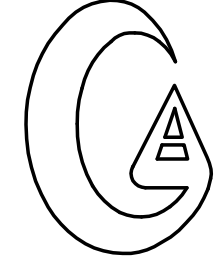


birse design inc + architecture + interior design + planning

5300 woodland lakes drive
palm beach gardens, fl 33418

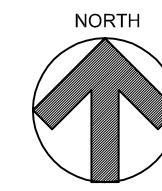
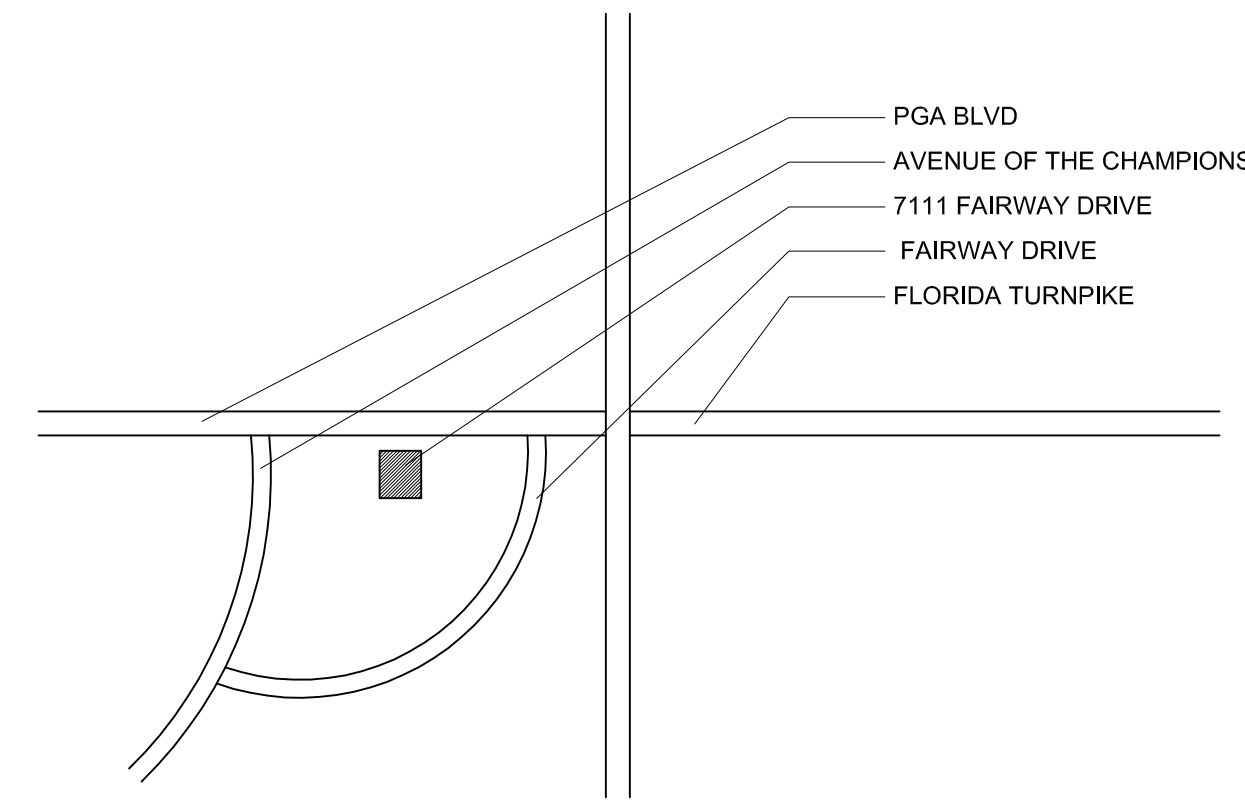
phone 561-249-4001
fax 772-409-8684
AA26001615

MECHANICAL ENGINEER / ELECTRICAL / PLUMBING



Gilman & Associates
MECHANICAL & ELECTRICAL ENGINEERS

129 N. FEDERAL HWY.
SUITE 211
LAKE WORTH, FL 33460
(561) 582-0210
P.E. 37933



1 LOCATION MAP
NOT TO SCALE

INDEX OF SHEETS:

- | | |
|---------------------------------------|----------------------|
| T | TITLE SHEET |
| ARCHITECTURAL SHEETS | |
| A-1 | FLOOR PLANS |
| A-2 | LIFE SAFETY |
| A-3 | DETAILS / ELEVATIONS |
| MECHANICAL/ELECTRICAL/PLUMBING SHEETS | |
| M-1 | HVAC PLANS |
| M-2 | HVAC NOTES |
| P-1 | PLUMBING |
| E-1 | ELECTRICAL PLANS |
| E-2 | LIGHTING PLAN |
| E-3 | PANEL SCHEDULE |
| E-4 | ELECTRICAL NOTES |

REFERENCE STANDARDS:

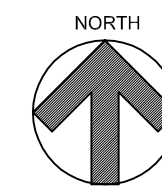
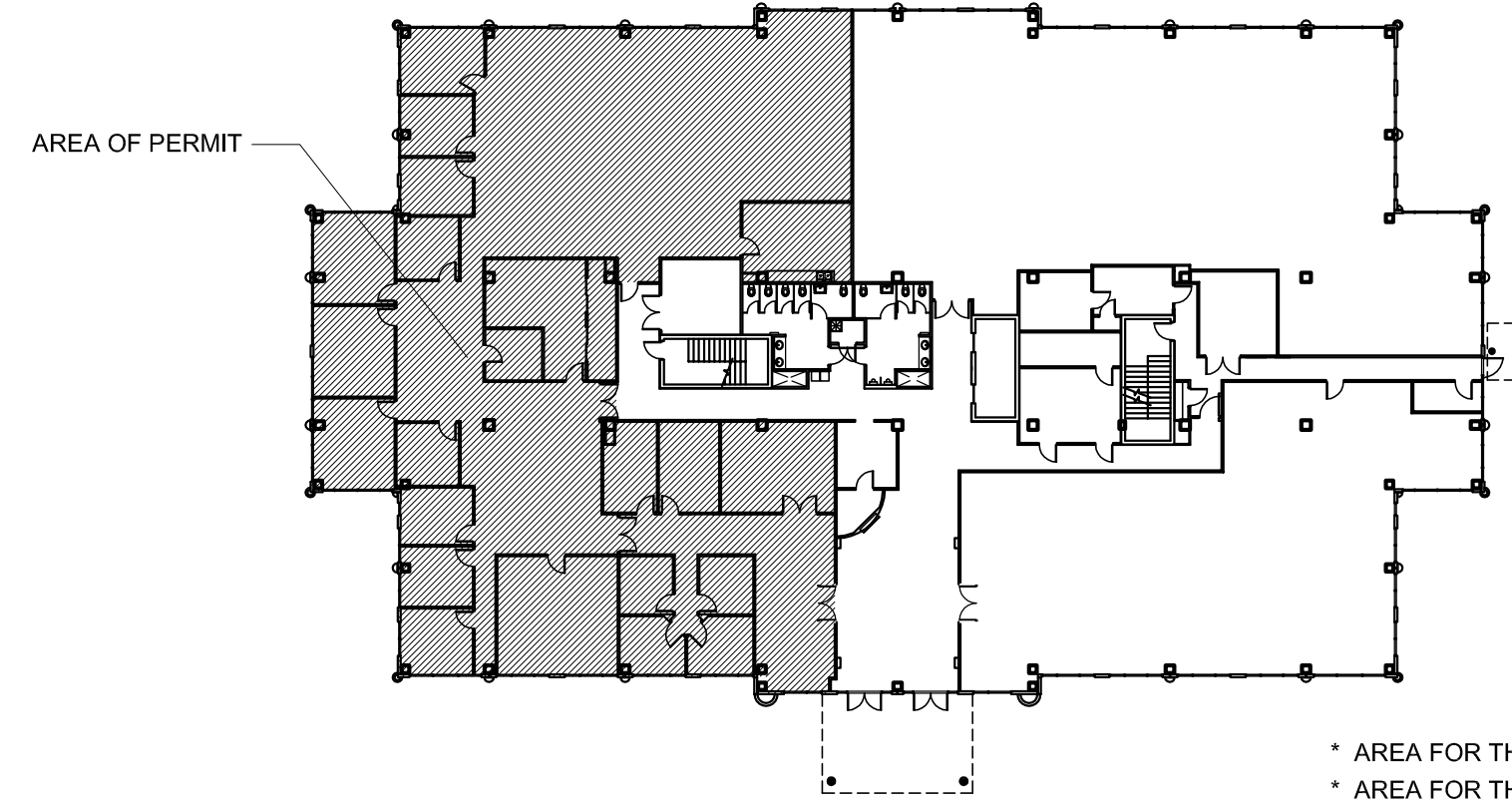
THIS PROJECT IS DESIGNED IN ACCORDANCE WITH THE FOLLOWING CODES:

- THE FLORIDA BUILDING CODE (FBC), 2007 EDITION WITH 2009 SUPPLEMENTS (BUILDING, MECHANICAL, PLUMBING, FUEL GAS, EXISTING BUILDING).
- NATIONAL ELECTRIC CODE (NEC), 2008 EDITION.
- FLORIDA FIRE PREVENTION CODE, 2007 EDITION.
- NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 101, LIFE SAFETY CODE, 2006 EDITION.
- NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 1, UNIFORM FIRE CODE, 2006 EDITION.

GENERAL NOTES:

- THE CONTRACTOR SHALL AS A PART OF THIS CONTRACT FURNISH ALL MATERIALS, LABOR, TOOLS, EQUIPMENT, TRANSPORTATION, AND INSURANCE NECESSARY TO PROPERLY EXECUTE AND COMPLETE THE WORK ACCORDING TO THE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR IN THE WORK OF ALL TRADES SHALL PROTECT ALL EXISTING BUILDING AND PROPERTY FROM DAMAGE CAUSED BY THE ACTIVITIES OF THE CONTRACTOR AND SUBCONTRACTORS. THE CONTRACTOR SHALL REPAIR AND RESTORE THE JOB SITE AND SURROUNDING AREAS TO ITS ORIGINAL CONDITION. OWNER TO VERIFY SATISFACTION.
- THE CONTRACTOR SHALL VISIT THE JOB SITE TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BID. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS BEFORE PROCEEDING WITH ANY WORK.
- THE CONTRACTOR SHALL MAKE NO CHANGES TO THE CONSTRUCTION DRAWINGS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.
- ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST CODES AND ORDINANCES.
- THESE CONSTRUCTION DOCUMENTS ARE DIAGRAMATIC AND ARE TO CONVEY DESIGN INTENT. IT IS NOT THE INTENT OF THESE CONSTRUCTION DRAWINGS TO SHOW ALL DETAILS OF THE EXISTING CONDITIONS. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
- EACH CONTRACTOR SHALL ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR MECHANICAL, ELECTRICAL, AND PLUMBING WITH THE APPROPRIATE TRADES.
- ALL INDICATED UTILITY AND STUB-IN LOCATIONS ARE FOR REFERENCE ONLY. THE EXACT LOCATIONS SHALL BE VERIFIED ON THE JOB SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ENGINEERING AND THE ARCHITECTURAL DRAWINGS FOR THE ACTUAL PLACEMENT OF THE WORK RELATIVE TO FIELD CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OBTAINING INSTALLATION REQUIREMENTS FOR ALL BUILT-IN APPLIANCES, FIXTURES, AND EQUIPMENT. VERIFY EXACT ROUGH-IN DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO ROUGH-IN FRAME.
- THE COST OF ADDITIONAL DESIGN WORK DUE TO ERRORS OR OMISSIONS IN CONSTRUCTION SHALL BE BORNE BY THE RESPECTIVE CONTRACTOR.
- DETAILS ON THE STRUCTURAL DRAWINGS (IF PROVIDED) ARE TYPICAL. VERIFY ALL DIMENSIONS WITH THE STRUCTURAL DRAWINGS.
- CONTRACTOR TO BE RESPONSIBLE FOR CHECKING STRUCTURAL CALCULATIONS FOR SPECIFIC REQUIREMENTS OF STRUCTURAL CONNECTIONS. SUBMIT STEEL TRUSS CALCULATIONS AND SHOP DRAWINGS OF ALL STRUCTURAL STEEL AND MISCELLANEOUS METAL FABRICATION BEFORE COMMENCING FABRICATION.
- BIRSE DESIGN, INC. SHALL IN NO WAY BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNOLOGIES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. (THESE ARE SOLELY THE CONTRACTORS RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION).
- EACH CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BRACING, SHORING, GUYING, OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS ASSOCIATED WITH WORK IN PLACE DURING CONSTRUCTION.
- PROVIDE PORTABLE FIRE EXTINGUISHERS DURING CONSTRUCTION AS REQUIRED BY LOCAL CODES.
- SPRINKLER SYSTEM: INSTALL FULL BUILDING SPRINKLER SYSTEM IN COMPLIANCE WITH THE REQUIREMENTS OF NFPA 13. SHOP DRAWINGS MUST BE APPROVED BEFORE INSTALLATIONS. PROVIDE OWNER WITH 2 COPIES OF PERMIT SETS.
- ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR MEETING THE REQUIREMENTS OF ALL CURRENT APPLICABLE BUILDING CODES AND ENFORCEMENT AGENCIES, FIRE MARSHALL, OR ANY OTHER BUILDING CODE ENFORCEMENT OFFICER AT NO EXTRA COST TO THE OWNER. NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO SUBMITTING A BID FOR THE PROJECT.
- BASE BID SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

