDENDUM FROM THE ARCHITECT.
- CONTRACTOR SHALL MEET WITH THE BUILDING OWNER OR MANAGER PRIOR TO THE BID IN ORDER TO OBTAIN A COPY OF THE BUILDING STANDARD GUIDELINES AND TO DISCUSS THE BUILDING MANAGEMENTS REQUIREMENTS FOR PROTECTION OF PUBLIC SPACES, DAILY CLEANING, CONSTRUCTION, STAGING, MATERIAL, DELIVERIES, LOCATION OF CONSTRUCTION DUMPSTERS, PARKING, ETC. THE COST TO MEET THESE REQUIREMENTS SHALL BE INCLUDED IN BID.
- RESPONSE TO ALL REQUESTS FOR CLARIFICATION WILL BE ISSUED TO ALL PRIME BIDDERS, AS ADDENDA TO THE DRAWINGS AND SPECIFICATIONS, AND WILL BECOME PART OF THE CONTRACT. THE ARCHITECT AND OWNER WILL NOT BE RESPONSIBLE FOR ORAL CLARIFICATION.
- ALL WORK SHALL CONFORM TO THE LATEST REQUIREMENTS OF APPLICABLE LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.
- CONTRACT FOR CONSTRUCTION SHALL BE AIA DOCUMENT A191, STANDARD FORM FOR AGREEMENT BETWEEN OWNER AND CONTRACTOR, STIPULATED SUM - 1997 EDITION AND SHALL INCORPORATE THE 1997 EDITION OF DOCUMENT A201, GENERAL CONDITIONS.
- GENERAL CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE TO THE ARCHITECT AND OWNER FOR REVIEW PRIOR TO COMMENCING WORK.
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL COORDINATE AND OBTAIN ALL PERMITS REQUIRED TO COMPLETE THE CONSTRUCTION OF THE WORK AS INDICATED ON THE DRAWINGS AND SPECIFICATIONS.
- GENERAL CONTRACTOR SHALL INCLUDE IN THE BASE BID ALL FEES ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT, INCLUDING BUT NOT LIMITED TO PERMIT FEES AND ALL SUBCONTRACTOR PERMIT FEES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY COORDINATING ALL ASPECTS OF THE CONSTRUCTION INCLUDING CROSS REFERENCING ALL OBVIOUSLY RELATED DOCUMENTS AND DRAWINGS. SHOULD PROBLEMS ARISE OUT OF A LACK OF COORDINATION IN AREAS THAT COULD HAVE REASONABLY BEEN FORESEEN, NO ADDITIONAL PAYMENT SHALL BE WARRANTED OR APPROVED BY THE OWNER OR THE ARCHITECT. SHOULD THE SERVICES OF THE ARCHITECT AND/OR HIS CONSULTANTS BE REQUIRED TO REMEDY OR REVISE THE CONSTRUCTION DUE TO ERRORS AND/OR OMISSIONS BY THE CONTRACTOR, COMPENSATION FOR THESE SERVICES SHALL BE MADE BY THE GENERAL CONTRACTOR THROUGH THE CHANGE ORDER PROCESS OR BY SEPARATE AGREEMENT WITH THE ARCHITECT AND/OR HIS CONSULTANTS.
- ALL WORK DETAILED IN THESE CONSTRUCTION DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR WHO SHALL SUBCONTRACT AND/OR ASSIGN PORTIONS OF THE WORK TO THE MOST QUALIFIED TRADE. FAILURE BY ANY SUBCONTRACTOR TO INCLUDE CERTAIN WORK REQUIRED SHALL NOT RELIEVE THE GENERAL CONTRACTOR OF HIS RESPONSIBILITY AS PART OF THE CONTRACT FOR CONSTRUCTION TO PROVIDE A COMPLETE JOB.
- CONTRACTOR IS TO COORDINATE AND ORGANIZE THE CONSTRUCTION PROCESS AND COMPLETE SAME IN A MANNER WHICH LEAST IMPACTS THE ADJOINING COMMON AREAS, IN ORDER TO MINIMIZE INCONVENIENCE TO THE EXISTING TENANTS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO EMPLOY THOSE CONTROL MEASURES NECESSARY TO ENSURE THAT THE BUILDING COMMONS AREAS AS WELL AS EXISTING TENANT SPACES ARE NOT IMPACTED BY AIRBORNE CONTAMINANTS CAUSED BY THE CONSTRUCTION OF THE TENANT SPACE. THE METHODS EMPLOYED SHALL COMPLY WITH THE INDOOR AIR QUALITY (IAQ) GUIDELINES FOR OCCUPIED BUILDINGS UNDER CONSTRUCTION 1ST EDITION PUBLISHED BY S.M.A.C.N.A. QUALITY CONTROL METHODS USED TO MONITOR AIR QUALITY, I.E. TESTING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW. SHOP DRAWINGS SHALL BE OF SUFFICIENT DETAIL AND SCALE TO DETERMINE COMPLIANCE WITH THE INTENT OF THE SPECIFIED QUALITY STANDARDS. INCOMPLETE SHOP DRAWINGS WILL BE RETURNED TO THE GENERAL CONTRACTOR WITHOUT REVIEW. THE GENERAL CONTRACTOR SHALL SUBMIT A SHOP DRAWING SCHEDULE INDICATING THE TYPE AND CRITICAL RETURN DATES TO THE ARCHITECT FOR REVIEW. THE RETURN OF SHOP DRAWINGS TO THE GENERAL CONTRACTOR WITH OR WITHOUT COMMENT, DOES NOT RELIEVE THE GENERAL CONTRACTOR AND THEIR SUB CONTRACTORS OF THE RESPONSIBILITY TO CONSTRUCT THE BUILDING PER THE PLANS AND SPECIFICATIONS, EVEN THOUGH THE SHOP DRAWINGS MAY INCORRECTLY DEVIATE FROM THE CONSTRUCTION DOCUMENTS. IN ADDITION THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DEVIATION FROM THE CONTRACT DOCUMENTS CONTAINED IN THE SHOP DRAWINGS. THE ARCHITECT, THEIR CONSULTANTS OR THE OWNER ARE NOT RESPONSIBLE FOR ANY CORRECTIVE CONSTRUCTION RESULTING FROM SHOP DRAWINGS THAT DEVIATE FROM THE CONTRACT DOCUMENTS.
- A PUNCH LIST SHALL BE PREPARED BY THE CONTRACTOR LISTING ALL ITEMS WHICH NEED TO BE COMPLETED, MODIFIED, CORRECTED OR REPLACED AND SUBMITTED TO ARCHITECT/OWNER. THE ARCHITECT SHALL THEN VISIT THE SITE TO REVIEW AND, IF THE LIST IS NOT REASONABLY COMPLETE, SHALL DIRECT THE CONTRACTOR TO COMPLETE THE LIST. THE FINAL PUNCH LIST SUBMITTED BY THE CONTRACTOR SHALL BE REVIEWED AND SUPPLEMENTED BY THE ARCHITECT/OWNER.
- CONTRACTOR SHALL DELIVER TO OWNER PRIOR TO FINAL PAYMENT ALL GUARANTIES, WARRANTIES AND TWO COPIES OF ALL MANUALS AND OPERATING INSTRUCTIONS AND ARRANGE TO GIVE PHYSICAL DEMONSTRATION OF ALL EQUIPMENT TO OWNER OR HIS REPRESENTATIVE.
- ALL LABOR AND MATERIALS SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION EXCEPT LONGER AS REQUIRED IN THE DRAWINGS AND/OR SPECIFICATIONS.
- ALL NEW CONSTRUCTION MUST MEET FEDERAL AND STATE BARRIER FREE REQUIREMENTS.
- MATERIAL OR SYSTEMS SHALL BE INSTALLED ACCORDING TO EXACT MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- ALL MATERIALS USED DURING CONSTRUCTION SHALL BE NEW AND FREE FROM BLEMISHES, NO USED MATERIALS WILL BE ALLOWED, EXCEPT AS NOTED HEREIN. COORDINATE WITH ARCHITECT AND OWNER/REPRESENTATIVE IN ADVANCE.
- DELIVERY AND STORAGE OF ALL MATERIAL SHALL BE ACCEPTABLE TO MANUFACTURER'S PRODUCT, REVIEW BY THE ARCHITECT AND SHALL PROVIDE COMPLETE PROTECTION OF PRODUCT.
- GENERAL CONTRACTOR SHALL COORDINATE DIRECTLY WITH OWNER/TENANT ALL WORK BY 'OWNER' OR 'TENANT' AS INDICATED ON PLANS AND ANY ATTACHED SPECIFICATIONS.
- GENERAL CONTRACTOR SHALL VERIFY FINAL SELECTION OF ALL FINISHES WITH ARCHITECT AND OWNER/TENANT. SUBMIT SAMPLES FOR REVIEW.
- FIRE EXTINGUISHERS SHALL BE PROVIDED BY GENERAL CONTRACTOR AND LOCATED AS REQUIRED BY CODE DURING CONSTRUCTION.
- CONCRETE SLABS SHALL BE LEVELED AND PREPARED TO RECEIVE FLOOR FINISH PER FINISH SCHEDULE.
- WHEREVER DISSIMILAR METALS CONTACT EACH OTHER, AND ARE SEPARATED FURTHER ON THE BELOW SCALE THAN BY A SINGLE INTERMEDIATE METAL, THE CONTACTING SURFACES SHALL BE INSULATED FROM EACH OTHER BY A BITUMINOUS COATING, 1/8" ASPHALT SATURATED FELT OR OTHER ARCHITECT APPROVED MEANS. METALS ARRANGED IN ORDER OF GALVANIC ACTIVITY: ALUMINUM, ZINC, GALVANIZED IRON, TIN ON STEEL, LEAD (HARD), STAINLESS STEEL, COPPER, MONEL.
- GENERAL CONTRACTOR SHALL COORDINATE AND INSTALL ALL NECESSARY BACKING SUPPORTS FOR CABINETRY, SHELVING, TOILET ACCESSORIES, PLUMBING/LIGHTING FIXTURES, ETC.
- ALL WOOD FRAMING AND BLOCKING LOCATED WITHIN CONCEALED SPACES, SUCH AS PARTITIONS ABOVE CEILINGS, ETC. SHALL BE FIRE RETARDANT.
- ALL GYPSUM BOARD SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE UNITED STATES GYPSUM "GYPSUM CONSTRUCTION HANDBOOK".
- ALL GYPSUM BOARD SHALL RECEIVE A SLICK FINISH (LEVEL 4, SMOOTH TEXTURE), UNLESS OTHERWISE NOTED.
- AT WALLS SCHEDULED TO RECEIVE WALLCOVERING SHALL BE PREPARED TO RECEIVE WALLCOVERING BY APPLYING A FLAT OIL BASE PRIMER TO PROVIDE FULL COVERAGE TO PROHIBIT TELEGRAPHING THROUGH THE WALLCOVERING.
- GENERAL CONTRACTOR AND THE APPROPRIATE SUBCONTRACTORS SHALL COORDINATE THE LOCATION OF OUTLETS, SWITCHES, THERMOSTATS, ETC. WITH THE PLUMBING LAYOUT AND WITH CONSIDERATION GIVEN TO THE PLACEMENT OF ART, PICTURES, PLAQUES, ETC. THIS SHALL BE REVIEWED WITH THE ARCHITECT AND TENANT.
- CONTRACTOR SHALL ADJUST EXISTING FIRE SPRINKLER SYSTEM AS REQUIRED BY CODE. ALL SPRINKLER HEADS SHALL BE FLUSH, FULLY CONCEALED TYPE. FIRE SPRINKLER SUB-CONTRACTOR SHALL PREPARE AND SUBMIT SHOP DRAWINGS TO BUILDING DEPARTMENT AS REQUIRED.
- PRIOR TO FINAL COMPLETION CONTRACTOR SHALL THOROUGHLY CLEAN ALL SURFACES.
- DIVERT DEMOLITION DEBRIS FROM DISPOSAL IN LANDFILLS AND INCINERATION FACILITIES. REDIRECT RECOVERED RESOURCES BACK TO THE MANUFACTURING PROCESS AND REUSABLE MATERIALS TO APPROPRIATE SITES. CONTRACTOR SHALL PROVIDE DOCUMENTATION TO IDENTIFY THE MATERIALS TO BE DIVERTED FROM DISPOSAL AND CALCULATIONS IN WEIGHT OR VOLUME OR PERCENTAGE OF DEBRIS TO BE RECYCLED OR SALVAGED. CONTRACTOR TO ACHIEVE A MINIMUM OF 75% RECYCLED OR SALVAGED DEBRIS OR MORE.

Tenant Improvements for: NOWLEN, HOLT & MINER, P.A.

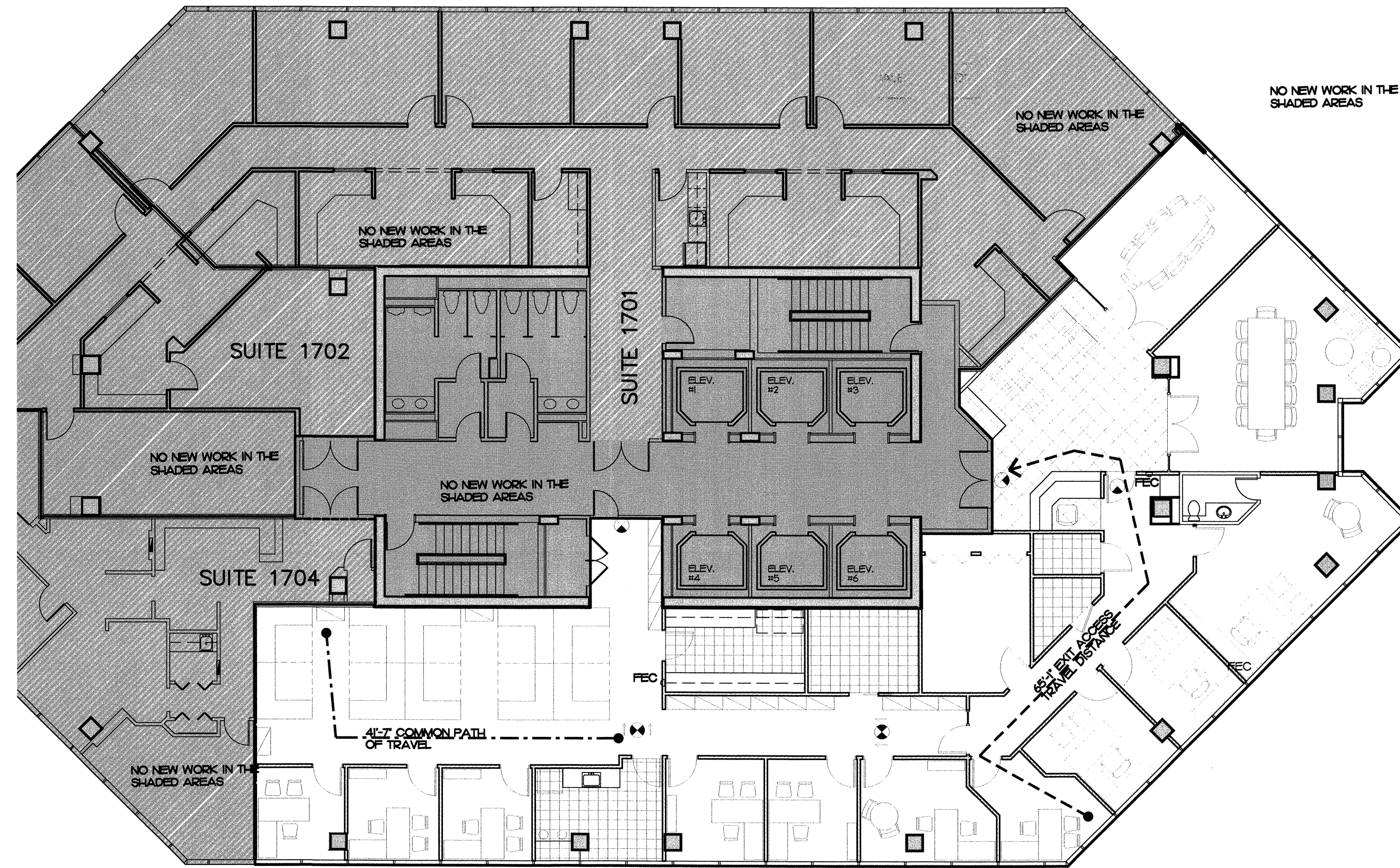
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1 LIFE SAFETY PLAN
SCALE: 3/32"=1'-0"

MEANS OF EGRESS (CHAP. 10 FBC)

	ALLOWABLE	PROVIDED
SUITE 1700 - 4,623 S.F.		
BUSINESS - 1/100 SF		
OCCUPANT LOAD		
TOTAL OCCUPANT LOAD	4,623 / 100 = 47	47
REQUIRED MEANS OF EGRESS - 17TH	1	2
MINIMUM CLEAR OPENING OF EXIT DOORS (SECTION 1004.1)	32 IN.	34 IN.
COMMON PATH OF EGRESS TRAVEL (SPRINKLERED)	100 FT.	41'-7"
EXIT ACCESS TRAVEL DISTANCE (SPRINKLERED)	300 FT.	65'-1"
DEAD ENDS (SPRINKLERED)	50 FT.	0 FT.
EXIT CAPACITY	LEVEL TRAVEL: 0.3 INCHES PER PERSON TRAVEL BY STAIRS: 0.3 INCHES PER PERSON	
ARRANGEMENT OF EXITS	300' MAX. TRAVEL DISTANCE (NFPA 101, 302.2 & FBC TABLE 1004.4) MAX. DEAD END 50' (NFPA 101, 302.2 & FBC TABLE 1004.4) COMMON PATH OF TRAVEL: 100' MAX. (NFPA 101, 302.2 & FBC TABLE 1004.4)	
AREA OF REFUGE	NOT REQUIRED PER FBC 10-4.13 (9) FOR FULLY SPRINKLERED BUILDINGS	

LIFE SAFETY LEGEND

- TRAVEL DISTANCE
- COMMON PATH OF TRAVEL
- ⊙ EXIT LIGHT
- FEC FIRE EXTINGUISHER CABINETS SHALL BE EQUAL TO LARSEN 'ARCHITECTURAL' SERIES MODEL NO. 2409 R2 RECESSED MOUNTED, SOLID DOOR STYLE BLACK TYPE 'A' LETTERS, STAINLESS STEEL FINISH

SCOPE OF WORK

THE SCOPE OF THE PROJECT INVOLVES THE INTERIOR TENANT IMPROVEMENTS OF TENANT SPACE 1700 AT 4,623 SF.

INDEX OF DRAWINGS

- ARCHITECTURAL**
- LS-1 LIFE SAFETY PLANS
 - D-1-0 DEMOLITION PLAN
 - A-1-0 FLOOR PLAN
 - A-1-1 REFLECTED CEILING PLAN
 - A-1-2 FINISH & FURNITURE FLOOR PLAN
 - A-2-0 INTERIOR ELEVATIONS
 - A-3-0 DETAILS
- MECHANICAL**
- M-11 MECHANICAL PLAN
 - M-21 MECHANICAL DATA & SPECS
 - M-22 MECHANICAL DETAILS
- PLUMBING**
- P-11 PLUMBING NOTES
- ELECTRICAL**
- E-11 POWER PLAN
 - E-21 LIGHTING PLAN
 - E-31 RISER PLAN & SPECS
- FIRE ALARM**
- FA-11 FIRE ALARM PLAN

CODE RESEARCH

- 2007 FLORIDA BUILDING CODE / WITH 2009 REVISIONS/ SUPPLEMENTS
- FLORIDA ACCESSIBILITY CODE
- NFPA 101, LIFE SAFETY CODE 2006 EDITION
- NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS
- 2005 NFPA-70 2005 EDITION - NATIONAL ELECTRIC CODE
- 2002 NFPA-72 2002 EDITION
- 2002 NFPA-13 2002 EDITION

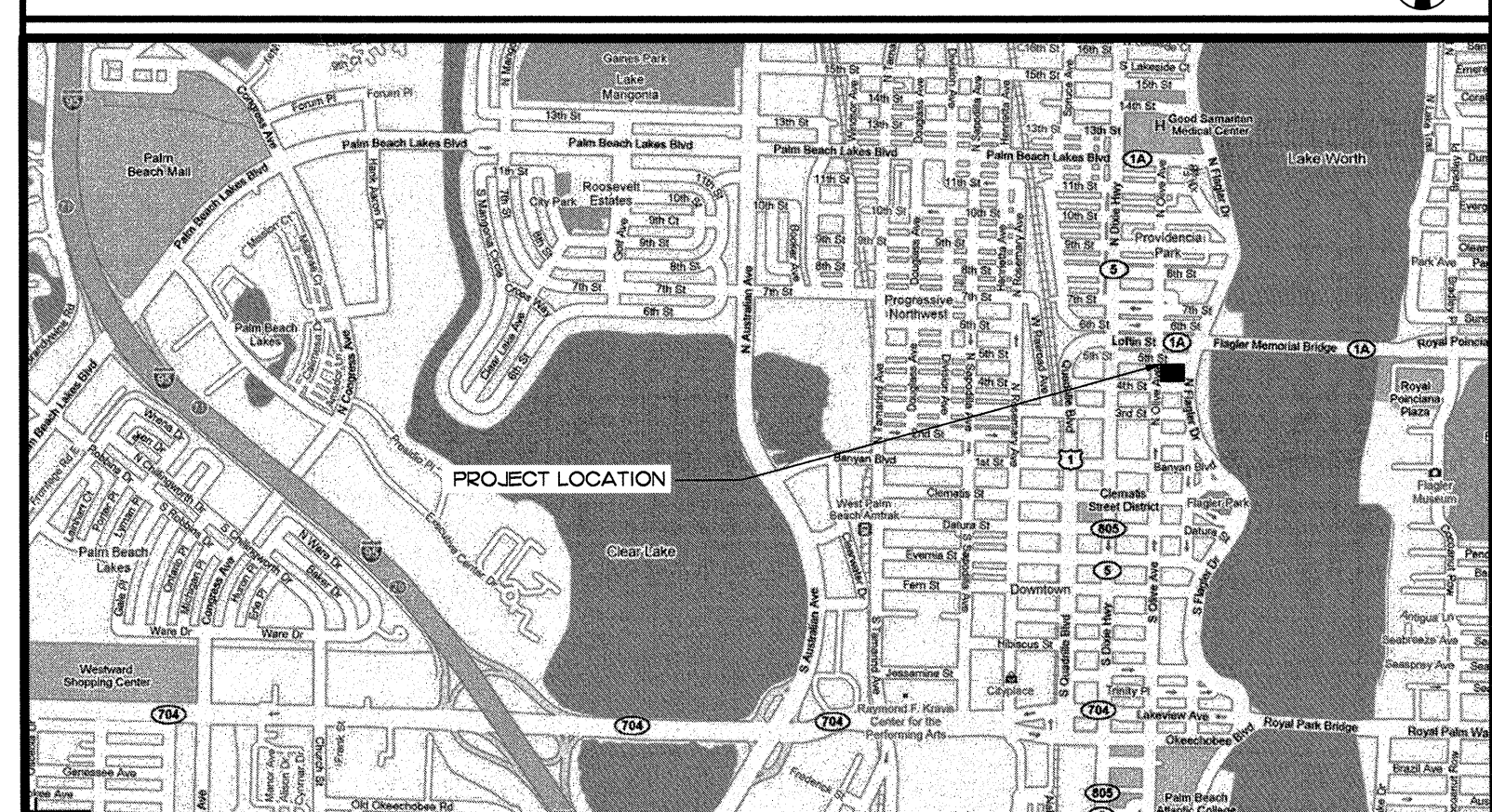
CLASSIFICATION OF WORK:
2007 FLORIDA EXISTING BUILDING CODE W/ 2009 AMENDMENTS
SECTION 404 - ALTERATION - LEVEL 2

OCCUPANCY:
CLASSIFICATION (TYPE) GROUP B (BUSINESS)
LOAD (SEE OCCUPANT LOAD CALCULATIONSON LS-1)
47 OCCUPANTS
CONSTRUCTION TYPE I-A (SPRINKLERED)

OCCUPANT FINISHES:
FBC TABLE 803.5 - FOR TYPE 'B' OCCUPANCY, FULLY SPRINKLERED,
CLASS 'C' IS ALLOWABLE. NFPA 101 SEC. 10.2.8.1 & 39.3.3.2.1 & TABLE A.10.2.2

THE BUILDING HAS EXISTING AUTOMATIC FIRE SPRINKLER SYSTEM. G.C. TO SUBMIT FOR SEPARATE PERMIT FOR ANY CHANGES TO EXISTING FIRE SPRINKLER SYSTEM AND FIRE ALARM SYSTEM.

LOCATION MAP



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TENANT IMPROVEMENTS FOR:

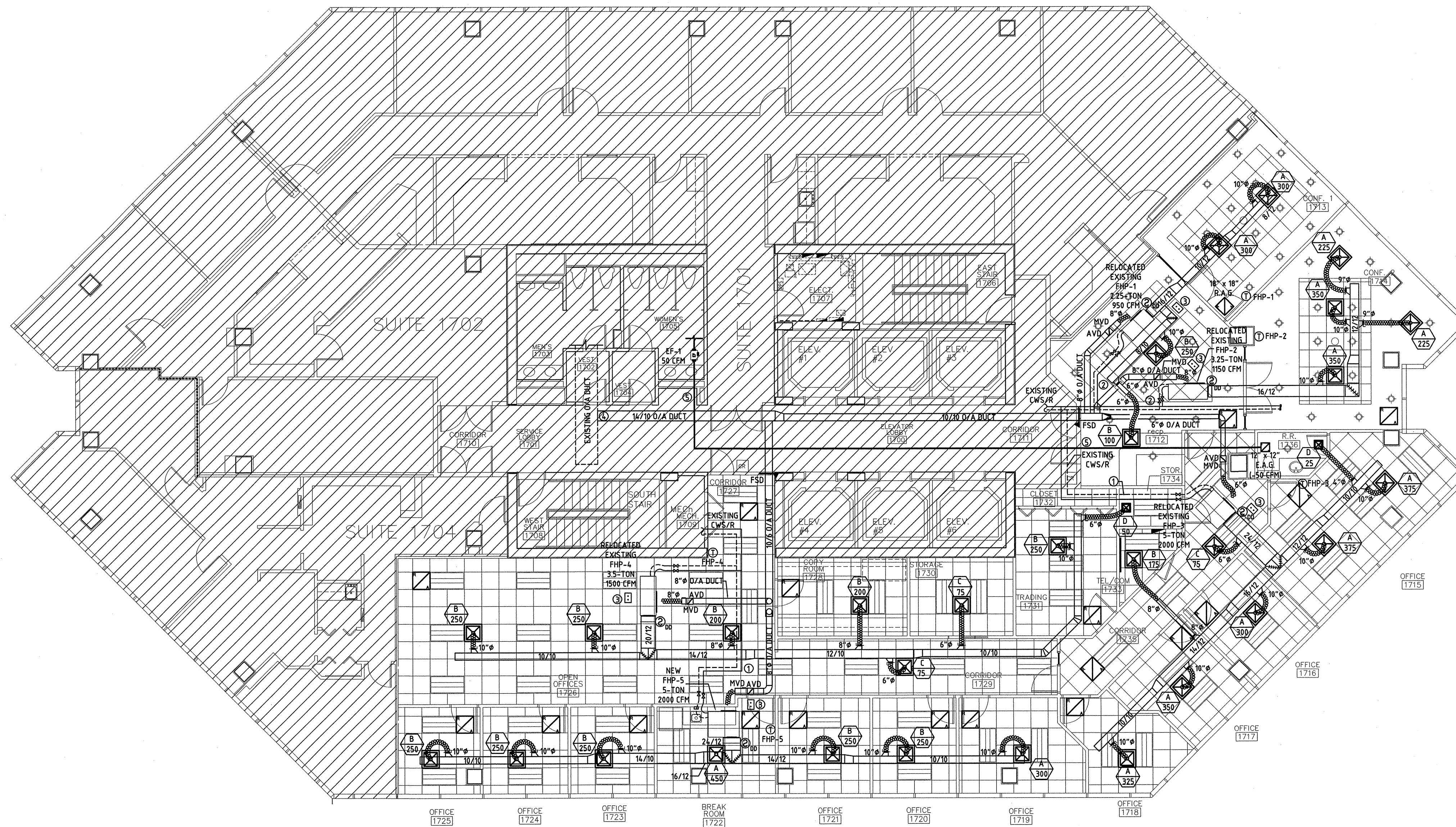
NH NOWLEN, HOLT & MINER, P.A.
CERTIFIED PUBLIC ACCOUNTANTS

**AT NORTHBRIDGE CENTER
515 N. FLAGLER DR., SUITE 1700
WPB, FLORIDA**

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drawn by: BJJOE
checked by: KS

LS-1



1 MECHANICAL PLAN
SCALE: 1/8"=1'-0"

NOTE TO CONTRACTOR
CONTRACTOR TO COORDINATE ALL MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL AND FIRE SPRINKLER WITH EXISTING CONDITIONS.
REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR FINAL LOCATION OF ALL DEVICES.

NOTE:
CEILING SPACE IS A COMMON PLENUM NO COMBUSTIBLE MATERIALS ALLOWED.

NOTE TO CONTRACTOR

- CONTRACTOR TO COORDINATE ALL MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL AND FIRE SPRINKLER WITH EXISTING CONDITIONS.
- REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR FINAL LOCATION OF ALL DEVICES.
- COORDINATE IN FIELD ALL DUCT CROSSINGS. TURN DUCTS UP AND OVER EACH OTHER AS REQUIRED.
- ALL FIRE DAMPERS AND FIRE SMOKE DAMPERS SHALL BE INSTALLED PER MANUFACTURERS INSTRUCTIONS.
- THERMOSTATS TO BE MOUNTED 42" A.F.F. COORDINATE EXACT LOCATIONS WITH SWITCH LOCATIONS ON WALL PRIOR TO ROUGH IN.
- ALL FLEX DUCTS SHALL NOT EXCEED 6' IN LENGTH. CONTRACTOR TO VERIFY IN FIELD EXACT LENGTH AND LOCATIONS FOR DUCT EXTENSIONS TO KEEP FLEX DUCT AT A 6' MAXIMUM.