- ALL PERMITS AND FEES FOR ALL
 - BUILDING AND TRADE PERMITS.
 - ALL ACCESSORY AND SITE IMPROVEMENT PERMITS.
- ALL FILL REQUIRED TO MEET MINIMUM FINISHED FLOOR SLAB ELEVATION AND COMPACTION.
- WATER METER HOOK-UP AND METER DEPOSITS. - OWNER RESPONSIBILITY
- HOOK-UP AND FEES FOR UNDERGROUND SERVICE FROM FPL LOCAL PHONE & CABLE T.V. - OWNER RESPONSIBILITY
- SOIL, CONCRETE AND ANY OTHER NECESSARY TESTING.
- ENGINEERING STAKE OUTS AND SURVEYS INCLUDING FINAL TIE - IN SURVEY.
- CLEARING, GRUB, AND SITE PREPARATION, INCLUDING GRADING.
- ALL BIDDERS AND THEIR SUBCONTRACTORS SHALL BE CURRENTLY LICENSED IN THE STATE OF FLORIDA.
- THE OWNER RESERVES THE RIGHT TO REJECT ANY BIDS.
- THE G.C. SHALL PROVIDE AN ESTIMATE OF TIME FOR COMPLETION.
- THE GENERAL CONTRACTOR SHALL PROVIDE PROOF OF INSURANCE FOR WORKMANS COMPENSATION AND ANY OTHER INSURANCES REQUIRED BY THE OWNER FOR ALL EMPLOYEES EITHER DIRECTLY EMPLOYED BY THE GENERAL CONTRACTOR OR BY HIS SUBCONTRACTORS.
- THE CONTRACTOR SHALL CLEARLY LIST ANY WORK NOT INCLUDED IN HIS BID.
- PROVIDE FIRE DEPARTMENT KNOX BOX ADJACENT TO FRONT DOOR OF BLDG.
- CONTRACTOR TO PROVIDE AS BUILT DRAWINGS. PROVIDE TWO COPIES OF PERMIT SET TO OWNER



2 KEY MAP (3RD FLOOR)
NOT TO SCALE

* AREA FOR THIS PERMIT IS HATCHED
* AREA FOR THIS PERMIT = 8,755 SF

PROJECT DATA:

- PROJECT ADDRESS: FAIRWAY OFFICE CENTER
7111 FAIRWAY DRIVE (1ST FLOOR)
PALM BEACH GARDENS, FL 33418
- EXISTING BUILDING IS TYPE II "B"
- EXISTING BUILDING IS A 4 STORY BUILDING
- EXISTING BUILDING CLASSIFICATION IS GROUP "B"
- LEVEL 2 ALTERATION PER "EXISTING BUILDING CODE 2007"
- 1ST FLOOR IS A MULTI TENANT FLOOR
- SUITES #102 WILL BE DIVIDED INTO 2 SUITES
- SUITES #105 = 5,843 SF
- TOTAL NEW SUITE = 5,843 SF/100 = 59 OCCUPANTS
- DESIGN OCCUPANT LOAD = 59 OCCUPANTS
- SUITES #102 = 5,592 SF
- TOTAL NEW SUITE = 5,592 SF/100 = 56 OCCUPANTS
- DESIGN OCCUPANT LOAD = 56 OCCUPANTS

PROJECT NOTES:

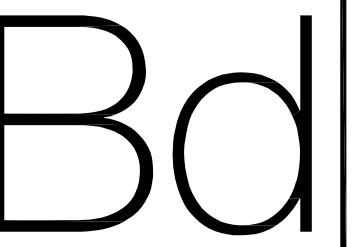
Blank lines for project notes.

SYMBOL INDEX:

- ADMIN. ROOM NAME
- 108 ROOM NUMBER
- A DOOR MARK/NUMBER
- 1 WINDOW MARK/NUMBER
- 1 WALL SECTION/SHEET NUMBER
- 1 BUILDING SECTION/SHEET NUMBER
- 1 ELEVATION TARGET/SHEET NUMBER
- 1 DETAIL NUMBER/SHEET NUMBER
- 8'-6" CEILING HEIGHT
- F.E. FIRE EXTINGUISHER
- 2x4' FLUORESCENT LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- RECESSED LIGHT DOWN FIXTURE

COPYRIGHT NOTE:

THESE PLANS AND SPECIFICATIONS PREPARED BY BIRSE DESIGN, INC. AND ARE INSTRUMENTS OF SERVICE THAT ARE PROTECTED BY COPYRIGHT LAW. THEY MAY NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT APPROVAL FROM BIRSE DESIGN, INC. AND MAY NOT BE USED IN SUBSEQUENT PROJECTS WITHOUT APPROVAL FROM BIRSE DESIGN, INC. THE DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF BIRSE DESIGN, INC.



birse design inc.

5300 woodland lakes drive
palm beach gardens, fl 33418
phone 561-249-4001
fax 772-409-8684
AA26001615

ALLEN S BIRSE
AR94279

SCHWED

FAIRWAY OFFICE CENTER
7111 FAIRWAY DRIVE #105
PALM BEACH GARDENS, FL 33418
PROJECT NUMBER 711110

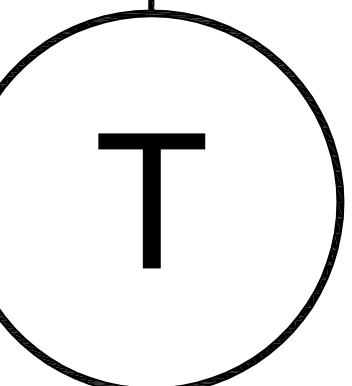
REVISIONS



- | | | |
|---|----------|--------|
| 1 | 08/15/11 | TENANT |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |

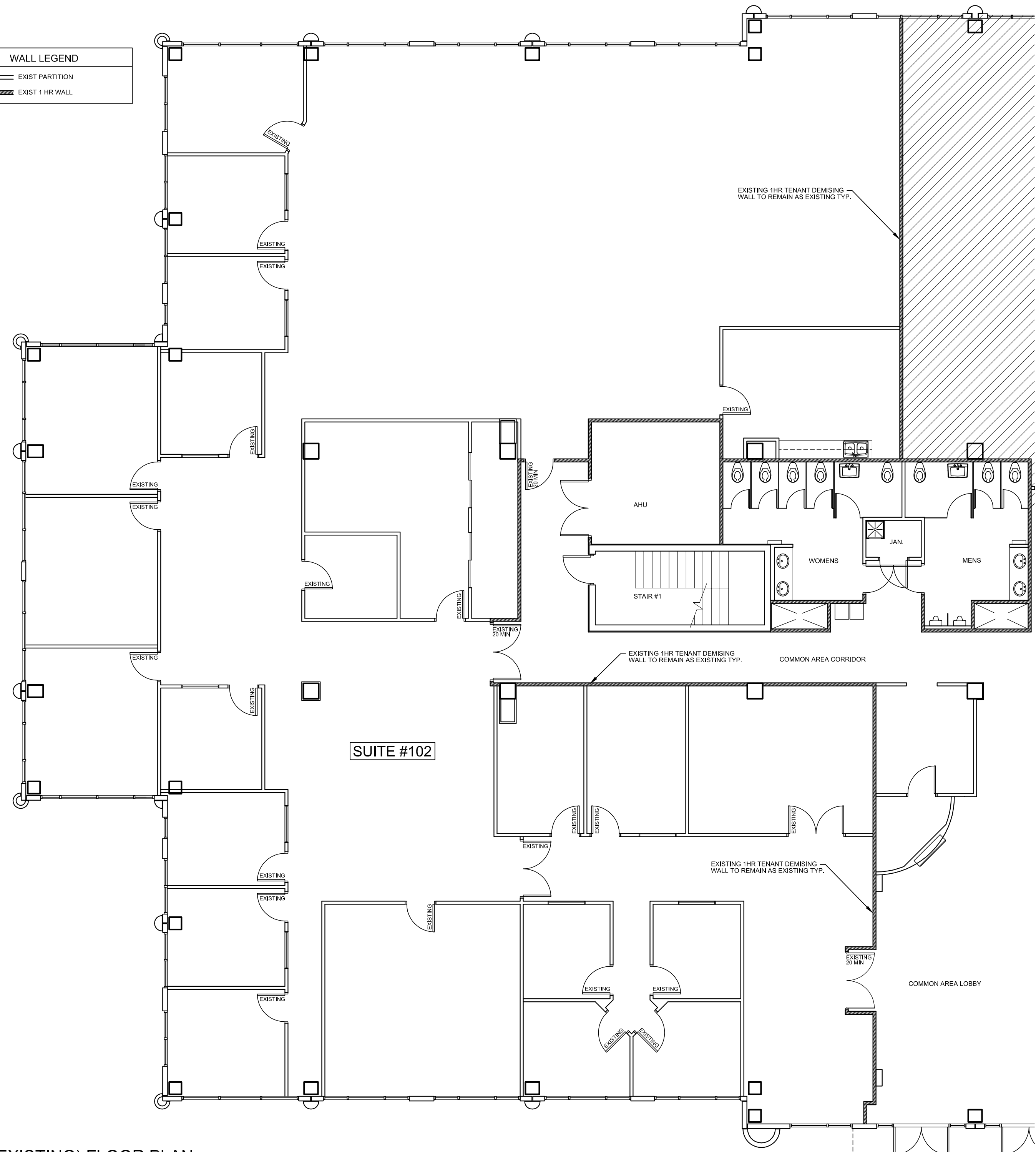
DRAWN BY ASB

CD

08/18/11



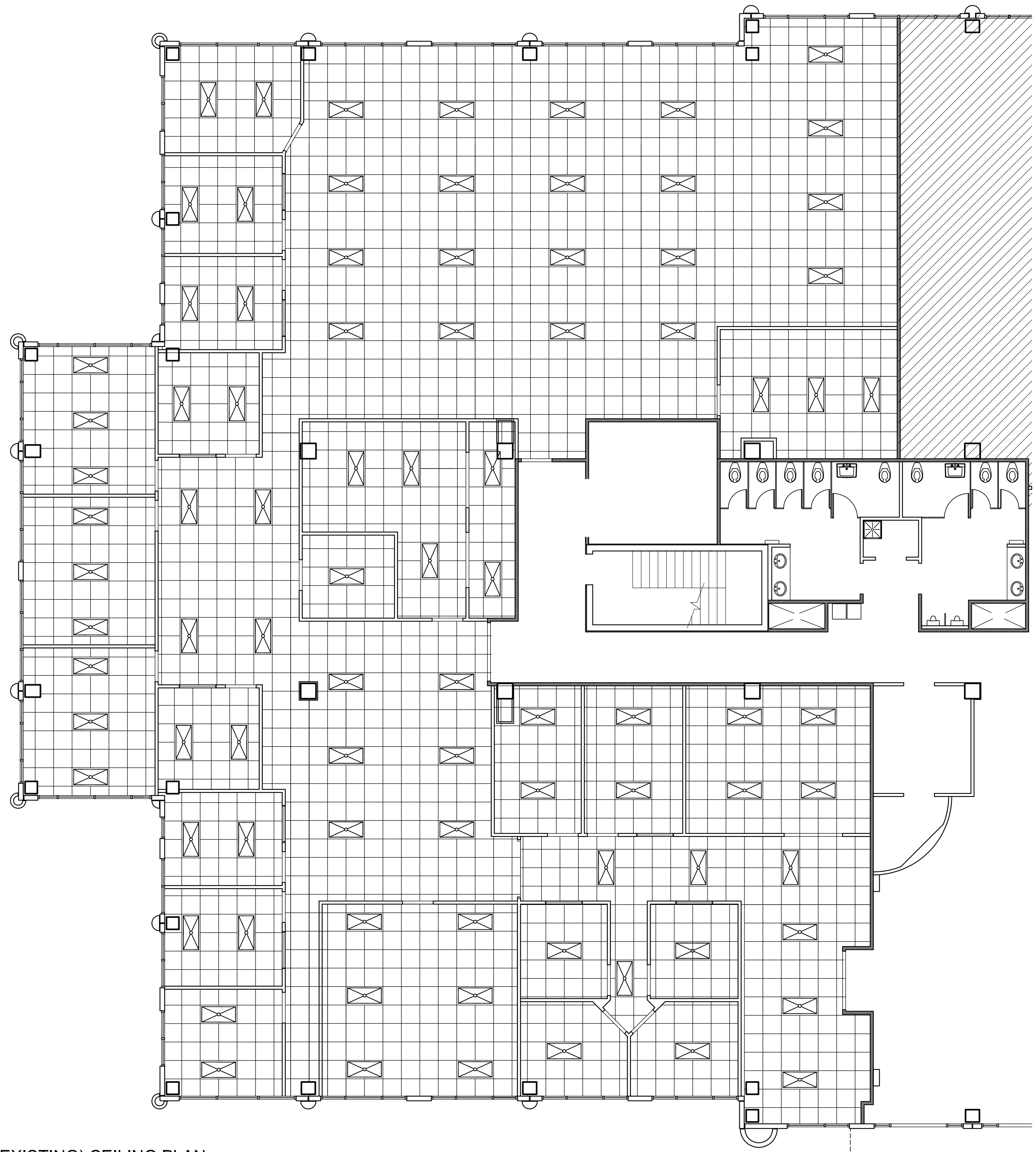
WALL LEGEND	
	EXIST PARTITION
	EXIST 1 HR WALL



1 (EXISTING) FLOOR PLAN
1/8" = 1'-0"

1. ALL WALLS/DOORS/WINDOWS ARE EXISTING AS PER EXISTING FLOOR PLAN 1/A-1
2. TOILET ROOMS ARE EXISTING IN COMMON AREA CORRIDOR AS PER FLOOR PLAN 1/A-1
3. DRINKING FOUNTAIN IS EXISTING IN COMMON AREA CORRIDOR AS PER FLOOR PLAN 1/A-1

3 EXISTING NOTES



2 (EXISTING) CEILING PLAN
1/8" = 1'-0"

1. ALL CEILING/GRID/LIGHTS ARE EXISTING AS PER 2/A-1

4 CEILING NOTES

Bd

birse design inc.

5300 woodland lakes drive
palm beach gardens, fl 33418
phone: 561-249-4001
fax: 772-409-8884
AA26001615

ALLEN S BIRSE
AR94279

SCHWED

FAIRWAY OFFICE CENTER
7111 FAIRWAY DRIVE #105
PALM BEACH GARDENS, FL 33418
PROJECT NUMBER 711110

REVISIONS

1	
2	
3	
4	
5	



THE DESIGN AND THESE DRAWINGS ARE THE PROPERTY OF BIRSE DESIGN INC. NO PART OF THIS WORK MAY BE REPRODUCED WITHOUT WRITTEN PERMISSION FROM BIRSE DESIGN INC.

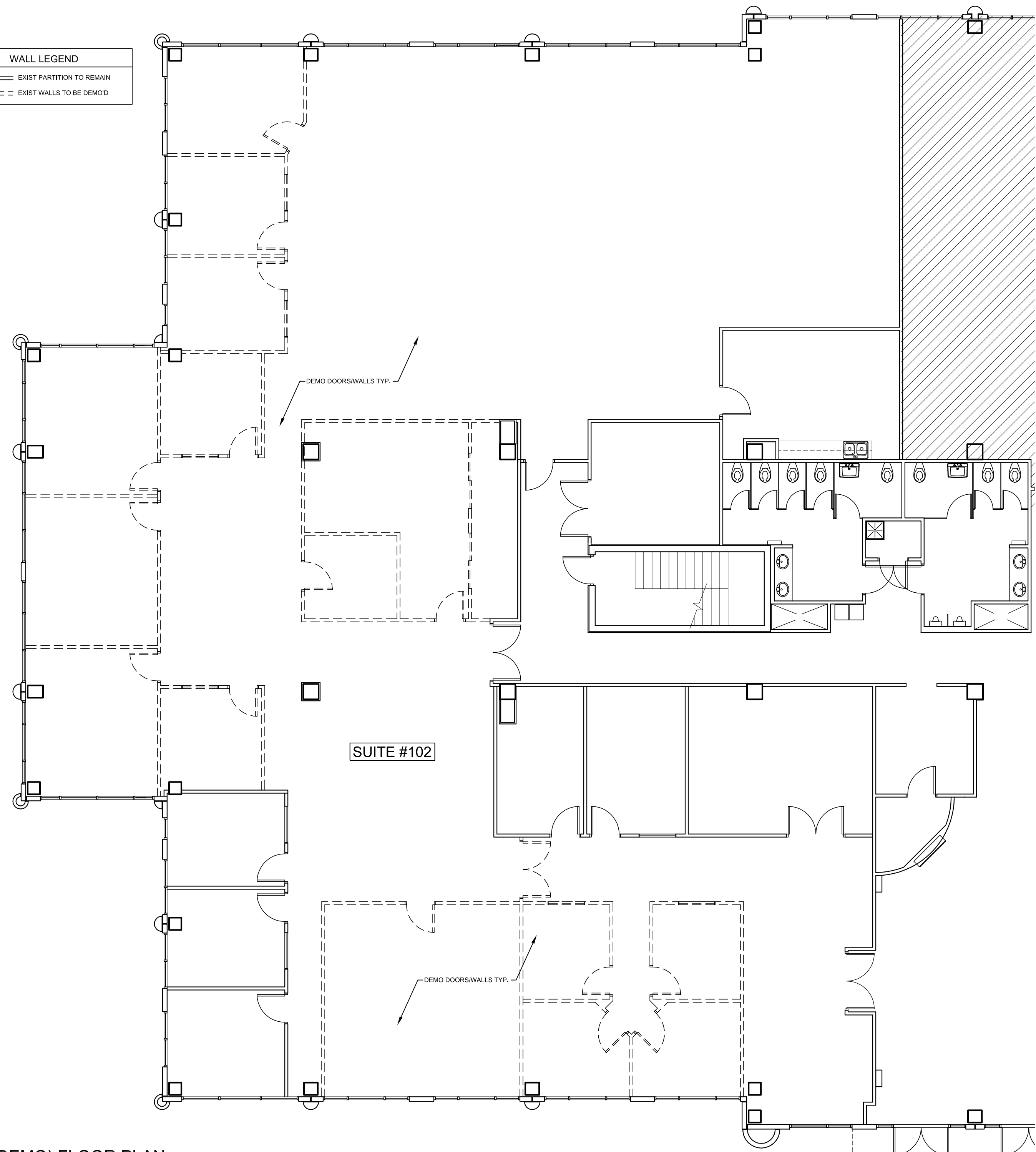
DRAWN BY ASB

CD

08/18/11

A-1

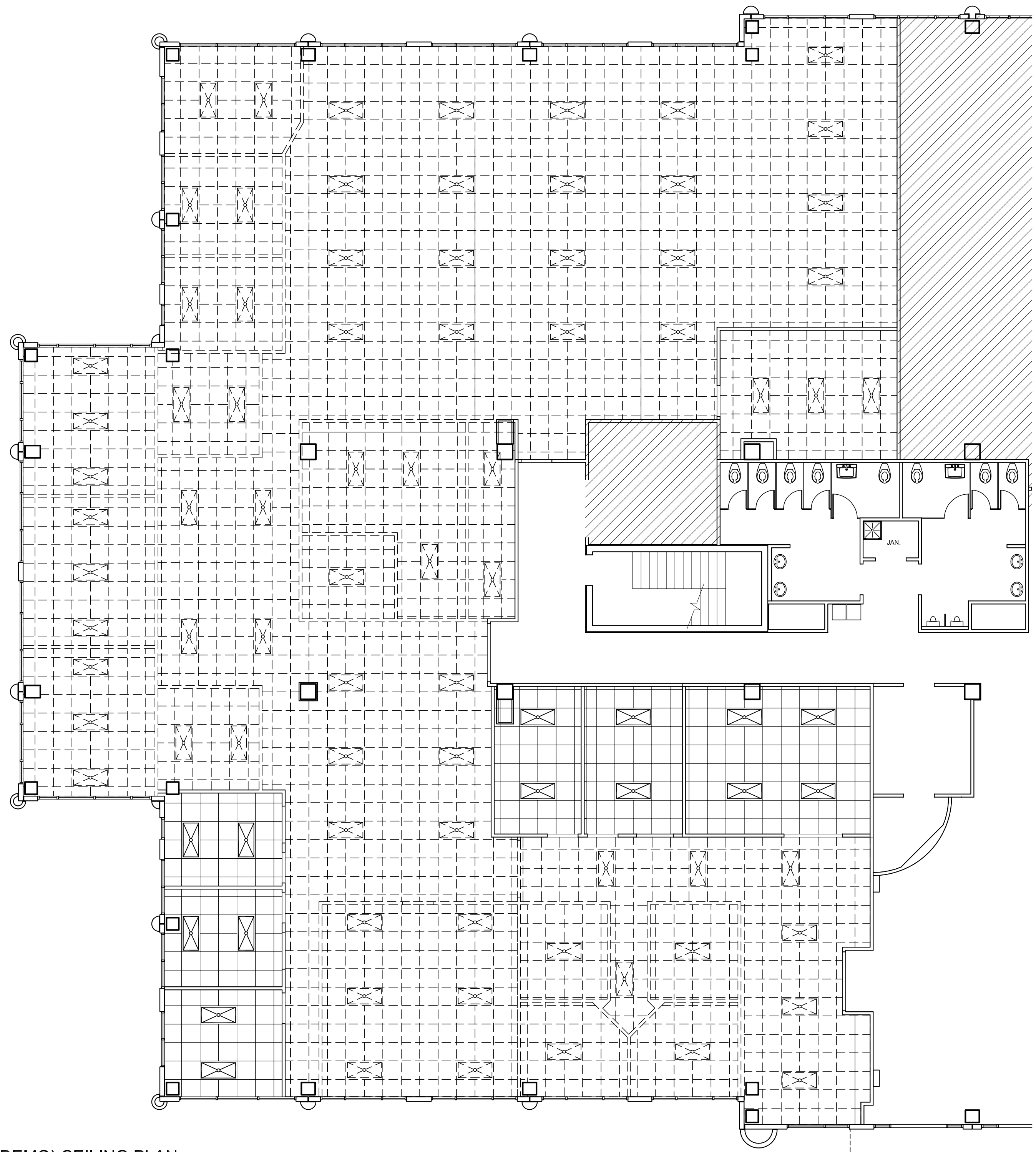
WALL LEGEND	
	EXIST PARTITION TO REMAIN
	EXIST WALLS TO BE DEMO'D



1 (DEMO) FLOOR PLAN
1/8" = 1'-0"