KEY NOTES:

- EXTEND EXISTING CWS AND CWR LINES TO LOCATIONS SHOWN. VERIFY EXACT LOCATION IN FIELD.
- PROVIDE NEW 1" TAPS IN EXISTING CWS AND CWR LINES FOR NEW UNIT LOCATIONS. VERIFY EXACT LOCATION OF EXISTING LINES IN FIELD.
- CEILING MOUNT REMOTE ALARM TEST STATION. CENTER IN CEILING TILE NUMBER WITH CORRESPONDING FHP # FOR IDENTIFICATION.
- NEW EXTERNALLY WRAPPED SHEET METAL O/A DUCTWORK TO BE CONNECTED TO EXISTING O/A DUCT. VERIFY EXACT LOCATION AND ROUTING IN FIELD WITH EXISTING CONDITIONS.
- NEW 4" SHEET METAL EXHAUST DUCT FROM RESTROOM 1736 TO NEW EF-1 ABOVE WOMENS ROOM. CONNECT NEW EXHAUST DUCT TO EXISTING EXHAUST RISER. VERIFY EXACT LOCATION AND DUCT ROUTING IN FIELD WITH EXISTING CONDITIONS. NO FIRE DAMPER OR SMOKE DAMPERS ARE REQUIRED PER FMC 607.3 EXCEPTION 1 AND FMC607.5.4 EXCEPTION 3

A/C LEGEND	
	4W - DIFFUSER
	2W - DIFFUSER
	TRANSITION
	MANUAL VOLUME DAMPER (M.V.D.)
	FIRE DAMPER (F.D.)
	THERMOSTAT
	RETURN AIR GRILLE
	EXHAUST FAN
	REMOTE ALARM TEST STATION
	SMOKE DUCT DETECTOR
	DIFFUSER TYPE (CFM)
	AUTOMATED VOLUME DAMPER
	FLORIDA HEAT PUMP (FHP)
	CONDENSER WATER RETURN
	CWS CONDENSER WATER SUPPLY

ABBREVIATIONS	
A.F.F.	ABOVE FINISHED FLOOR
R.A.	RETURN AIR
R.C.	ROOF CAP
W.C.	WALL CAP
O/A	OUTSIDE AIR
S.A.D.	SUPPLY AIR DUCT
R.A.D.	RETURN AIR DUCT
R.A.G.	RETURN AIR GRILLE
E.A.G.	EXHAUST AIR GRILLE
T.E.D.	TOILET EXHAUST DUCT
AVD	AUTOMATED VOLUME DAMPER
FHP	FLORIDA HEAT PUMP
AHU	AIR HANDLER UNIT
CU	CONDENSING UNIT
WAHU	WALL MOUNTED AIR HANDLER UNIT
CAHU	CEILING MOUNTED AIR HANDLER UNIT
(N)	NEW
(E)	EXISTING TO REMAIN
(D)	EXISTING TO BE DEMOLISH
(RE)	EXISTING TO BE RELOCATED
(RP)	EXISTING TO BE REPLACED
	SUPPLY DUCT (UP & DOWN)
	RETURN DUCT (UP & DOWN)
	EXHAUST DUCT (UP & DOWN)
	O/A DUCT (UP & DOWN)
	NEW DUCT - WIDTH x DEPTH
	EXISTING DUCT - WIDTH x DEPTH
	NEW FLEX DUCT - DIAMETER

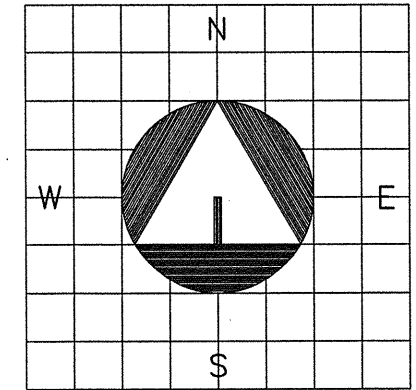
TENANT IMPROVEMENTS FOR:
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sheet title: MECHANICAL PLAN
file name: 11421_M1.1(2).DWG
project no: 11421
date: 11/09/11
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M1.1

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17th FLOOR PLAN
SCALE: 1/8" = 1'-0"
0' 4' 8' 16' 32'



PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFYING EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.

EXISTING WATER SOURCE HEAT PUMP DATA														
QTY.	UNIT NO.	MFG.	MODEL NO.	TOTAL	SENSIBLE	HEAT REJECT.	FAN SECTION			GPM/P.D. (FT)	EER/COP	WATER TEMP.		CWS & CWR CONNECTION
							CFM	E.S.P.	O/A			ENT.	LVG.	
1	FHP-1	FHP	EM28 HORIZ.	28,000	--	--	950	0.4	185	7.0/EXIST.	EXISTING	85	95	3/4"
1	FHP-2	FHP	EM041 HORIZ.	38,500	--	--	1,150	0.4	150	9.0/EXIST.	EXISTING	85	95	3/4"
1	FHP-3	FHP	EH060 HORIZ.	60,000	--	--	2,000	0.4	80	15.0/EXIST.	EXISTING	85	95	1"
1	FHP-4	FHP	EM042 HORIZ.	41,500	--	--	1,500	0.4	130	10.0/EXIST.	EXISTING	85	95	3/4"

A/C EQUIPMENT NOTES:
1) ALL WSPH ARE EXISTING TO REMAIN. SHOWN FOR REFERENCE ONLY. SEE BASE BUILDING DRAWINGS FOR MORE INFORMATION.
2) PROVIDE PRO-1 T-705 THERMOSTATS FOR ALL HEAT PUMPS (REPLACE EXISTING T-STATS FOR UNITS THAT ARE TO REMAIN IF NOT SPECIFIED THERMOSTAT). T-STATS TO BE MOUNTED 42" A.F.F.
3) ALL UNITS ARE TO BE TIED INTO FIRE ALARM SYSTEM AND HAVE GLOBAL SHUT DOWN COORDINATE WITH BUILDING ENGINEER.

EXISTING WSPH ELECTRICAL DATA												
UNIT NO.	V/P/Hz	COMPRESSOR			IFM		HEATING	ELECTRIC HEAT	AIR HANDLER UNIT			
		QTY	FLA	LRA	HP	FLA			MIN. CAPACITY	MAX FUSE		
FHP-1	EXISTING	1	-	-	-	-	EXISTING	-	EXISTING	-	EXISTING	
FHP-2	EXISTING	1	-	-	-	-	EXISTING	-	EXISTING	-	EXISTING	
FHP-3	EXISTING	1	-	-	-	-	EXISTING	-	EXISTING	-	EXISTING	
FHP-4	EXISTING	1	-	-	-	-	EXISTING	-	EXISTING	-	EXISTING	

WATER SOURCE HEAT PUMP DATA														
QTY.	UNIT NO.	MFG.	MODEL NO.	TOTAL	SENSIBLE	HEAT REJECT.	FAN SECTION			GPM/P.D. (FT)	EER/COP	WATER TEMP.		CWS & CWR CONNECTION
							CFM	E.S.P.	O/A			ENT.	LVG.	
1	FHP-5	FHP	EC060 HORIZ.	62,260	47,780	78,730	2,000	0.4	130	15.0/10.7	13.2/4.4	85	95	1"

A/C EQUIPMENT NOTES:
1) VERIFY ALL A/C ELECTRICAL REQUIREMENTS WITH MANUFACTURERS SPEC. PRIOR TO INSTALLATION.
2) PROVIDE R-410A REFRIGERANT
3) PROVIDE PRO-1 T-705 THERMOSTATS FOR ALL HEAT PUMPS (REPLACE EXISTING T-STATS FOR UNITS THAT ARE TO REMAIN IF NOT SPECIFIED THERMOSTAT). T-STATS TO BE MOUNTED 42" A.F.F.
4) PROVIDE HOSE KITS WITH "MEMORY STOP" BALL VALVES AND FIRE RATED HOSES (SS BRAIDED)
5) PROVIDE SMOKE DETECTORS WITHIN 5' OF THE UNITS.
6) PROVIDE HIGH AND LOW PRESSURE SWITCHES, FREEZER/STAT AND TXV VALVE
7) PROVIDE AUTOMATIC RESTART, PER MANUFACTURER RECOMMENDATIONS. CONTROL SEQUENCE SHALL INCLUDE AUTO-RESET AFTER LOSS OF FLOW/HIGH CONDENSER PRESSURE. THIS SEQUENCE SHALL AUTOMATICALLY RESET UP TO THREE TIMES AFTER ANTI-RECYCLE DELAY. ON THE FOURTH INSTANCE OF SAFETY TRIP THE UNIT SHALL REMAIN OFF UNTIL MANUALLY RESET AT DISCONNECT ALLOWING REVIEW OF SOURCE PROBLEM.
8) PROVIDE AUXILIARY DRAIN PAN WITH AUTOMATIC SHUTOFF FLOAT SWITCH
9) PROVIDE QUIET PACKAGE
10) MOTOR STARTERS, DISCONNECTS AND ALL EQUIPMENT POWER WIRING BY ELECTRICAL CONTRACTOR. COORDINATE PRIOR TO ANY WORK AND PURCHASING.
11) ALL UNITS ARE TO BE TIED INTO FIRE ALARM SYSTEM AND HAVE GLOBAL SHUT DOWN COORDINATE WITH BUILDING ENGINEER.

HP ELECTRICAL DATA												
UNIT NO.	V/P/Hz	COMPRESSOR			IFM		HEATING	ELECTRIC HEAT	AIR HANDLER UNIT			
		QTY	FLA	LRA	HP	FLA			MIN. CAPACITY	MAX FUSE		
FHP-5	460/3/60	1	9.7	70.0	3/4	2.5	79,000	-	14.7	-	20	

NOTE:
PER 2007 FBC CH. 13, SECTION 409.1.ABC.3-3
PROVIDE MOTORIZED SHUTOFF CONTROL DAMPERS ON RTU'S/AHU'S WITH CFM'S IN EXCESS OF 300 CFM. GRAVITY DAMPERS ARE SUFFICIENT FOR LESS THAN 300 CFM OF OUTSIDE AIR.
THIS PROJECT:
ALL AHU'S ARE PROVIDED WITH MOTORIZED O/A DAMPERS

EXHAUST FAN DATA	
FAN #	EF-1
MANUFACTURER	GREENHECK 50-65-G
CFM	50
E.S.P. IN. WG.	0.250
RPM	- ROOF CURB TYPE -
	- DIRECT DRIVE -
ELECTRIC V/PHZ	120/1/60 1/50 hp
OPERATING WEIGHT	26.0 LBS
ACCESS.	- ROOF CURB TYPE -
	- FIRESTAT -
	- BACKDRAFT DAMPER -
	- DISCONNECT SWITCH -
	- SPEED CONTROL -
REMARKS	x 4" x 8" SHEET METAL DUCT. x SEE PLANS FOR TERMINATION.

OUTSIDE AIR SCHEDULE per ASHRAE 62.1-2004									
SPACE	NET OCCUPIED AREA	OCCUPANCY DENSITY PER 1000 SQFT	ESTIMATED OCCUPANCY	ACTUAL OCCUPANCY	VENTILATION RATE CFM PER PERSON + SQFT	VENTILATION REQUIRED	VENTILATION PROVIDED	NOTES	
RECEPTION	405	30	13	-	5 + 0.06	65 + 25 = 90	185	FHP-1	
CONFERENCE	285	50	15	-	5 + 0.06	75 + 18 = 93	-		

NOTES:
1) OCCUPANT DENSITIES & VENTILATION RATES ARE BASED ON ASHRAE STANDARD 62.1, 2004 & 2006 SUPPLEMENT, PER SECTION 4.03, SUBSECTION 4.03.4 OF FLORIDA BUILDING CODE MECHANICAL 2007
2) ACTUAL OCCUPANCY IS BASED ON EITHER SEATING ARRANGEMENT OR INFORMATION PROVIDED BY OWNER AND OR ARCHITECT.

OUTSIDE AIR SCHEDULE per ASHRAE 62.1-2004									
SPACE	NET OCCUPIED AREA	OCCUPANCY DENSITY PER 1000 SQFT	ESTIMATED OCCUPANCY	ACTUAL OCCUPANCY	VENTILATION RATE CFM PER PERSON + SQFT	VENTILATION REQUIRED	VENTILATION PROVIDED	NOTES	
CONFERENCE	455	50	23	-	5 + 0.06	115 + 28 = 143	150	FHP-2	

NOTES:
1) OCCUPANT DENSITIES & VENTILATION RATES ARE BASED ON ASHRAE STANDARD 62.1, 2004 & 2006 SUPPLEMENT, PER SECTION 4.03, SUBSECTION 4.03.4 OF FLORIDA BUILDING CODE MECHANICAL 2007
2) ACTUAL OCCUPANCY IS BASED ON EITHER SEATING ARRANGEMENT OR INFORMATION PROVIDED BY OWNER AND OR ARCHITECT.

OUTSIDE AIR SCHEDULE per ASHRAE 62.1-2004									
SPACE	NET OCCUPIED AREA	OCCUPANCY DENSITY PER 1000 SQFT	ESTIMATED OCCUPANCY	ACTUAL OCCUPANCY	VENTILATION RATE CFM PER PERSON + SQFT	VENTILATION REQUIRED	VENTILATION PROVIDED	NOTES	
OFFICE	700	5	4	-	5 + 0.06	20 + 42 = 62	80	FHP-3	
CORRIDOR	245	-	-	-	0.06	15	-		

NOTES:
1) OCCUPANT DENSITIES & VENTILATION RATES ARE BASED ON ASHRAE STANDARD 62.1, 2004 & 2006 SUPPLEMENT, PER SECTION 4.03, SUBSECTION 4.03.4 OF FLORIDA BUILDING CODE MECHANICAL 2007
2) ACTUAL OCCUPANCY IS BASED ON EITHER SEATING ARRANGEMENT OR INFORMATION PROVIDED BY OWNER AND OR ARCHITECT.

OUTSIDE AIR SCHEDULE per ASHRAE 62.1-2004									
SPACE	NET OCCUPIED AREA	OCCUPANCY DENSITY PER 1000 SQFT	ESTIMATED OCCUPANCY	ACTUAL OCCUPANCY	VENTILATION RATE CFM PER PERSON + SQFT	VENTILATION REQUIRED	VENTILATION PROVIDED	NOTES	
OFFICE	975	5	5	-	5 + 0.06	25 + 59 = 84	130	FHP-4	
CORRIDOR	395	-	-	-	0.06	24	-		
STORAGE	177	-	-	-	0.12	22	-		

NOTES:
1) OCCUPANT DENSITIES & VENTILATION RATES ARE BASED ON ASHRAE STANDARD 62.1, 2004 & 2006 SUPPLEMENT, PER SECTION 4.03, SUBSECTION 4.03.4 OF FLORIDA BUILDING CODE MECHANICAL 2007
2) ACTUAL OCCUPANCY IS BASED ON EITHER SEATING ARRANGEMENT OR INFORMATION PROVIDED BY OWNER AND OR ARCHITECT.