1. REMOVE ALL DASHED WALLS, DOORS (CASING AND HARDWARE), FLOOR MATERIALS LEAVING THE EXTERIOR WALLS OF THE SUITE INTACT. SAVE ALL DOORS/HARDWARE, STORE NEATLY IN SUITE. ALL STRUCTURAL COLUMNS TO REMAIN FURRED-OUT, REMOVE ALL UNNECESSARY COLUMN WRAPPING. ALL DOORS/FRAMING/HARDWARE TO BE STORED FOR REUSE.
 2. REMOVE DASHED CEILING TILE, LIGHT FIXTURES AND GRID. ALL AIR HANDLERS ARE TO REMAIN IN CEILING AS EXISTING. REMOVE ALL BRANCH DUCTWORK IN CEILING. MAIN SUPPLY TRUNK LINES ARE TO REMAIN AS EXISTING. SAVE ALL LIGHT FIXTURES AND SUPPLY/RETURN GRILLS FOR POSSIBLE REUSE. STACK NEATLY ON FLOOR. ALL UNDAMAGED CEILING TILE TO BE STACKED NEATLY ON SITE FOR POSSIBLE REUSE.
 3. REMOVE ALL ELECTRICAL WIRING FROM DEMO'D WALLS AND CEILINGS BACK TO THE FIRST JUNCTION BOX. LABEL AND CAP. REMOVE ALL DATA/TELECOM WIRING FROM DEMO'D WALLS AND CEILINGS. ALL SECURITY ALARM COMPONENTS TO BE SAVED FOR POSSIBLE REUSE. ALL THERMOSTATS/CONT. WIRING TO BE SAVED FOR POSSIBLE REUSE. ALL EXIT SIGNS/LIFE SAFETY DEVICES TO BE SAVED FOR POSSIBLE REUSE. EXISTING FLOOR BOXES TO BE REMOVED AND FILLED IN FLUSH WITH GROUND.
 4. CONTRACTOR TO PROTECT ALL EXISTING PERIMETER VERTICAL BLINDS.
 5. ALL FIRE ALARM AND FIRE PROTECTION DEVICES TO REMAIN AS EXISTING. RELOCATE FIRE ALARM DEVICES AS REQUIRED BY THE DEMO. ALL FIRE EXTINGUISHERS TO REMAIN IN SUITE.
- * STRUCTURES UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL COMPLY WITH NFPA 241
 - * ACCUMULATIONS OF COMBUSTIBLE WASTE AND DUST DEBRIS SHALL BE REMOVED FROM THE STRUCTURE AND ITS IMMEDIATE VICINITY AT THE END OF THE SHIFT OR MORE FREQUENTLY AS NECESSARY FOR SAFE OPERATIONS
 - * EXIT AND ACCESS CORRIDORS ARE TO BE MAINTAINED AND REMAIN CLEAR AND UNOBSTRUCTED
 - * THE MAIN BUILDINGS FIRE PROTECTION SYSTEMS SHALL BE MAINTAINED AND OPERATIONAL AT ALL TIMES

3 DEMO NOTES



2 (DEMO) CEILING PLAN
1/8" = 1'-0"

Bd

birse design inc.

5300 woodland lakes drive
palm beach gardens, fl 33418
phone: 561-249-4001
fax: 772-409-8884
AA26001615

ALLEN S BIRSE
AR94279

SCHWED

FAIRWAY OFFICE CENTER
7111 FAIRWAY DRIVE #105
PALM BEACH GARDENS, FL 33418
PROJECT NUMBER 711110

REVISIONS

1	
2	
3	
4	
5	

THE DESIGN AND THESE DRAWINGS ARE THE PROPERTY OF BIRSE DESIGN INC. NO PART OF THIS WORK MAY BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION FROM BIRSE DESIGN INC.

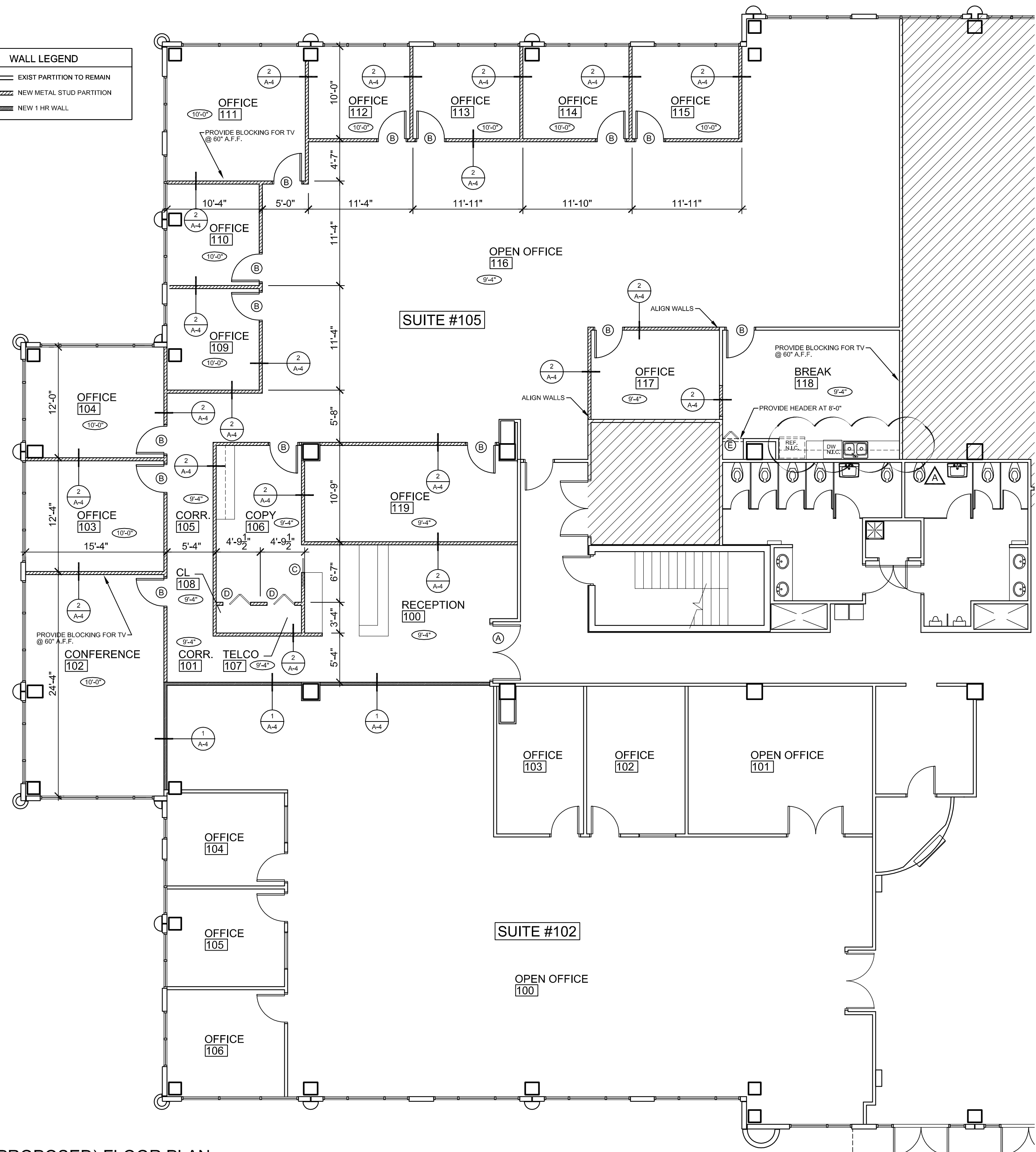
DRAWN BY ASB

CD

07/18/11

A-2

WALL LEGEND	
	EXIST PARTITION TO REMAIN
	NEW METAL STUD PARTITION
	NEW 1 HR WALL



1 (PROPOSED) FLOOR PLAN
1/8" = 1'-0"

TENANT ENTRIES
MAIN TENANT ENTRIES SHALL CONSIST OF 3'-0" x 8'-0" SOLID-CORE-FLUSH OAK VENEER DOOR W/ 5" SOLID TOP RAIL, DOUBLE ENTRY DOORS TO HAVE GLASS PANELS AS PER DOOR SCHEDULE. SECONDARY EXIT DOORS SHALL BE 3'-0" x 7'-0" W/ 5" SOLID TOP RAIL. HARDWARE SHALL CONSIST OF A HEAVY-DUTY COMMERCIAL LEVER HANDLE LOCKSET; TWO PAIR OF BUTT HINGES, SILENCERS, A CLOSER AND A FLOOR STOP AL IN BRUSHED STAINLESS STEEL FINISH.

DEMISING PARTITION
SHALL BE CONSTRUCTED OF 3-5/8" METAL STUDS @ 24" O.C. WITH ONE LAYER EACH SIDE OF 5/8" GYPSUM TYPE X WALLBOARD, AND 4" ACOUSTICAL INSULATION BETWEEN. PARTITIONS SHALL EXTEND FROM THE FLOOR SLAB TO THE STRUCTURAL DECK ABOVE AND SHALL HAVE 4" HIGH VINYL BASE ON TENANTS SIDE(S).

INTERIOR TENANT PARTITIONS
SHALL BE CONSTRUCTED OF 3-5/8" METAL STUDS @ 24" O.C. WITH ONE LAYER OF 5/8" GYPSUM WALLBOARD ON EACH SIDE. PARTITIONS SHALL EXTEND FROM THE FLOOR SLAB TO ABOVE THE FINISH-CEILING PLANE, WITH BRACING TO THE STRUCTURAL DECK, AND SHALL HAVE 4" HIGH VINYL BASE ON EACH SIDE. EXTERIOR WALLS CONSIST OF 3 5/8" STUDS, 5/8" GYPSUM WALLBOARD AND R54 RIGID INSULATION.

INTERIOR TENANT DOORS
SHALL BE 3'-0" x 8'-0" SOLID-CORE FLUSH OAK VENEER. HARDWARE PACKAGE SHALL CONSIST OF COMMERCIAL GRADE "AL SERIES" CYLINDRICAL LEVER-SETS, TWO PAIR OF BUTT HINGES, SILENCERS, AND A FLOOR-STOP IN A BRUSHED STAINLESS FINISH. INTERIOR TENANT DOORS TO HAVE GLASS PANELS AS PER DOOR SCHEDULE.

SUSPENDED ACOUSTICAL CEILING
CEILING TILE- CORTEGA BEVEL, TEGULAR TILE # 2195 BY ARMSTRONG, 24" x 24" ACOUSTICAL PANELS WITH REVEAL EDGES AND A WHITE FACTORY FINISH. CEILING GRID- SHALL BE AN EXPOSED 9/16" WIDE "FINE-LINE" GRID IN A MATCHING WHITE FACTORY FINISH. STRUCTURE PERMITTING, CEILING HEIGHTS INDICATED ON 1/A-3.