OUTSIDE AIR SCHEDULE per ASHRAE 62.1-2004									
SPACE	NET OCCUPIED AREA	OCCUPANCY DENSITY PER 1000 SQFT	ESTIMATED OCCUPANCY	ACTUAL OCCUPANCY	VENTILATION RATE CFM PER PERSON + SQFT	VENTILATION REQUIRED	VENTILATION PROVIDED	NOTES	
OFFICE	710	5	4	-	5 + 0.06	20 + 43 = 63	130	FHP-5	
BREAK ROOM	150	30	5	-	7.5 + 0.18	38 + 21 = 65	-		

NOTES:
1) OCCUPANT DENSITIES & VENTILATION RATES ARE BASED ON ASHRAE STANDARD 62.1, 2004 & 2006 SUPPLEMENT, PER SECTION 4.03, SUBSECTION 4.03.4 OF FLORIDA BUILDING CODE MECHANICAL 2007
2) ACTUAL OCCUPANCY IS BASED ON EITHER SEATING ARRANGEMENT OR INFORMATION PROVIDED BY OWNER AND OR ARCHITECT.

AIR TERMINAL SCHEDULE (TITUS)						
SERVICE	SYSTEM	LOCATION	ACCESSORIES	MANUFACTURE	MODEL	DESCRIPTION
A	SUPPLY	CEILING	-	TITUS	MODEL NO: TDC-AA	15" x 15" 4-WAY
B	SUPPLY	CEILING	-	TITUS	MODEL NO: TDC-AA	12" x 12" 4-WAY
C	SUPPLY	CEILING	-	TITUS	MODEL NO: TDC-AA	9" x 9" 4-WAY
D	SUPPLY	CEILING	-	TITUS	MODEL NO: 250-AA	8" x 6" 1-WAY
EA	EXHAUST	CEILING	O.B.D.	TITUS	MODEL NO: 350FL	12" x 12" UNLESS OTHERWISE NOTED
RA	RETURN	CEILING	-	TITUS	MODEL NO: 350FL	24" x 24" UNLESS OTHERWISE NOTED

AIR TERMINAL NOTES:
1) STANDARD FINISH TO BE WHITE FOR ALL DEVICES.
2) ALL DIFFUSER TYPES MIGHT NOT BE USED.

AIR CONDITIONING SPECIFICATION
A. GENERAL
1. AIR CONDITIONING CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO BID AND VERIFY ALL CONDITIONS, LOCATIONS, DIMENSIONS, MATERIALS, ELEVATIONS AND COUNTS AS SHOWN AND/OR NOTED ON THE DRAWINGS AND INCLUDE IN THE BID ANY AND ALL FABRICATED REQUIRED PRIOR TO INSTALLATION OF THE CONTRACTOR SHALL VERIFY SIZE, ELEVATION, AND PRESENT STATE OF ALL EXISTING UTILITIES.
2. THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF ANY AND ALL EXISTING FIELD CONDITIONS WHICH DEVIATE FROM WHAT WAS SHOWN ON THE PLANS. CONTRACTOR IS RESPONSIBLE TO PROVIDE PILING FOR A COMPLETE INSTALLATION INCLUDING ANY COSTS ASSOCIATED WITH THE CONDITIONS AT THE TIME OF BIDDING.
3. IT SHALL BE THE RESPONSIBILITY OF THE AIR CONDITIONING CONTRACTOR FOR THE ADVANCED ORDERING OF LONG LEAD ITEMS SO THAT DELIVERY WILL NOT INTERFERE WITH THE PRODUCTION OF OTHER TRADES RESULTING IN ANY DOWN OR LAG TIME.
4. IT SHALL BE THE RESPONSIBILITY OF THE AIR CONDITIONING CONTRACTOR TO PROVIDE ALL LABOR, MATERIALS, AND SUPERVISION NECESSARY TO ACCOMPLISH THE WORK SHOWN AND/OR NOTED ON THE DRAWINGS. THE DRAWINGS ARE DIAGNOSTIC. DO NOT SCALE FOR EXACT LOCATION. THE AIR CONDITIONING CONTRACTOR SHALL INSTALL ALL NECESSARY OFFSETS, BENDS, AND TRANSITIONS AS REQUIRED TO PROVIDE A COMPLETE AND FULLY OPERATIVE SYSTEM. ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS. CONTRACTOR SHALL NOTIFY ENGINEER IF DUCT SIZE CHANGES ARE REQUIRED BECAUSE OF EXISTING CONDITIONS.
5. CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS, TESTS, AND ALL REQUIRED INSURANCE FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
6. AFTER BID SELECTION AND PRIOR TO COMMENCEMENT OF WORK, THE AIR CONDITIONING CONTRACTOR SHALL SUBMIT (6 COPIES) OF EQUIPMENT CUTS FOR ALL DUCT WORK, EXHAUST FANS, AIR DEVICES, AND EQUIPMENT AS STATED ON SCHEDULES AND OR NOTES. IF THE CONTRACTOR PROPOSES TO USE ANY ARTICLE, DEVICE, PRODUCT, OR MATERIAL WHICH IS NOT AS SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVE TO THE ENGINEER THAT THE PROPOSED SUBSTITUTION IS EQUAL AND WILL FIT ALLOCATED SPACE.
B. WORKMANSHIP
7. ALL WORK SHALL BE PERFORMED BY A LICENSED AIR CONDITIONING CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. ALL WORKMANSHIP AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE NATIONAL, STATE AND LOCAL CODES AND ORDINANCES.
8. THE AIR CONDITIONING CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR TO ORIGINAL CONDITION ANY AND ALL DAMAGES TO BUILDING SURFACES, EQUIPMENT, AND FURNISHINGS CAUSED BY THE CONTRACTOR DURING THE PERFORMANCE OF WORK.
9. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
C. PIPING
10. ALL REFRIGERANT PIPING SHALL BE TYPE "L" OR TYPE "K" COPPER WITH WROUGHT COPPER OR BRASS FITTINGS. STEEL VALVES ARE NOT PERMITTED.
11. THE AIR CONDITIONING CONTRACTOR SHALL RUN ALL CONDENSATE DRAINS PER PLUMBING SPECIFICATIONS. (SEE PLUMBING SHEETS)
12. INTERIOR CONDENSATE DRAIN PIPING AND REFRIGERANT SUCTION LINES SHALL BE INSULATED WITH 5/8" THICK INLOCKOR OR ARMAFLEX.
13. COMBUSTIBLE PIPING IS NOT PERMITTED IN RETURN AIR PLENUMS OR CEILING SPACES USED FOR RETURN AIR.
D. INSTALLATION
14. LOCATION OF AIR CONDITIONING DUCTS AND AIR DEVICES MAY CHANGE. VERIFY EXACT LOCATION WITH ARCHITECT/ENGINEER PRIOR TO INSTALLATION. DRAWINGS ARE DIAGNOSTIC. DO NOT SCALE FOR THE EXACT LOCATION OF DUCTS, DIFFUSERS, GRILLES, REGISTERS, PIPING, EQUIPMENT, ETC. SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION OF AIR DEVICES.
15. THE AIR CONDITIONING CONTRACTOR SHALL MOUNT ALL ROOFTOP EQUIPMENT ON FACTORY FABRICATED CURBS AND ANCHORS FOR A MINIMUM OF 1/4 MPH WIND LOADS. WIND LOADS AT ROOFING HEIGHTS SHALL BE AS SPECIFIED BY LOCAL CODES.
16. THE AIR CONDITIONING CONTRACTOR SHALL USE VANE ELBOWS OR APPROVED 3 PIECE ELBOWS, SPLITTER DAMPERS WHERE INDICATED, VOLUME CONTROLS IN ALL BRANCH LINES AND SUPPLY AND RETURN AIR DEVICES.
17. THE AIR CONDITIONING CONTRACTOR SHALL SEAL ALL DUCTS IN AN APPROVED MANNER TO INSURE AGAINST LEAKAGE.
18. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID ANY CONFLICTS IN LOCATIONS FOR DUCTS, DIFFUSERS, GRILLES, REGISTERS, PIPING, EQUIPMENT, ETC., IN ORDER TO NOT INTERFERE WITH THE PROGRESS OF CONSTRUCTION.
E. EQUIPMENT AND MATERIALS
19. THE AIR CONDITIONING CONTRACTOR SHALL PROVIDE FLEXIBLE DUCT CONNECTIONS TO ALL FANS, A/C UNITS, OR MECHANICAL EQUIPMENT, EXCEPT FOR EXHAUST HOODS.
20. ALL EXHAUST AND OUTSIDE AIR DUCTS SHALL BE GALVANIZED SHEET METAL CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH ASHRAE, SHACMA, AND LOCAL CODES. ALL OUTSIDE AIR DUCTS SHALL HAVE 1" INSULATION IN AIR CONDITIONED SPACES.
21. UNLESS NOTED AS EXISTING, ALL EQUIPMENT, PIPING, DUCTS, REGISTERS, ETC., SHALL BE NEW.
22. TERMINAL AIR DISTRIBUTION DEVICES SHALL BE TITUS, METALAIR OR KALOR-HART OR EQUAL AS SCHEDULED. ALL VOLUME DAMPERS SHALL BE OPPOSED BLADE TYPE WITH SCREWDRIVER ADJUSTMENT.
23. ALL SUPPLY AND RETURN FIBERGLASS AIR DUCTWORK SHALL BE JOHNS MANVILLE FIBERGLASS 115" THICK. TYPE 475 OR 800 OR SHEET METAL WITH MINIMUM 1/4" EXTERIOR FOAMBACK INSULATION UNLESS OTHERWISE NOTED ON PLANS. ALL DUCTS SHALL BE SUPPORTED IN AS STRAIGHT AND LEVEL AS FASHION AS POSSIBLE. THE ENTIRE INSTALLATION SHALL BE INSTALLED IN ACCORDANCE WITH ASHRAE, SHACMA, AND LOCAL CODES. FLEXIBLE DUCTS SHALL BE UL-RATED NONMETALLIC CLASS 1, 2 & 4. INSTALLED IN ACCORDANCE WITH FBC-M 384.1 FLEXIBLE DUCTS SHALL NOT BE LIMITED IN LENGTH PER FBC-M 693.11
24. THE AIR CONDITIONING CONTRACTOR SHALL PROVIDE ALL CONTACTORS, STARTERS, RELAYS, AND THERMOSTATS. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL SWITCHES, DISCONNECTS, POWER WIRING AND CONTROL WIRING.
25. THE AIR CONDITIONING CONTRACTOR SHALL PROVIDE 1" THICK FARR 30/30 (THROW-AWAY TYPE) FILTERS WITH EACH A/C UNIT.
26. ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND SHALL BEAR UNDERWRITERS LABEL WHERE APPLICABLE.
F. SAFETY
27. ALL PENETRATIONS OF FIRE-RATED WALLS, FLOORS OR CEILINGS SHALL BE PREPROOFED BY A SEALING METHOD AND RATING AS SPECIFIED ON THE DRAWINGS OR AS REQUIRED BY THE LOCAL OR STATE CODES.
28. AIR HANDLING DEVICES IN EXCESS OF 200 CFM SHALL HAVE A DUCT SMOKE DETECTOR TO STOP THE FAN AND ACTIVATE A HORN AND STROBE LIGHT. ALL EQUIPMENT SHALL BE INTERLOCKED AS REQUIRED BY LOCAL CODES OR FIRE SAFETY OFFICIALS.
29. ALL WORK SHALL COMPLY WITH BASE BUILDING LIFE SAFETY/SMOKE CONTROL SYSTEM REQUIREMENTS. PROVIDE ALL NECESSARY WIRING, CONTACTORS, RELAYS, ETC., AS REQUIRED FOR INTERFACE WITH BASE BUILDING SYSTEM.
30. THE AIR CONDITIONING CONTRACTOR SHALL KEEP ALL AREAS IN WHICH WORK IS BEING PERFORMED, FREE FROM DEBRIS AT ALL TIMES AND SAID AREAS SHALL BE LEFT BROOM CLEAN AT THE END OF EACH WORKING DAY.
G. COMPLETION
31. THE AIR CONDITIONING CONTRACTOR SHALL PROVIDE A COMPLETE SET OF AS BUILT DRAWINGS TO THE ENGINEER UPON COMPLETION OF INSTALLATION. IF FIELD CHANGES ARE MADE WHICH DEVIATE FROM ENGINEERING DRAWINGS TO THE EXTENT THAT THE BUILDING DEPARTMENT REQUIRES THESE CHANGES BE INCORPORATED PRIOR TO INSPECTION, THE CONTRACTOR SHALL PROVIDE SKETCHES TO THE ENGINEER FOR INCORPORATION INTO THE BUILDING PLANS. ENGINEERING EXPENSES THAT ARE INCURRED DUE TO REVISIONS OR SUBSTITUTIONS REQUESTED BY THE CONTRACTOR SHALL BE PAID FOR BY THAT CONTRACTOR.
32. AIR CONDITIONING CONTRACTOR SHALL PROVIDE A TEST AND BALANCE REPORT PER FBC 2007, CH 13, 410.1.ABC.4 FOR ALL MECHANICAL EQUIPMENT, AIR DEVICES, DAMPERS, AHU'S AND FANS FOR ALL PROJECTS. THE T & B REPORT SHALL BE IN ACCORDANCE WITH AIR BALANCE COUNCIL STANDARDS AND SHALL INCLUDE AIR QUANTITIES FOR ALL SUPPLY GRILLES, RETURN GRILLES, AND EXHAUST GRILLES AND THE LEAVING AND ENTERING AIR TEMP (T) FROM SUPPLY GRILLES AND EVAPORATORS. IF THE OWNER EXPERIENCES UNCOMFORTABLE CONDITIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF AIR FLOW TO WITHIN PLUS OR MINUS 10% FROM AIR QUANTITIES STATED ON THE PLAN.
33. AIR CONDITIONING CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP TO BE FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN 10 YEAR FROM DATE OF ACCEPTANCE. AND ALL GUARANTEES AND WARRANTIES SHALL BE DELIVERED TO THE OWNER. COMPRESSORS SHALL HAVE EXTENDED FIVE YEAR WARRANTIES.
H. EXISTING CONDITIONS
34. IF THE NATURE OF THIS CONTRACT INVOLVES EXTENSIVE REMODELING OF THE EXISTING BUILDING, THE AIR CONDITIONING CONTRACTOR, PRIOR TO BID, SHALL INSPECT THE EXISTING CONDITIONS AT THE JOB SITE AND ACQUAINT HIMSELF WITH THE CONDITIONS THAT WILL AFFECT HIS WORK.
35. PRIOR TO INSTALLATION, THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION OF ALL EQUIPMENT WITH THE OWNER'S REPRESENTATIVE AND THE ACTUAL EQUIPMENT BEING FURNISHED.
36. PRESENT AIR CONDITIONING EQUIPMENT WHERE INDICATED ON THE DRAWINGS IS FOR INFORMATION ONLY AND THE CONTRACTOR SHALL INCLUDE THE INSTALLATION OF CONDUIT AND WIRE AS REQUIRED. THE INSTALLATION OF NEW EQUIPMENT THAT INTERFERES WITH EXISTING SHALL BE REMOVED, RELOCATED, OR RE-ROUTED TO PERMIT COMPLETION OF SUCH WORK.
37. SALVAGED MATERIALS, EQUIPMENT, AND DIFFUSERS SHALL BE DELIVERED TO THE OWNER AT HIS PROPERTY AND STORED WITHIN THE BUILDING WHERE DIRECTED. ANY REMOVED MATERIALS OR EQUIPMENT WHICH THE OWNER DOES NOT WISH TO KEEP SHALL BE DISPOSED OF BY THE CONTRACTOR, WITHOUT ADDITIONAL COST TO THE OWNER.
38. ALL PRESENT DUCTWORK AND PIPING IN EXISTING AREAS TO BE ALTERED, WHICH WILL HAVE NO USE UPON COMPLETION OF THE ALTERATIONS SHALL BE REMOVED. WHENEVER DUCTS OR PIPING ARE OR WILL BECOME EXPOSED TO VIEW, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
39. THE AIR CONDITIONING CONTRACTOR SHALL DETERMINE THE EXTENT TO WHICH EXISTING DUCTWORK AND PIPING WILL HAVE TO BE RE-ROUTED, RELOCATED, OR RECONNECTED, AND THE AMOUNT OF ADDITIONAL WORK WHICH MAY BE REQUIRED DUE TO THE PHYSICAL CONDITIONS OF THE DUCTWORK & PIPING SHALL BE PERFORMED UNDER THIS CONTRACT WITHOUT ADDITIONAL CHARGES TO THE OWNER.
40. INTERRUPTION OF EXISTING FACILITIES OR SERVICES SHALL BE KEPT TO A MINIMUM AND THE CONTRACTOR SHALL FURNISH ALL MATERIALS AND LABOR REQUIRED WHENEVER TEMPORARY CONDITIONS ARE NECESSARY TO MAINTAIN CONTINUITY OF SERVICE. INTERRUPTION OF SERVICES, THE INSTALLATION OF TEMPORARY FACILITIES, AND THE WORK OF MAKING FINAL CONNECTIONS TO NEW WORK SHALL BE DONE ONLY AT SUCH TIMES AS PERMITTED AND SCHEDULED BY THE OWNER WITHOUT ADDITIONAL COST. THE AIR CONDITIONING CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE SERVICE INTERRUPTIONS WITH THE OWNER'S GENERAL CONTRACTOR.