PAINTING
SHALL BE TWO COATS OF FLAT FINISH LATEX PAINT ON ALL GYPSUM WALLBOARD WALLS, SOFFITS AND SIMILAR SURFACES. DOOR FRAMES AND OTHER METAL SURFACES TO BE PAINTED SHALL RECEIVE TWO COATS OF SEMI-GLOSS FINISH OIL-BASE ENAMEL. WOOD DOORS SHALL RECEIVE A STAINED & SEALED FINISH. ALL PAINT AND STAIN COLORS, EXCEPT AT TENANT ENTRIES (WHICH SHALL CONFORM TO BUILDING STANDARDS), SHALL BE SELECTED BY THE TENANT FROM MANUFACTURERS STANDARD COLOR PAlettes.

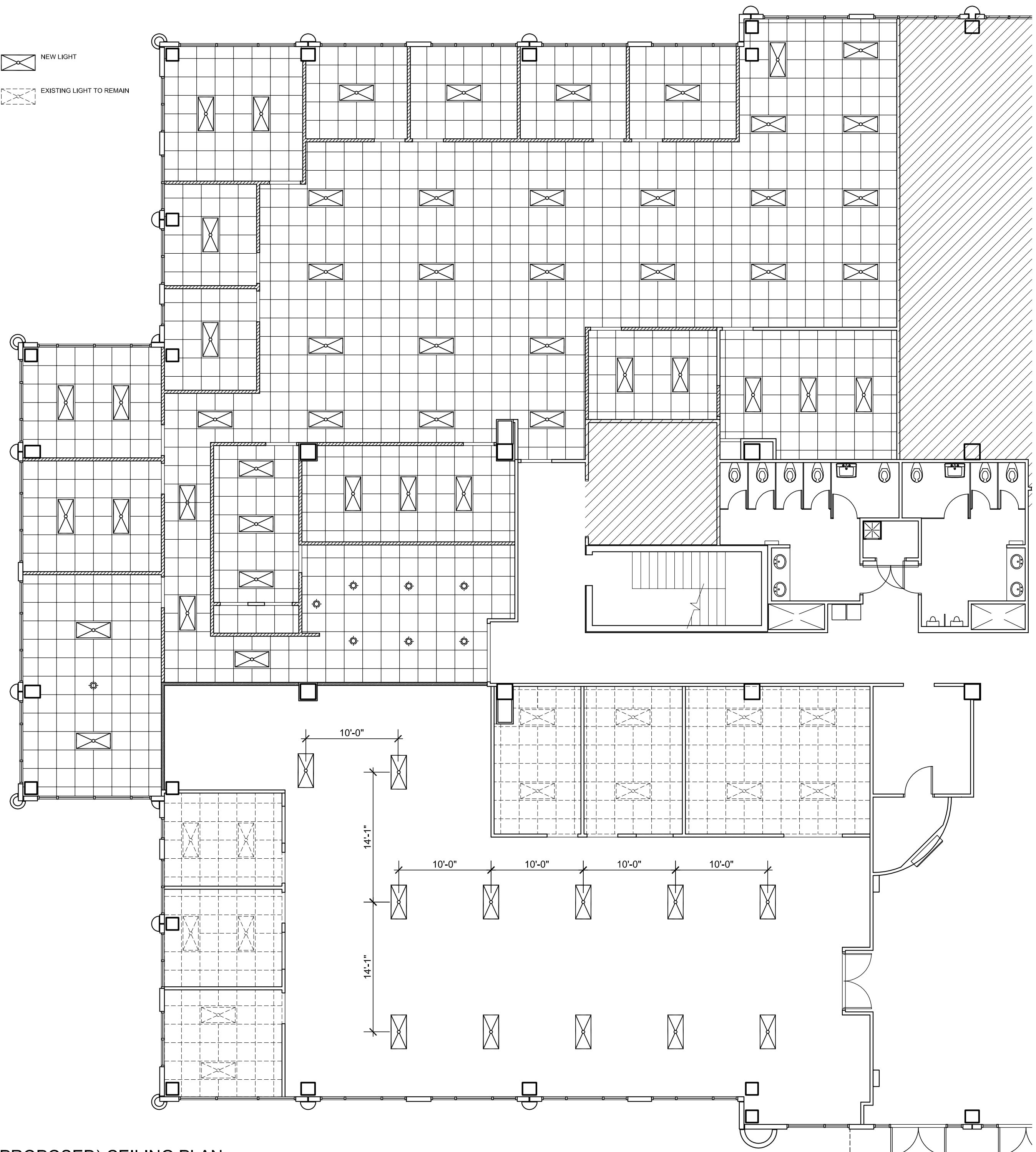
CARPETING
SHALL BE 28-oz LOOP PILE SOLUTION DYED NYLON, INSTALLED BY DIRECT GLUE DOWN WITH 4" RUBBER COVE BASE AS STANDARDS. CARPET AND BASE SHALL BE SELECTED BY THE TENANT FROM THE STANDARD RANGE OF COLORS OFFERED BY THE OWNER. (4 1/2" OAK BASE IS AVAILABLE AT ADDITIONAL COST).

WINDOW TREATMENT
SHALL BE 1" WIDE HORIZONTAL ALUMINUM BLINDS IN THE STANDARD BUILDING COLOR, WITH MATCHING HOUSING AND HARDWARE EACH WINDOW UNIT TO RECEIVE A SOLID COLOR ACRYLIC RESIN (WHITE) SILL. REPAIR EXISTING SILLS AS REQUIRED.

BREAK ROOM CABS
PROVIDE NEW BREAK ROOM CABS/SINK AS PER SHEET A-4

3 PROPOSED NOTES

	NEW LIGHT
	EXISTING LIGHT TO REMAIN



2 (PROPOSED) CEILING PLAN
1/8" = 1'-0"

LIGHTING
SHALL BE 2' x 4' REFLECTIVE PARABOLIC FIXTURE WITH ENERGY EFFICIENT OCTRON BALLAST AND STANDARD LAMPS.

LIGHT SWITCHES
SHALL BE WHITE, SINGLE POLE TOGGLE SWITCH WITH WHITE/ IVORY COVER PLATE.

EMERGENCY / LIFE SAFETY, EXIT LIGHTING AND EXIT SIGNS
SHALL INCLUDE ITEMS REQUIRED BY CODE AND CONNECTED TO BUILDING FIRE ALARM MONITORING PANEL WHERE APPROPRIATE. BEFORE MENTIONED, OPTIONAL ELECTRONIC DOOR LOCKING DEVICES ARE REQUIRED BY CODE TO BE CONNECTED TO THE FIRE ALARM PANEL.

EMERGENCY / LIFE SAFETY, EXIT LIGHTING AND EXIT SIGNS
SHALL INCLUDE ITEMS REQUIRED BY CODE AND CONNECTED TO BUILDING FIRE ALARM MONITORING PANEL WHERE APPROPRIATE. BEFORE MENTIONED, OPTIONAL ELECTRONIC DOOR LOCKING DEVICES ARE REQUIRED BY CODE TO BE CONNECTED TO THE FIRE ALARM PANEL.

PLEASE PROVIDE ADD/ALTERNATE PRICING FOR THE FOLLOWING:
* PROVIDE ALTERNATE PRICING TO PROVIDE WALL MOULDING AS PER SHEET A-6

4 CEILING NOTES

4 ALTERNATES

Bd

birse design inc.

5300 woodland lakes drive
palm beach gardens, fl 33418
phone: 561-249-4001
fax: 772-409-8884
AA26001615

ALLEN S BIRSE
AR94279

SCHWED

FAIRWAY OFFICE CENTER
7111 FAIRWAY DRIVE #105
PALM BEACH GARDENS, FL 33418
PROJECT NUMBER 711110

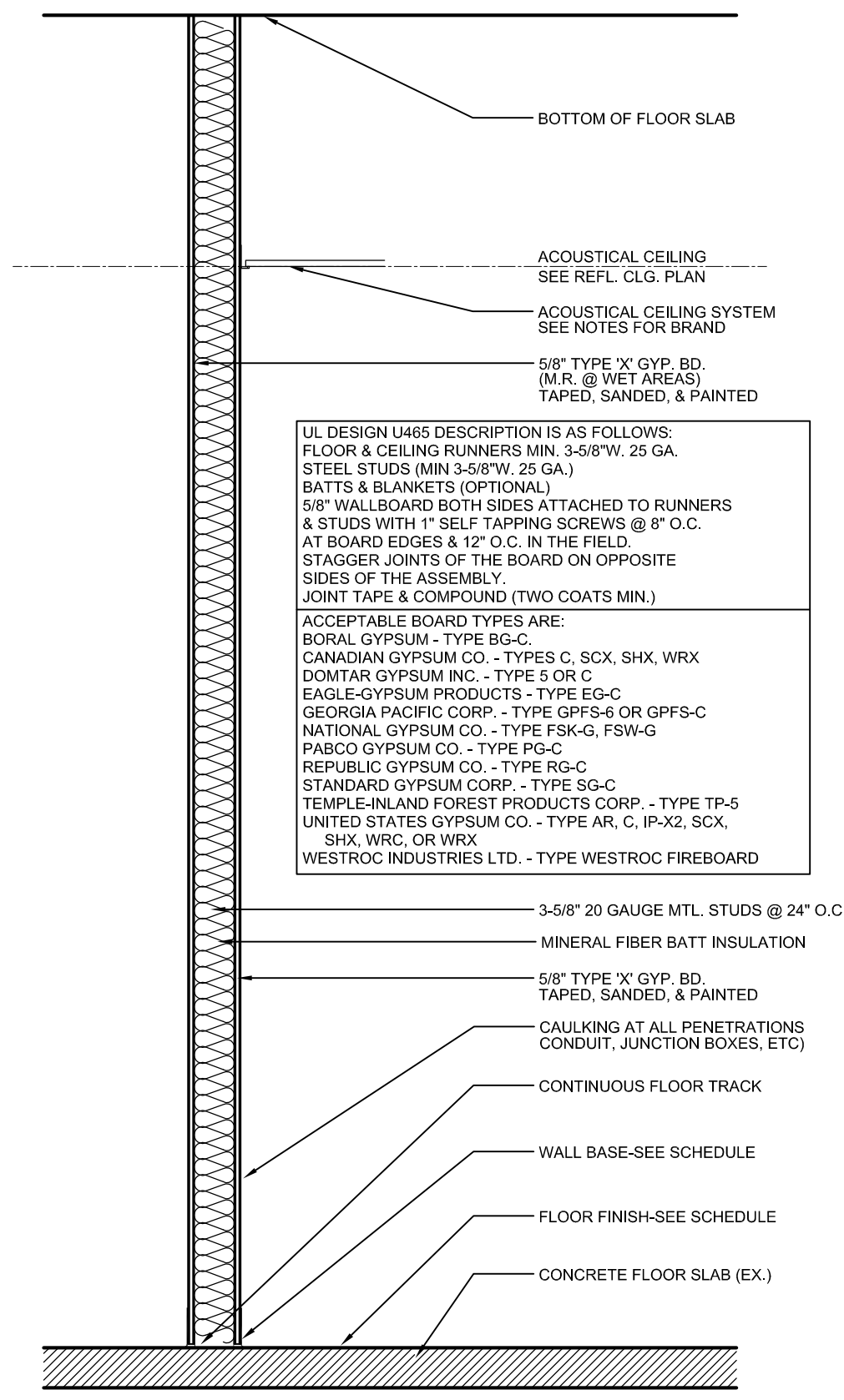
REVISIONS	
1	08/15/11 TENANT
2	
3	
4	
5	

DRAWN BY ASB

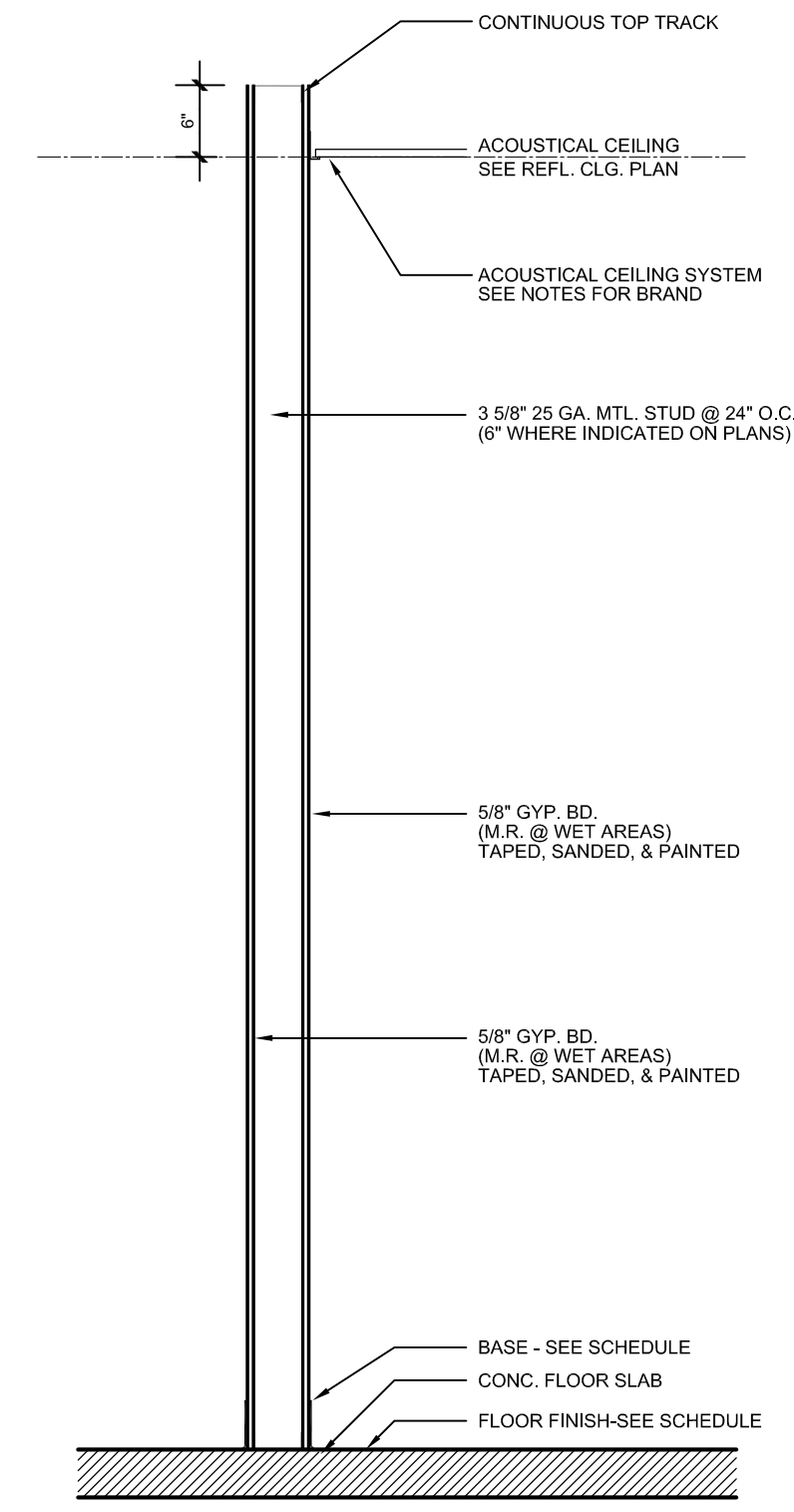
CD

08/18/11

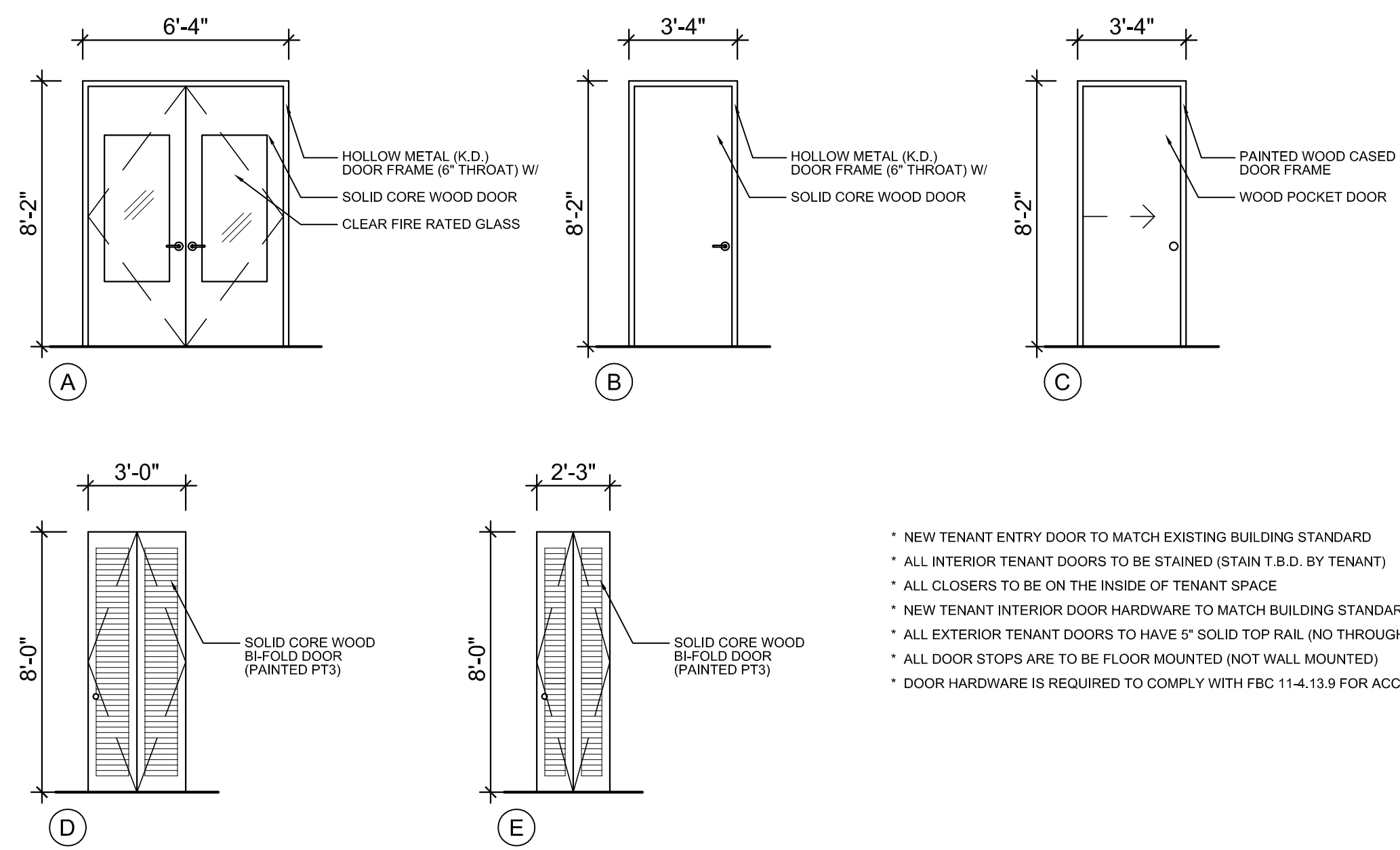
A-3



UL DESIGN U465 (1HR)



2 WALL TYPE (INT. PARTITION)
3/4" = 1'-0"

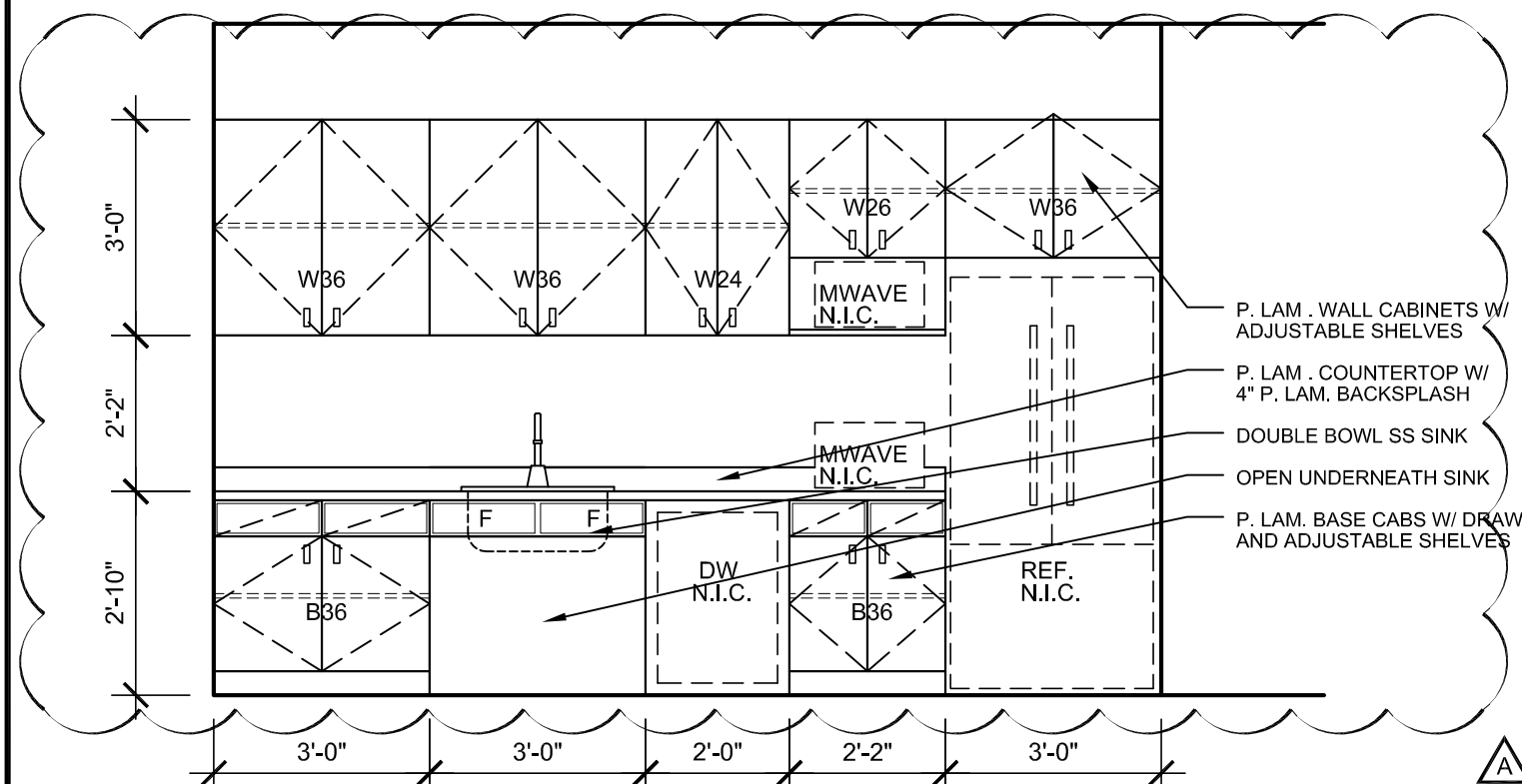


- * NEW TENANT ENTRY DOOR TO MATCH EXISTING BUILDING STANDARD
- * ALL INTERIOR TENANT DOORS TO BE STAINED (STAIN T.B.D. BY TENANT)
- * ALL CLOSERS TO BE ON THE INSIDE OF TENANT SPACE
- * NEW TENANT INTERIOR DOOR HARDWARE TO MATCH BUILDING STANDARD (REUSE FROM DEMOD SPACE)
- * ALL EXTERIOR TENANT DOORS TO HAVE 5\"/>