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file name: 11421_M1.dwg
project no: 11421
date: 11/09/11
drawn by: CJS/KAB
checked by: UI

M2.1

PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.

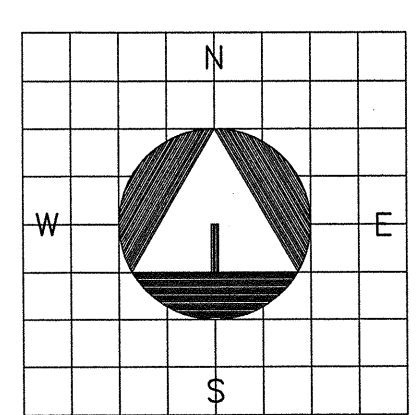
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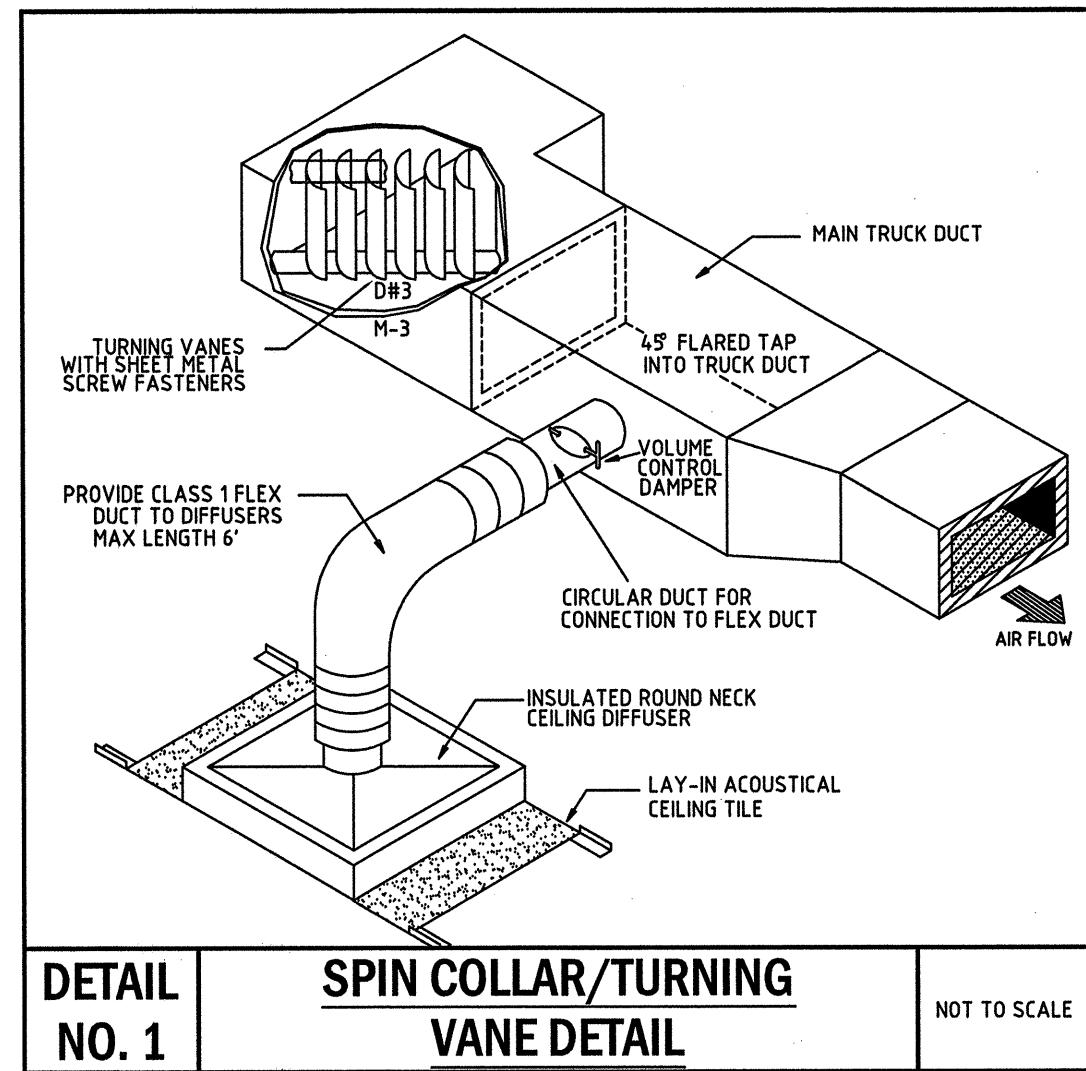
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MECHANICAL DATA & SPECS

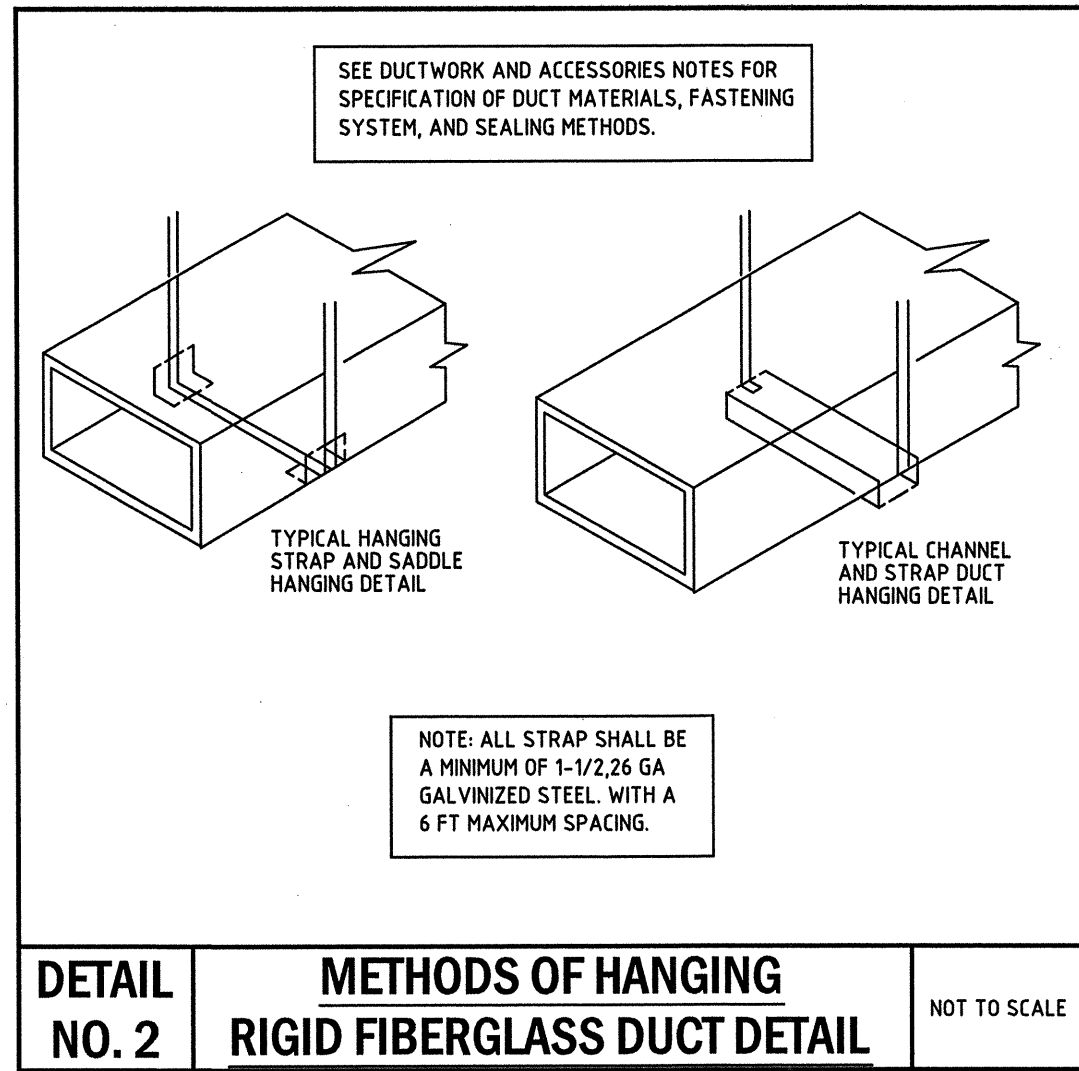
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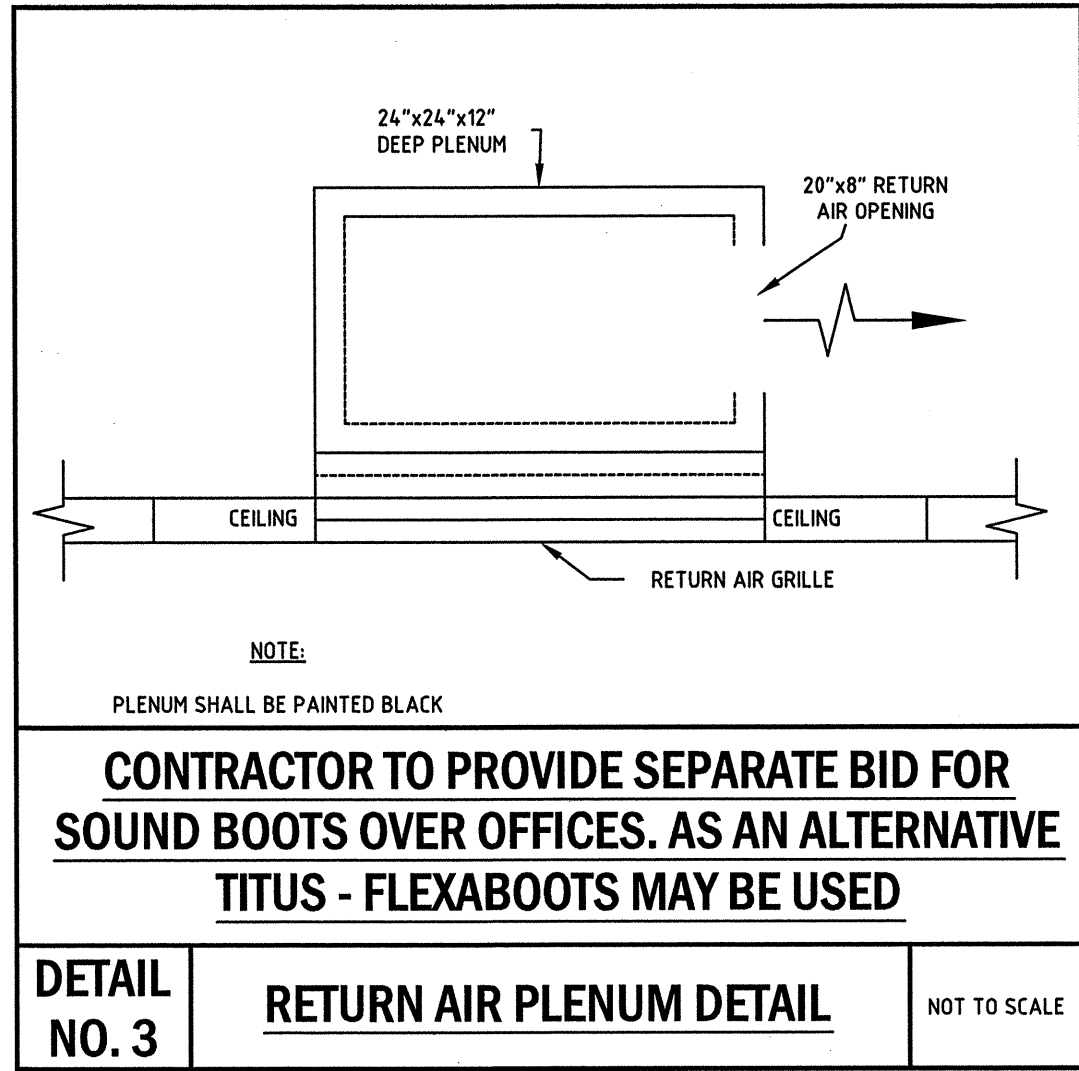




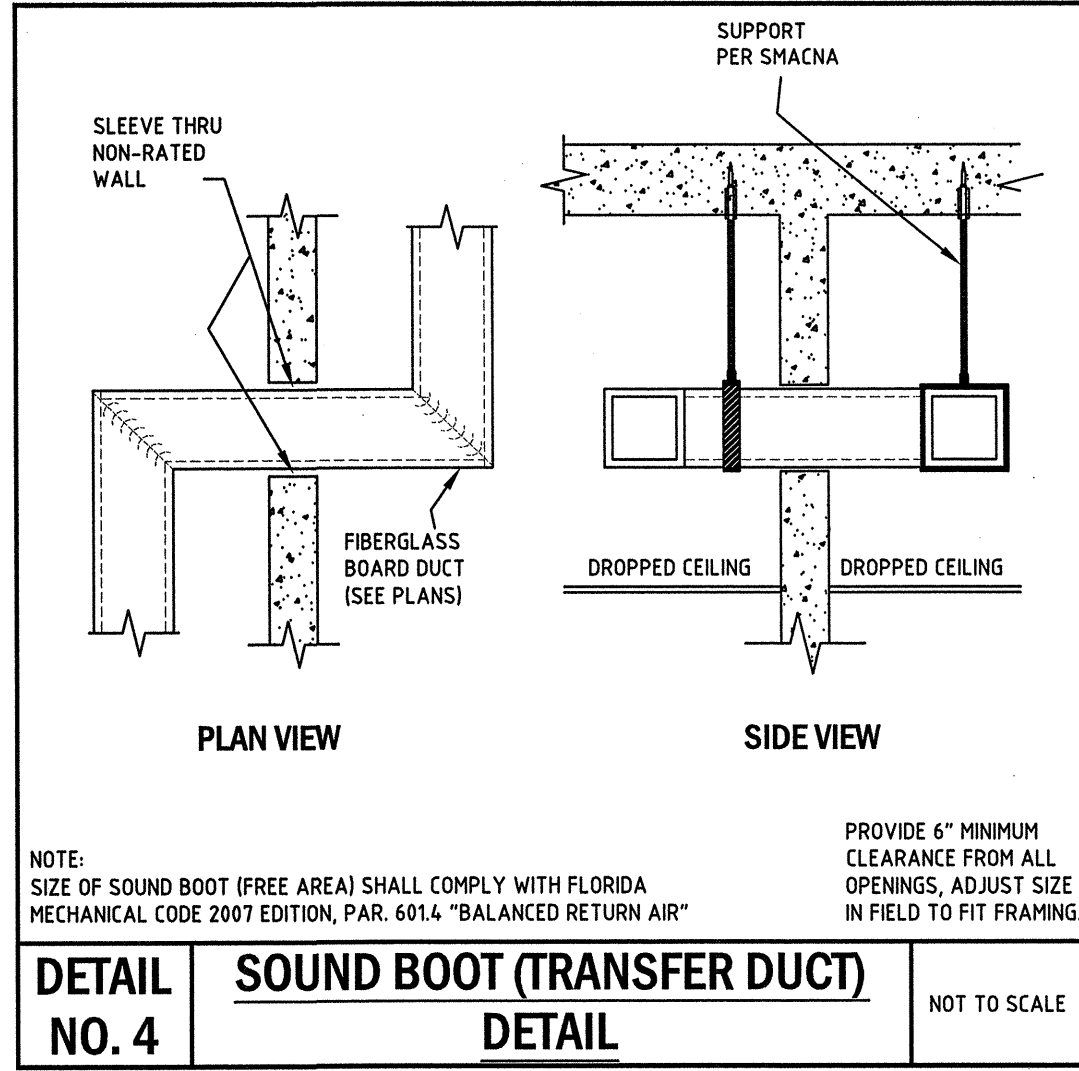
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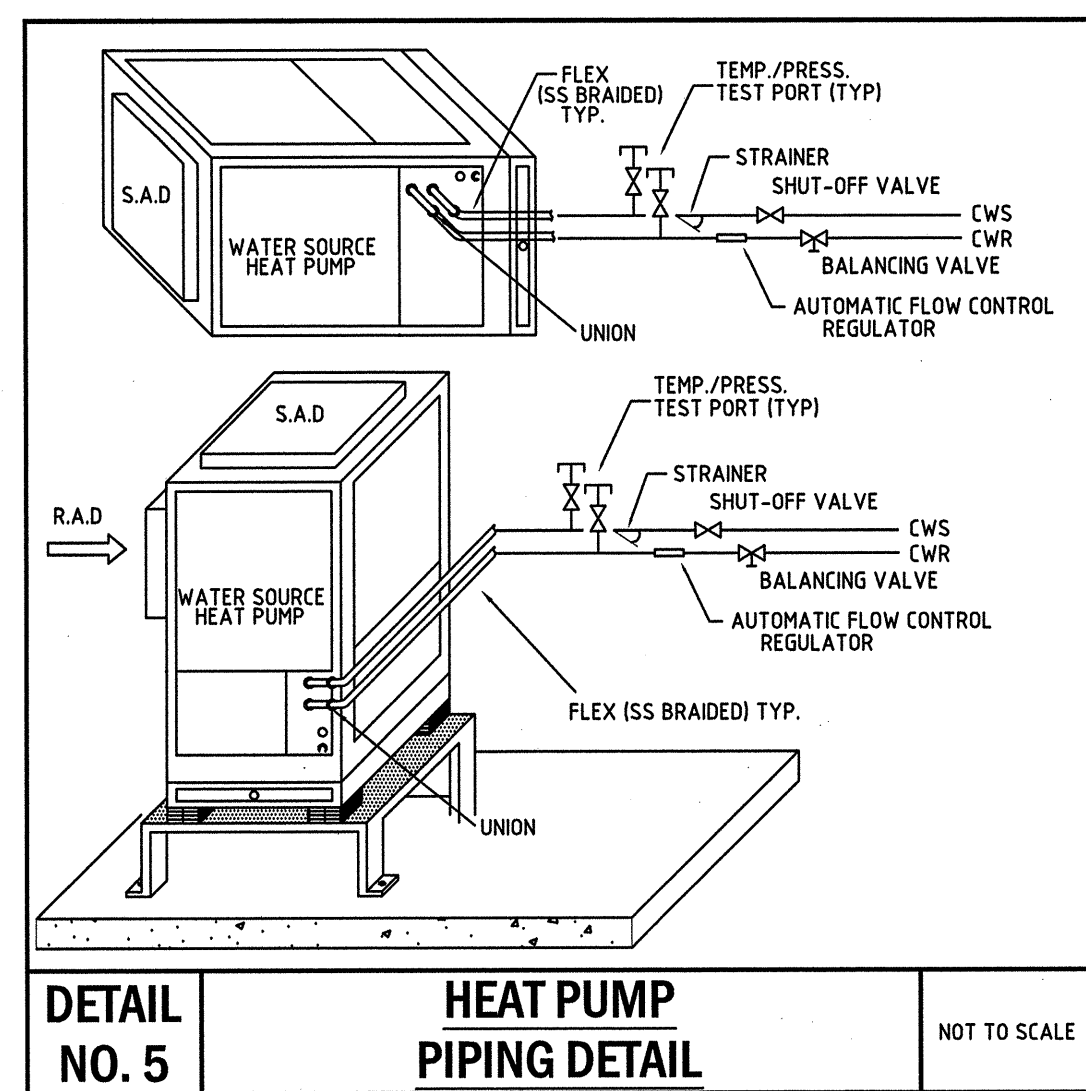
DETAIL NO. 2 **METHODS OF HANGING RIGID FIBERGLASS DUCT DETAIL** NOT TO SCALE



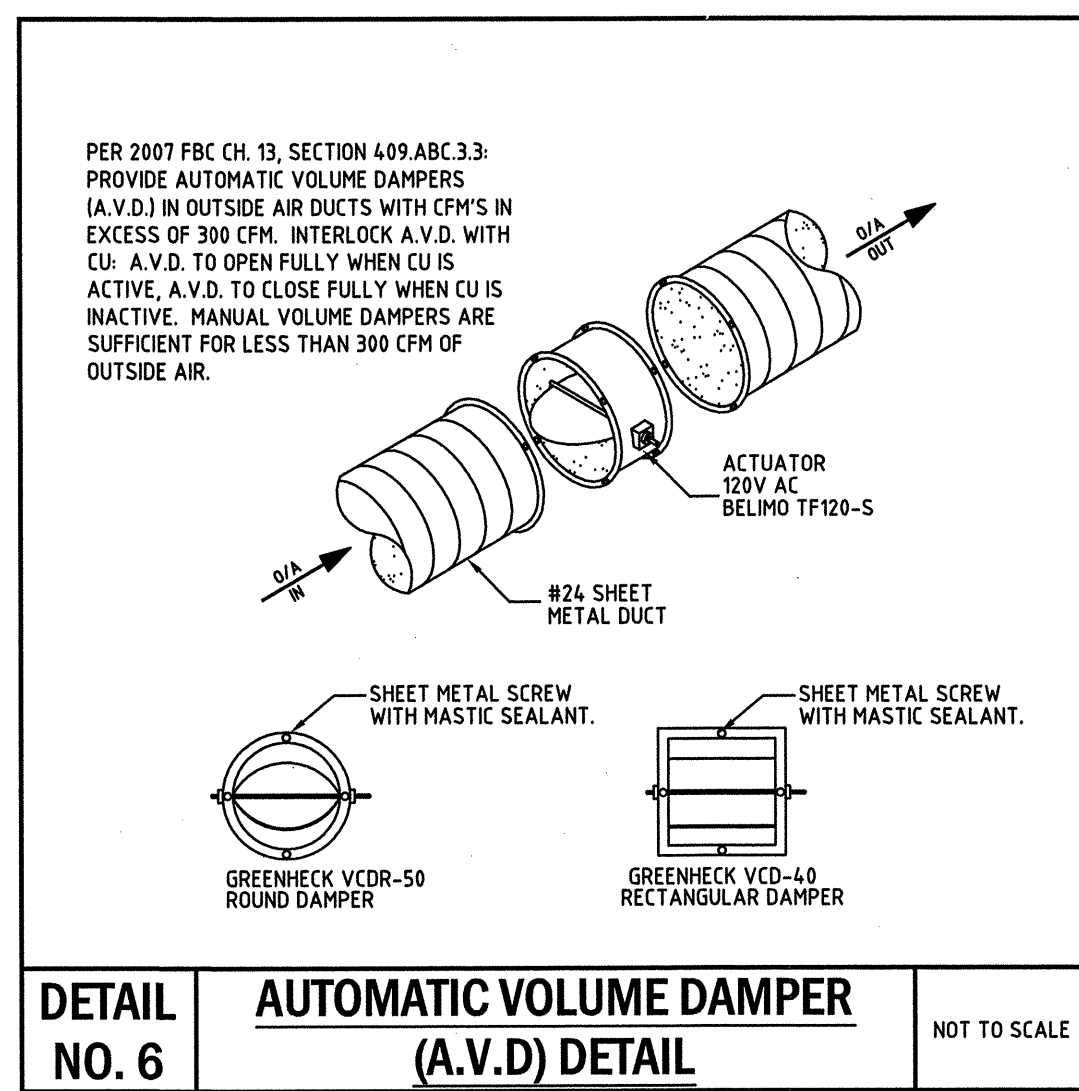
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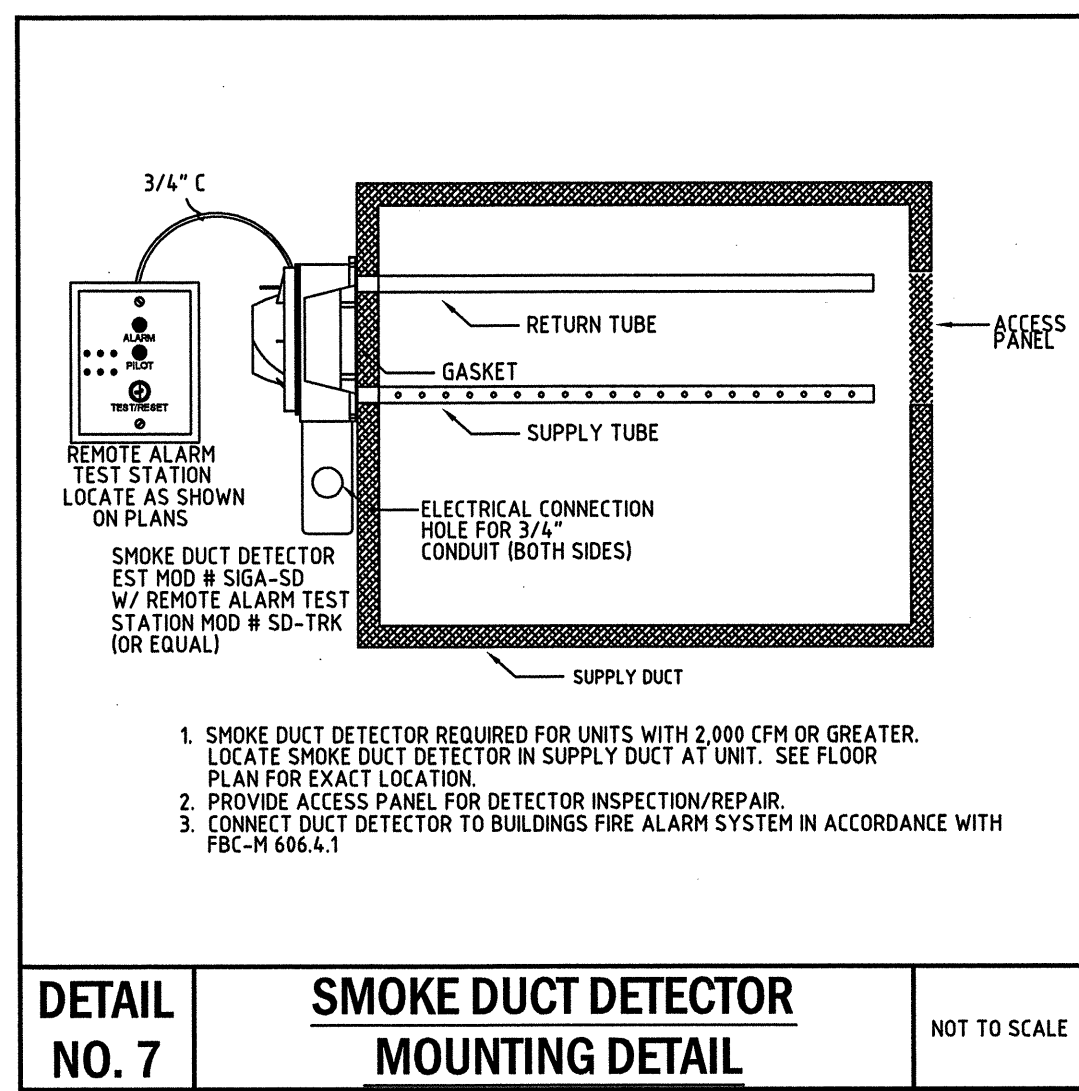
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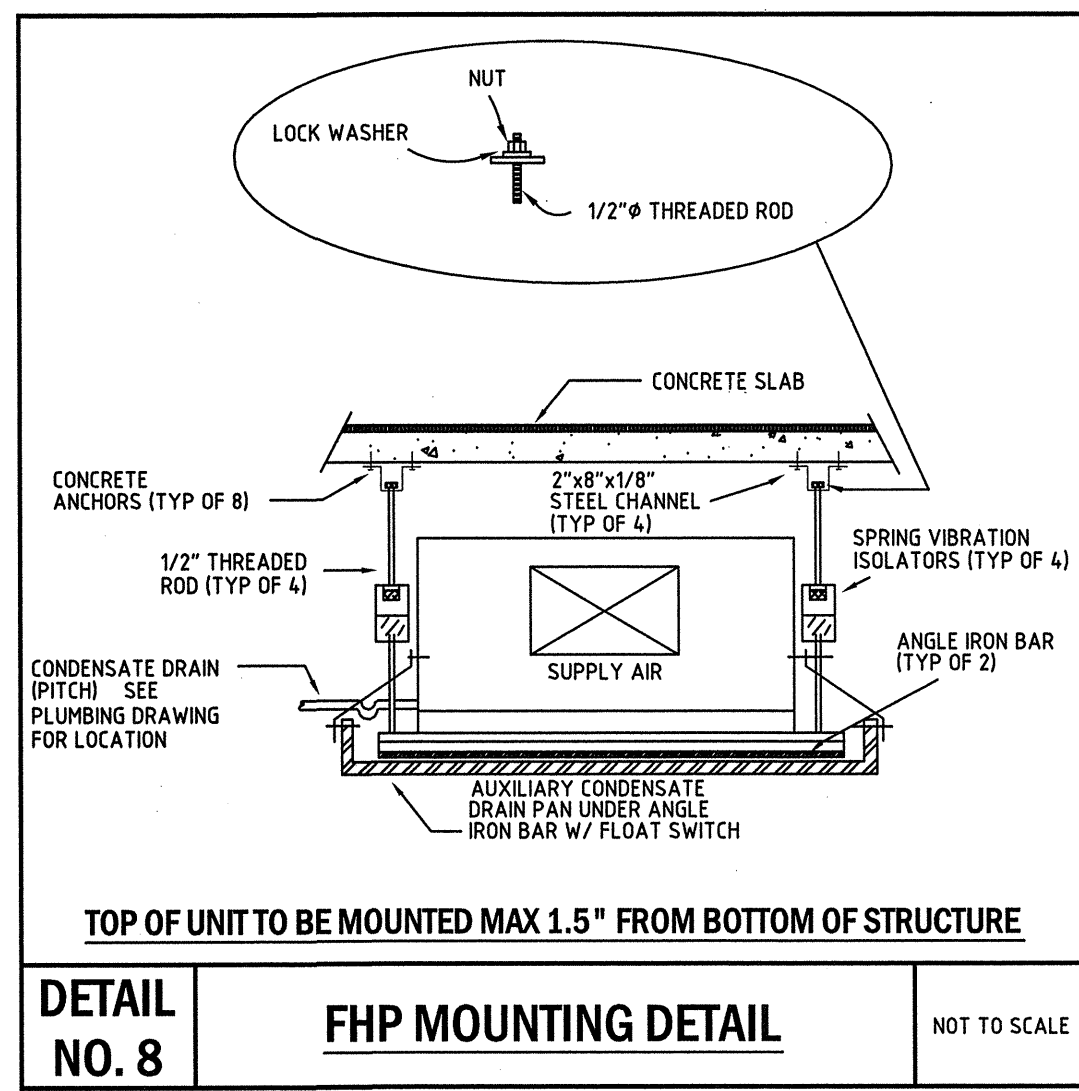
DETAIL NO. 5 **HEAT PUMP PIPING DETAIL** NOT TO SCALE