DOOR SCHEDULE

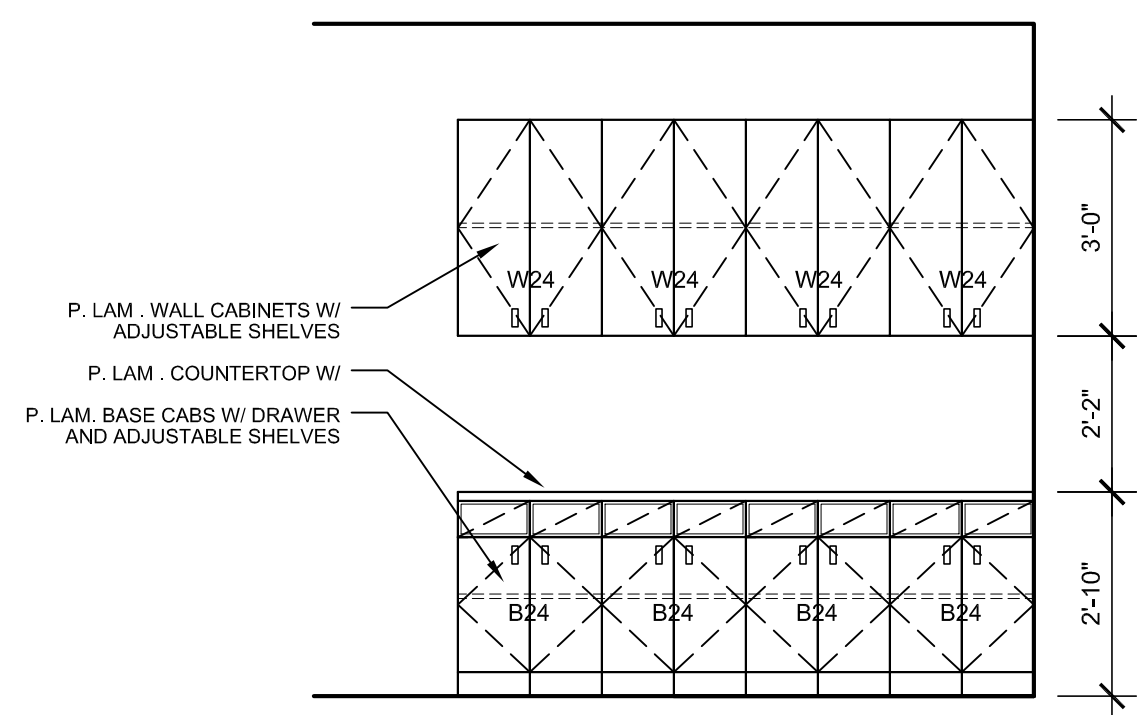
MARK	LABEL	DOOR			FRAME	REMARKS
		MAT	TYPE	SIZE	SIZE/MAT.	
				W H T		
A	20 MINUTE RATED	WD	FLUSH	30\"/>		

3 DOORS
1/4" = 1'-0"

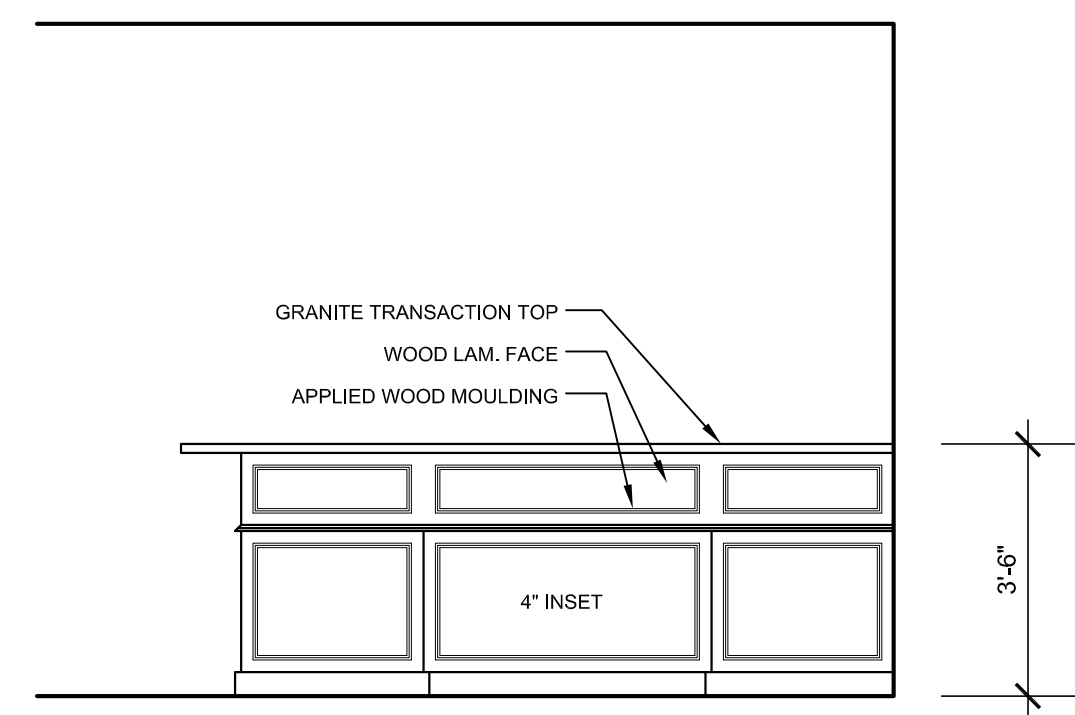


- * SINKS SHALL BE MOUNTED WITH THE COUNTER OR RIM NO HIGHER THAN 34\"/>
- * KNEE CLEARANCE OF AT LEAST 27\"/>
- * EACH SINK SHALL BE A MAXIMUM OF 61/2\"/>
- * HOT WATER AND DRAIN PIPES UNDER THE SINK SHALL BE INSULATED OR OTHERWISE CONFIGURED SO AS TO PROTECT AGAINST ANY CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER THE SINK
- * A CLEAR FLOOR SPACE OF AT LEAST 30\"/>
- * 19\"/>
- * ALL FAUCETS TO BE LEVER OPERATED
- * CONTRACTOR TO COORDINATE ALL APPLIANCES WITH TENANT

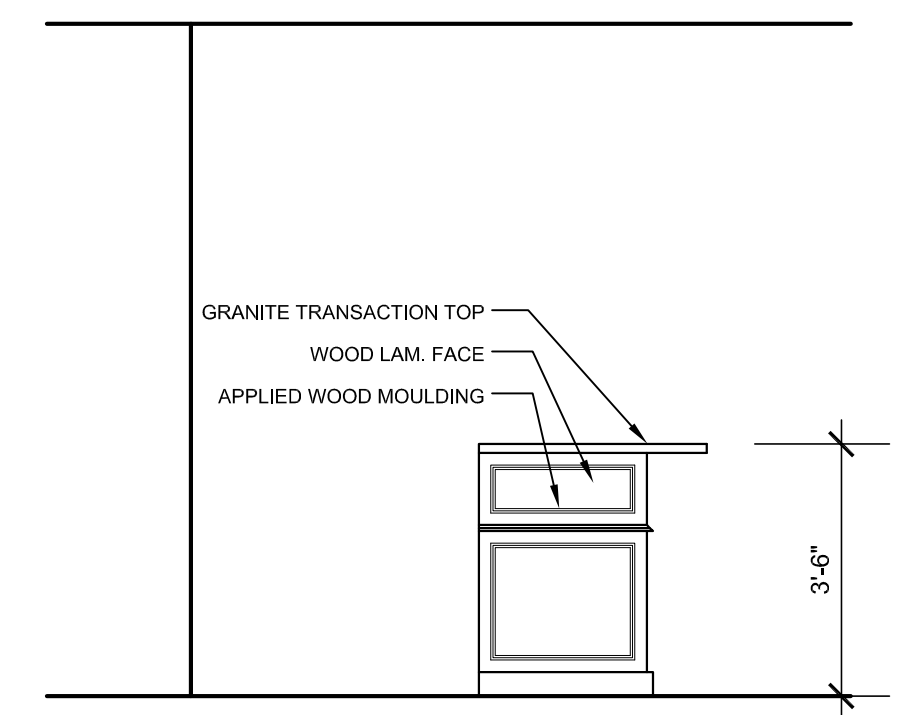
4 BREAK (#118) ELEVATION
3/8" = 1'-0"



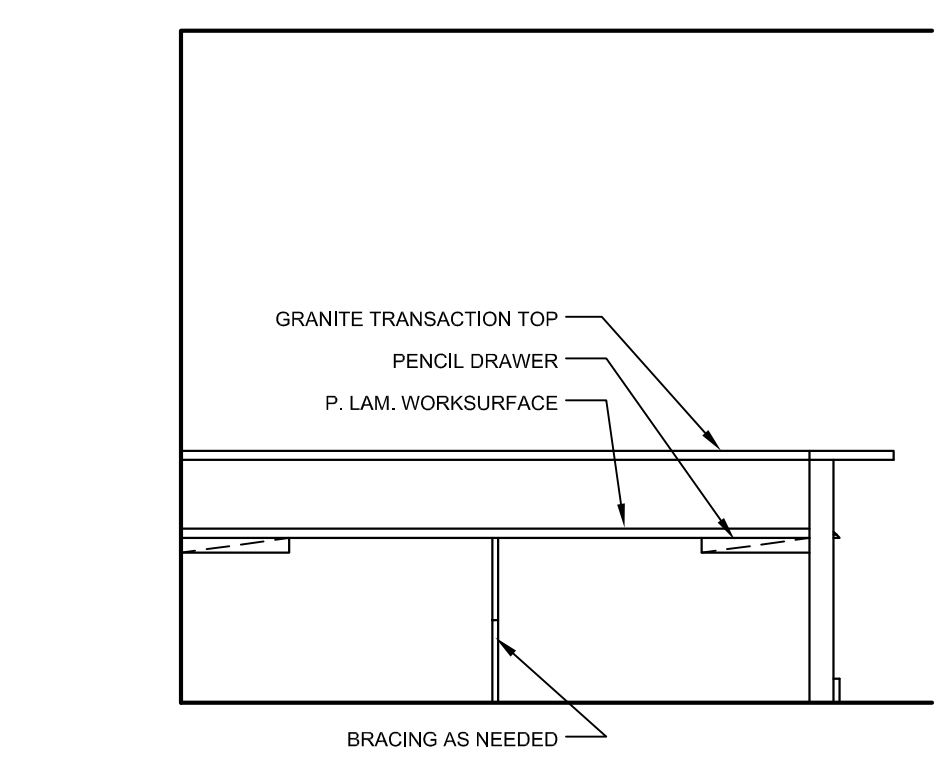
5 COPY (#106) ELEVATION
3/8" = 1'-0"