DETAIL NO. 6 **AUTOMATIC VOLUME DAMPER (A.V.D.) DETAIL** NOT TO SCALE



DETAIL NO. 7 **SMOKE DUCT DETECTOR MOUNTING DETAIL** NOT TO SCALE



DETAIL NO. 8 **FHP MOUNTING DETAIL** NOT TO SCALE

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sheet title: MECHANICAL DETAILS	revisions:
file name: 11421 M1.1(2).DWG	
project no: 11421	checked by: UI
date: 11/09/11	
drawn by: CJS/KAB	

PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.

PERMIT SET: 11/09/11

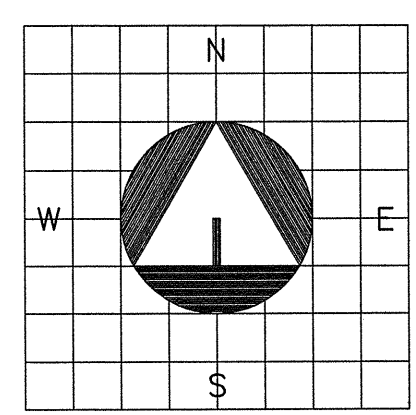
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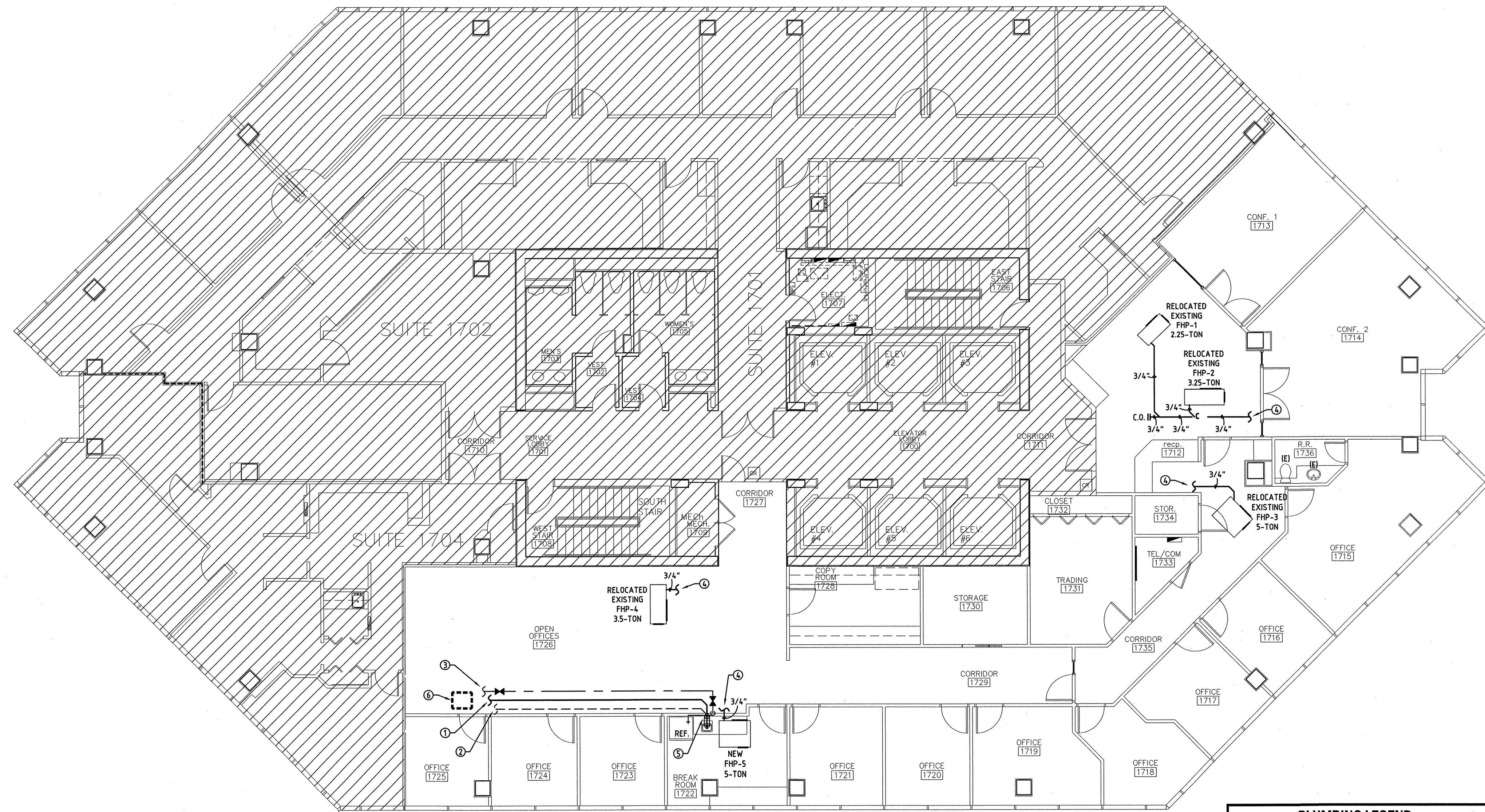
MECHANICAL DETAILS

SCALE: N.T.S.

0' 4' 8' 16' 32'



M2.2



PLUMBING SPECIFICATIONS

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2007 EDITION PLUMBING SECTION, WITH 2009 AMENDMENTS, AND SHALL COMPLY WITH ALL LOCAL RULES AND ORDINANCES.

- ALL WORKMANSHIP & MATERIALS SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE NATIONAL, STATE, LOCAL CODES, RULES & ORDINANCES.
- CONTRACTOR SHALL VISIT THE JOB SITE & THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS.
- ALL MATERIALS SHALL BE NEW.
- ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR IN A FIRST-CLASS WORKMANLIKE MANNER. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIVE.
- ALL EXCAVATION & BACK FILL AS REQUIRED FOR THIS PHASE OF CONSTRUCTION SHALL BE A PART OF THIS CONTRACT.
- REQUIRED INSURANCE SHALL BE PROVIDED BY THIS CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY & PROPERTY DAMAGE FOR THE DURATION OF WORK.
- CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS & TEST. SUBSTITUTIONS BY THE CONTRACTOR SHALL HAVE PRIOR APPROVAL. ANY CHANGES MADE WITHOUT APPROVAL WILL BE PAID BY THE CONTRACTOR TO RETURN TO THE ORIGINAL DESIGN.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROCESS OF CONSTRUCTION.
- THE CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR REVIEW OF THE GENERAL NOTES, SPECIFICATIONS, AND ALL OTHER DRAWINGS FOR ADDITIONAL REQUIREMENTS WHICH MAY NOT BE SPECIFICALLY CALLED OUT IN THIS PORTION OF THE CONSTRUCTION DOCUMENTS.
- DRAWINGS FOR PLUMBING WORK ARE DIAGRAMMATIC, SHOWING THE GENERAL LOCATION, TYPE, LAYOUT, AND EQUIPMENT REQUIRED. THE DRAWINGS SHALL NOT BE SCALED FOR EXACT MEASUREMENT. FIELD VERIFY FINAL LOCATIONS FOR EQUIPMENT. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND EXACT LOCATION OF PLUMBING FIXTURES. REFER TO MANUFACTURER'S STANDARD INSTALLATION DRAWINGS FOR EQUIPMENT CONNECTIONS AND INSTALLATION REQUIREMENTS.
- DRAWINGS AND SPECIFICATIONS GOVERN WHERE THEY EXCEED CODE REQUIREMENTS.
- VERIFY LOCATION, SIZE, TRAPS, INVERTS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ADVISE ENGINEER OF ANY DISCREPANCIES. ANY COST RESULTING FROM DISCREPANCIES NOT REPORTED AT THIS TIME SHALL BE PAID BY THE CONTRACTOR.
- INSTALL AIR CHAMBERS OR SHOCK ABSORBERS IN PIPING SYSTEM TO PREVENT NOISE AND DAMAGE DUE TO WATER HAMMER.
- PROVIDE SHUT-OFF VALVES IN THE SUPPLY PIPING TO EVERY FIXTURE.
- ALL FIXTURES MUST BE PROVIDED WITH READILY ACCESSIBLE STOPS.
- IN AREAS WHERE AN EXISTING FIXTURE IS TO BE REMOVED AND THE SANITARY LINE IS TO BE CAPPED, THE LINE MUST BE CAPPED WITH IN-2 FEET OF AN ACTIVE SANITARY LINE. NO DEAD ENDS PERMITTED.
- CAP ALL PIPING OPENINGS DURING CONSTRUCTION UNTIL FINAL CONNECTIONS TO EQUIPMENT AND ACCESSORIES ARE MADE.
- SANITARY PIPE 3" AND SMALLER SHALL BE SLOPED AT 1/4" PER FOOT. SANITARY PIPE 4" AND LARGER SHALL BE SLOPED AT 1/8" PER FOOT. CONDENSATE PIPING SHALL BE SLOPED AT A MINIMUM OF 1/4" PER FOOT.
- ALL FLOOR PENETRATIONS MUST BE SLEEVED, FIRE STOPPED, GROUTED, SEALED AND MADE WATERPROOF IN ACCORDANCE WITH THE LANDLORDS REQUIREMENTS. SLEEVES MUST EXTEND A MINIMUM OF 4" A.F.F. COORDINATE ALL CONCRETE TRENCHING/CORING TO ENSURE THAT ANY UNDER SLAB UTILITIES, ETC. ARE NOT DAMAGED DURING FLOOR CUT. ANY DAMAGE TO BE REPAIRED AT CONTRACTOR EXPENSE. CUTTING AND PATCHING ACTIVITIES WHICH CREATE NOISE MUST BE PERFORMED AFTER-HOURS SO LONG AS ANY OTHER TENANTS ARE OCCUPYING THE BUILDING. PRIOR APPROVAL AND COORDINATION WITH PROPERTY MANAGEMENT IS REQUIRED FOR ALL CONCRETE CUTTING.
- DO NOT ROUTE ANY WET PIPING OVER ELECTRICAL EQUIPMENT.
- WATER PIPING TO BE TYPE "M" OR TYPE "L" COPPER ABOVE OR BELOW GRADE.
- SOIL, WASTE & VENT PIPING TO BE PVC #40 DWV. IF CEILING SPACE BELOW IS A COMMON PLENUM PVC MUST BE WRAPPED WITH UL LISTED FIRE WRAP OR CAST IRON SHALL BE USED.
- HOT AND HOT WATER RETURN LINES SHALL BE INSULATED WITH 1/2" TO 1" THICK ARMAFLEX INSULATION FROM THE WATER HEATER TO THE FURTHEST FIXTURE PER FBC 2007 CHAPTER 13, (WITH 2009 SUPPLEMENTS) SECTION 13-4.12 AB.4(1) AND TABLE 13-4.11 AB.2.
- WHERE DISSIMILAR METALS ARE TO BE JOINED, APPROVED INSULATING UNIONS SHALL BE USED.
- ALL PLUMBING PIPES PENETRATING FIRE RATED WALLS, CEILINGS AND/OR FLOORS SHALL BE PROVIDED WITH UL APPROVED FIRE RATED ASSEMBLY, EQUAL TO WALL FIRE RATING - SEE ARCHITECTURAL DRAWINGS.
- NO PVC PIPING TO BE USED IN COMMON PLENUM AREAS.
- CONDENSATE LINES TO BE COPPER/PVC DEPENDING ON PROJECT REQUIREMENTS. INSULATE WITH 1/2" THICK ARMAFLEX INSULATION.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS & WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BID AND INSTALLATION. INFORM THE ENGINEER OF RECORD OF ANY DISCREPANCY BETWEEN THE DOCUMENTS AND THESE CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER THE CONTRACT HAS BEEN AWARDED.
- CONTRACTOR SHALL KEEP AS-BUILTS AND SUBMIT TO THE ENGINEER OF RECORD FOR REVIEW. ALL CHANGES SHALL BE FORWARDED A MINIMUM OF 10 WEEKS PRIOR TO FINAL INSPECTION. ANY EXPENSES, SUCH AS REVISIONS OR AS-BUILTS, NECESSARY FOR FINAL C.O. SHALL BE AT THE EXPENSE OF THE OWNER.

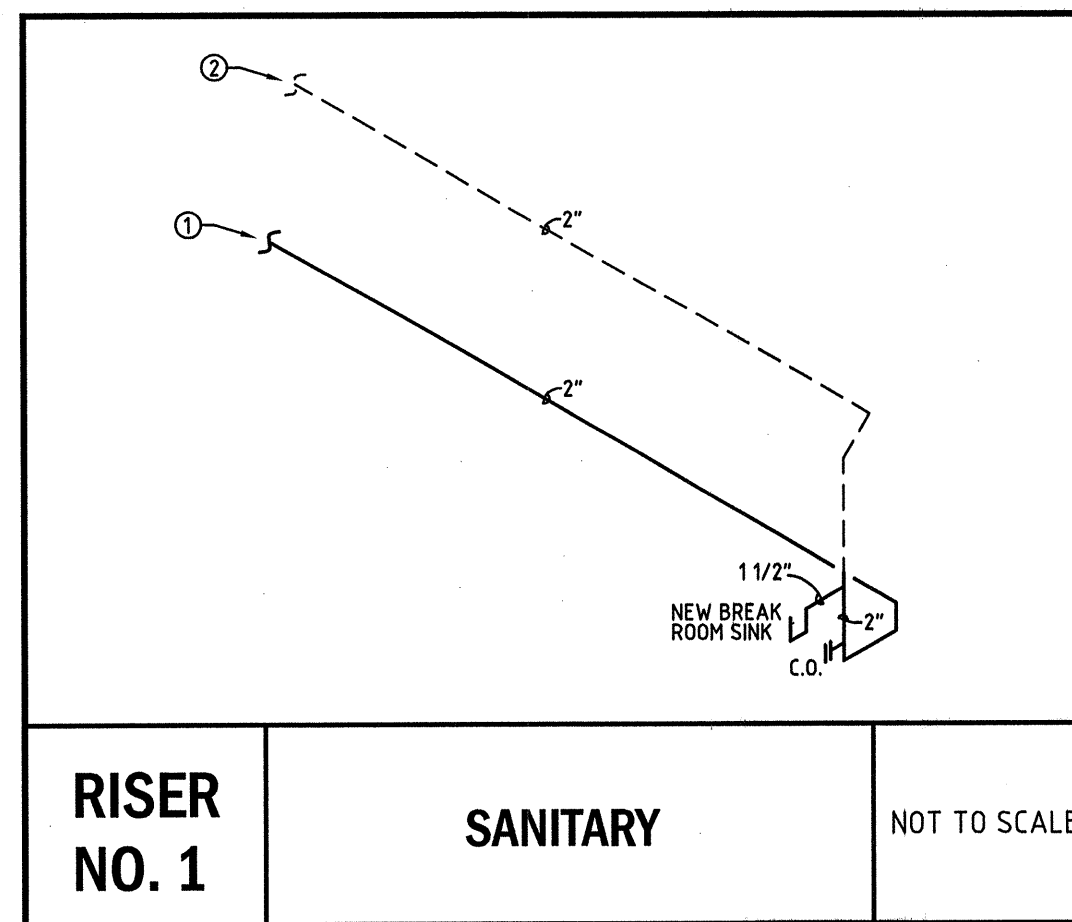
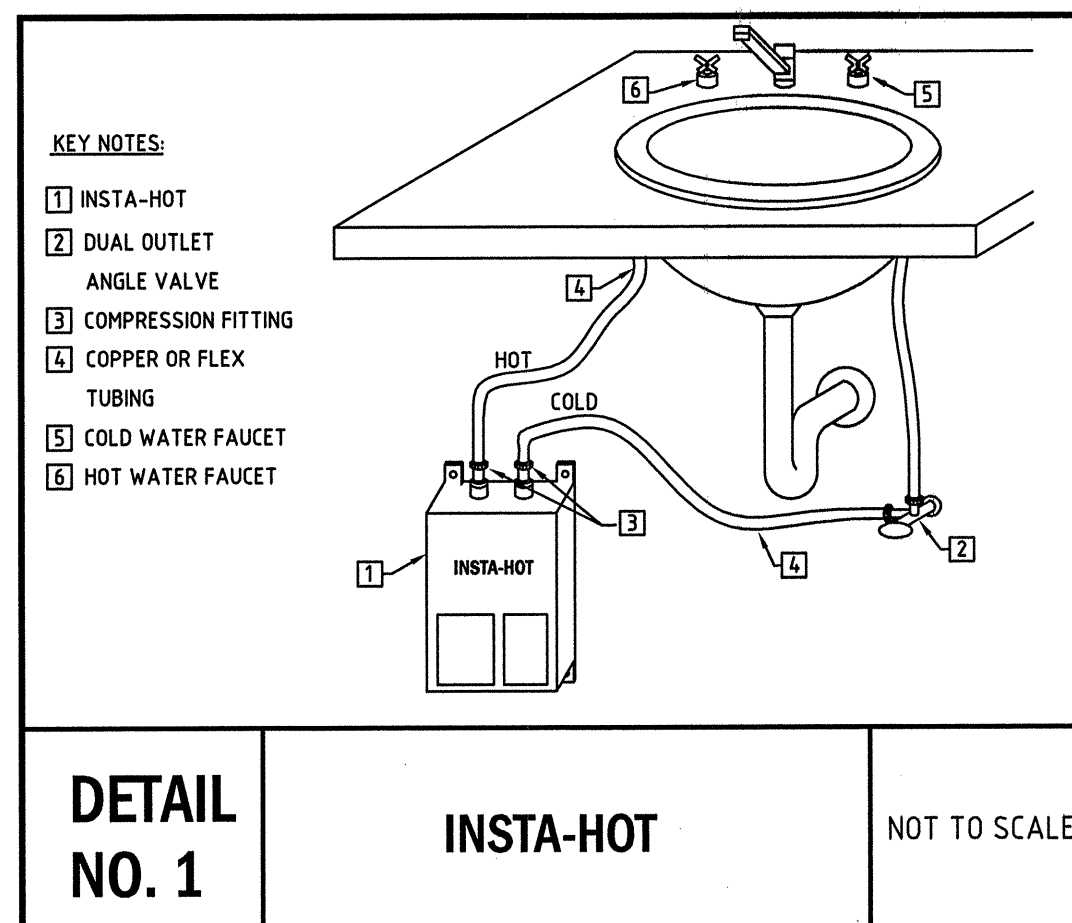
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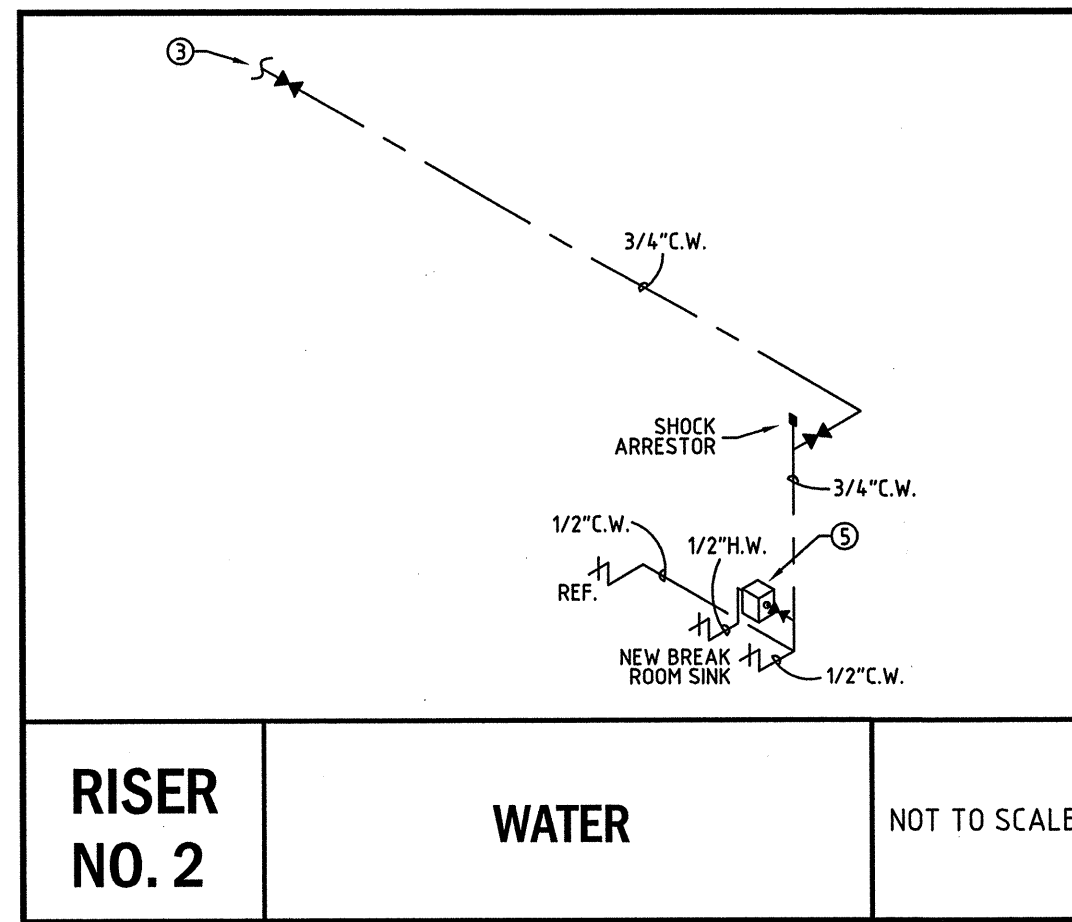
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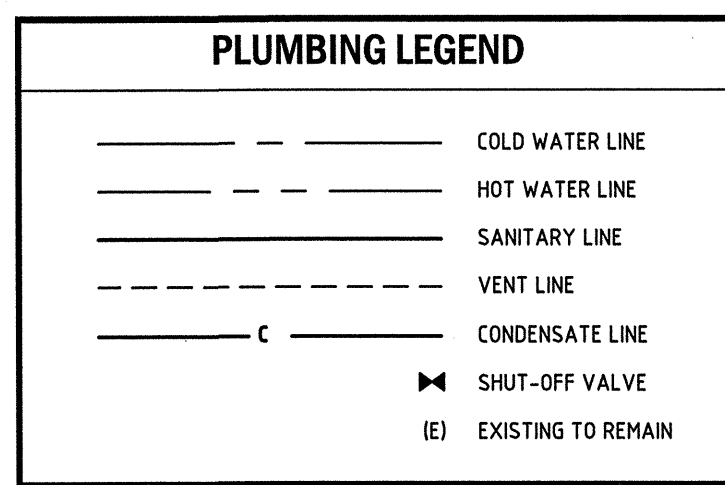
NOTES:

- FLOOR SLABS ARE POST TENSIONED & MUST BE XRAYED PRIOR TO CORE DRILLING OR OTHER PENETRATIONS. CONTRACTOR SHALL OBTAIN THE BUILDING OWNER'S PERMISSION PRIOR TO COMMENCING ANY SLAB PENETRATIONS.
- ALL PIPING ROUTED BELOW FLOOR OF TENANT'S SPACE TO BE COORDINATED WITH EXISTING UTILITIES AND LANDLORD PRIOR TO CONSTRUCTION. PIPING TO BE ROUTED TIGHT TO SLAB WHERE EVER POSSIBLE.
- CEILING SPACE IS A COMMON PLENUM NO COMBUSTIBLE MATERIALS ALLOWED.

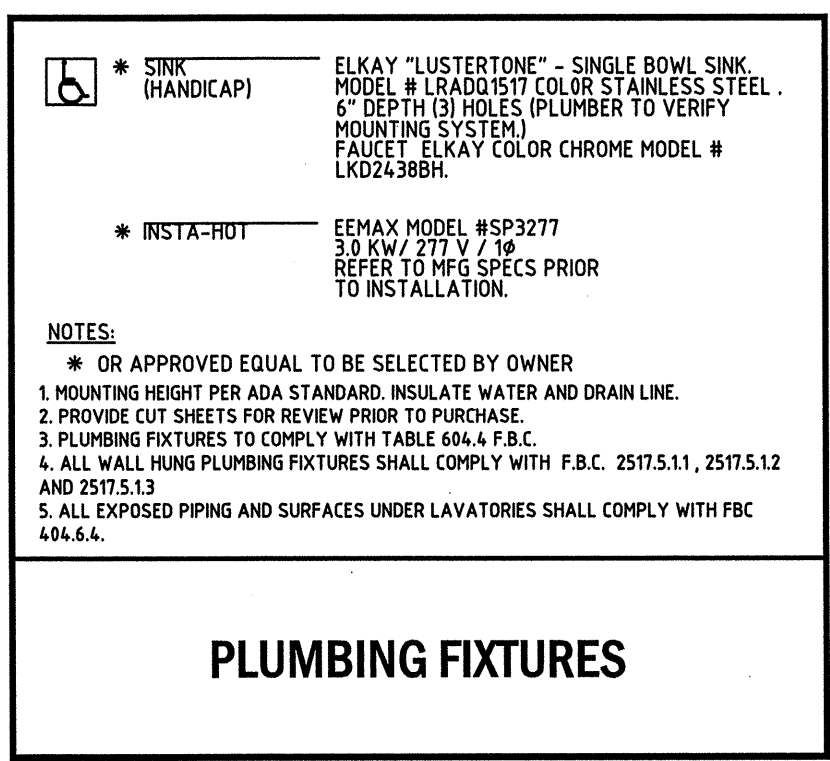


1 PLUMBING PLAN

SCALE: 1/8"=1'-0"



- PLUMBING KEY NOTES**
- CONNECT NEW 2" SANITARY LINE TO EXISTING SANITARY LINE BELOW FLOOR. VERIFY EXACT LOCATION, SIZE, INVERT, DIRECTION OF FLOW & CONNECTION POINT IN FIELD PRIOR TO CONSTRUCTION.
 - CONNECT NEW 2" VENT LINE TO EXISTING VENT LINE OVERHEAD. VERIFY EXACT LOCATION, SIZE, & CONNECTION POINT IN FIELD PRIOR TO CONSTRUCTION. IF DEVELOPED LENGTH OF VENT PIPE EXCEEDS 40 FEET, THE VENT PIPE SHALL BE INCREASED BY ONE NOMINAL PIPE SIZE FOR THE ENTIRE DEVELOPED LENGTH OF THE PIPE.
 - CONNECT NEW 3/4" COLD WATER LINE TO EXISTING COLD WATER LINE ABOVE CEILING. PROVIDE NEW S.O.V. AT POINT OF CONNECTION. VERIFY EXACT LOCATION, SIZE & CONNECTION POINT IN FIELD PRIOR TO CONSTRUCTION.
 - CONNECT NEW 3/4" CONDENSATE LINE TO EXISTING CONDENSATE LINE ABOVE CEILING. VERIFY EXACT LOCATION, SIZE, INVERT, DIRECTION OF FLOW & CONNECTION POINT IN FIELD PRIOR TO CONSTRUCTION.
 - NEW ELECTRIC INSTA-HOT, MOD # SP3277, LOCATED BELOW BREAK ROOM SINK. REFER TO MFG SPECS FOR REQUIREMENTS AND INSTALLATION.
 - EXISTING FIXTURE TO BE REMOVED. UNUSED PLUMBING PIPES TO BE CAPPED BELOW SLAB, IN WALL AND/OR ABOVE CEILING. SANITARY LINE MUST BE CAPPED WITH IN-2 FEET OF AN ACTIVE LINE. NO DEAD ENDS PERMITTED. VERIFY EXACT LOCATION OF EXISTING PLUMBING LINES IN FIELD PRIOR TO CONSTRUCTION. PATCH EXISTING WALL AS NECESSARY.



PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.

PERMIT SET: 11/09/11

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