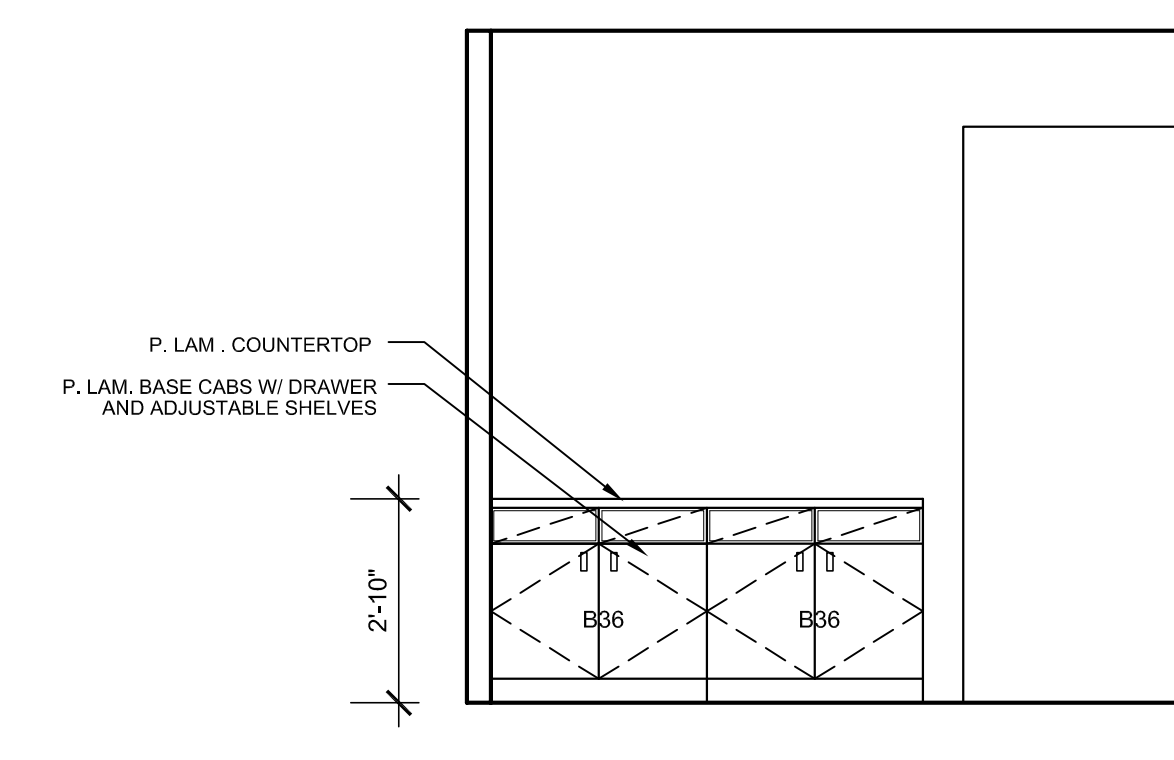
6 RECEPTION DESK FRONT
3/8" = 1'-0"



7 RECEPTION DESK SIDE
3/8" = 1'-0"



8 RECEPTION DESK REAR
3/8" = 1'-0"



9 REAR RECEPTION CABS
3/8" = 1'-0"

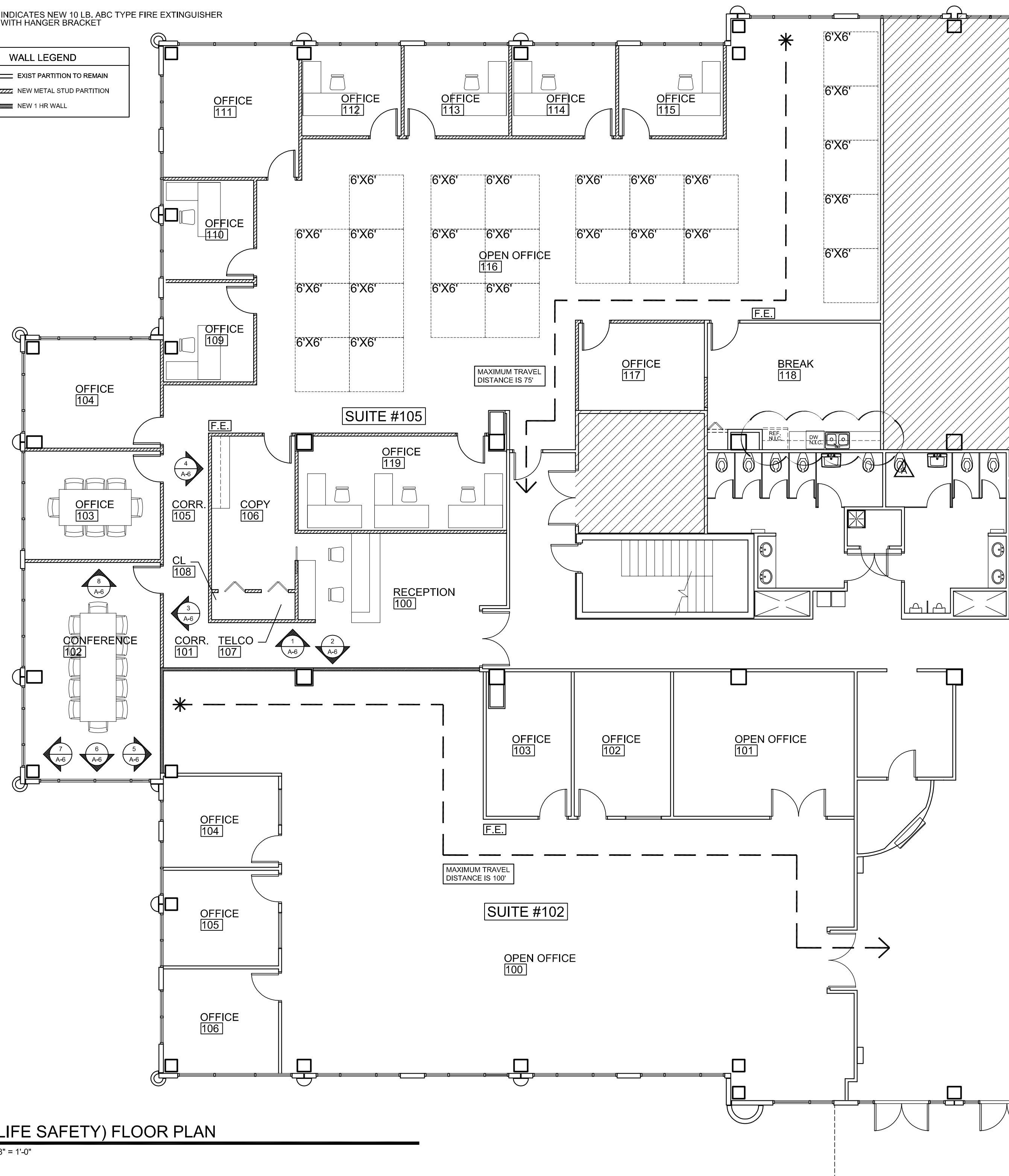
REVISIONS

1	08/15/11	TENANT
2		
3		
4		
5		

DRAWN BY ASB
CD
08/18/11

F.E. INDICATES NEW 10 LB. ABC TYPE FIRE EXTINGUISHER WITH HANGER BRACKET

WALL LEGEND	
	EXIST PARTITION TO REMAIN
	NEW METAL STUD PARTITION
	NEW 1 HR WALL



1 (LIFE SAFETY) FLOOR PLAN
1/8" = 1'-0"

- * ALL INTERIOR WALL AND CEILING FINISHES TO HAVE A MIN CLASS "C" FLAME SPREAD CLASSIFICATION
- * ALL INTERIOR FINISHES SHALL BE NOT LESS THAN CLASS II
- * FIRE SPRINKLER DRAWINGS ARE TO BE SUBMITTED UNDER A SEPARATE FIRE SPRINKLER PERMIT
- * COMPLY WITH NFPA 13 2010 EDITION
- * CALL FURNITURE TO BE PROVIDED BY TENANT

2 LIFE SAFETY NOTES

MK	ROOM NAME	FLOOR		BASE		WALLS		CEILING		REMARKS
		MAT	HT	MAT	HT	MAT	FIN	MAT	FIN	
SUITE #105										
100	RECEPTION	CPT1	VL	4"	GWB	PT1	ACT1	9'-4"		BACK OF RECEPTION DESK (PL1)
101	CORRIDOR	CPT1	VL	4"	GWB	PT1	ACT1	9'-4"		
102	CONFERENCE	CPT1	VL	4"	GWB	PT1	ACT1	10'-0"		
103	OFFICE	CPT1	VL	4"	GWB	PT1	ACT1	10'-0"		
104	OFFICE	CPT1	VL	4"	GWB	PT1	ACT1	10'-0"		
105	OFFICE	CPT1	VL	4"	GWB	PT1	ACT1	10'-0"		
106	COPY	VCT1	VL	4"	GWB	PT2	ACT1	9'-4"		CABS AND COUNTERTOPS (PL1)
107	TELCO	VCT1	VL	4"	GWB	PT2	ACT1	9'-4"		
108	CLOSET	VCT1	VL	4"	GWB	PT2	ACT1	9'-4"		
109	OFFICE	CPT1	VL	4"	GWB	PT2	ACT1	10'-0"		
110	OFFICE	CPT1	VL	4"	GWB	PT2	ACT1	10'-0"		
111	OFFICE	CPT1	VL	4"	GWB	PT2	ACT1	10'-0"		
112	OFFICE	CPT1	VL	4"	GWB	PT2	ACT1	10'-0"		
113	OFFICE	CPT1	VL	4"	GWB	PT2	ACT1	10'-0"		
114	OFFICE	CPT1	VL	4"	GWB	PT2	ACT1	10'-0"		
115	OFFICE	CPT1	VL	4"	GWB	PT2	ACT1	10'-0"		
116	OPEN OFFICE	CPT1	VL	4"	GWB	PT1	PT1	9'-4"		
117	OFFICE	CPT1	VL	4"	GWB	PT2	ACT1	9'-4"		
118	BREAK	VCT1/VCT2	VL	4"	GWB	PT2	ACT1	9'-4"		12" BORDER OF VCT2; COUNTERTOPS (PL2); CABS (PL1)
119	OFFICE	CPT1	VL	4"	GWB	PT2	ACT1	9'-4"		

* ALL SUITE #102 FINISHES ARE TO REMAIN AS EXISTING

* SAMPLES ARE REQUIRED TO BE APPROVED PRIOR TO ORDERING

FINISH SELECTIONS:

CARPET (CPT1) (1ST CHOICE)

MANUFACTURER: BIGELOW

COLLECTION: MCCORMIC II BC 181

COLOR: 7567 LAKE SHORE

CARPET (CPT2) (2ND CHOICE)

MANUFACTURER: PATCRAFT

COLLECTION: 10129 NIGHT MOVES

COLOR: 29426 SLEEPWALKING

VINYL BASE (VL)

MANUFACTURER: JOHNSONITE (4")

COLOR: #68 WHITE SAND W

VINYL COMPOSITION TILE (VCT1)

MANUFACTURER: ARMSTRONG

COLLECTION: STANDARD EXCELO

COLOR: #52506 RODEO FAWN (12x12")

VINYL COMPOSITION TILE (VCT2)

MANUFACTURER: ARMSTRONG

COLLECTION: STANDARD EXCELO

COLOR: #51873 BRUSHED SAND (12x12")

PAINT (PT1)

MANUFACTURER: SHERWIN WILLIAMS

COLOR: #7575 CHOPSTICKS

PAINT (PT2)

MANUFACTURER: BENJAMIN MOORE

COLOR: #1632 GLASS SLIPPER

PAINT (PT3)(WOOD TRIM/DOOR FRAMES)

MANUFACTURER: BENJAMIN MOORE

COLOR: #AF-35 VAPOR

PLASTIC LAMINATE (PL1)

MANUFACTURER: FORMICA

COLOR: #7583-58 VICTORIAN MAHOGONY

MATTE FINISH

PLASTIC LAMINATE (PL2)

MANUFACTURER: WILSONART LAMINATE

COLOR: #4834-38 NATURAL ROCA

RECEPTION DESK

* RECEPTION DESK FRONT TO BE WOOD VENEER

COLOR T.B.D. BY TENANT

* TRANSACTIN TOP TO BE BLACK GRANITE SEALED

AND POLISHED WITH ROUNDED EDGES

* ALL SURFACES ON BACK SIDE OF RECEPTION

DESK TO BE PLASTIC LAMINATE (PL1)

3 FINISH SCHEDULE

Bd

birse design inc.

5300 woodland lakes drive
palm beach gardens, fl 33418
phone: 561-249-4001
fax: 772-409-8884
AA26001615

ALLEN S BIRSE
ARB4279

SCHWED

FAIRWAY OFFICE CENTER
7111 FAIRWAY DRIVE #105
PALM BEACH GARDENS, FL 33418
PROJECT NUMBER 711110

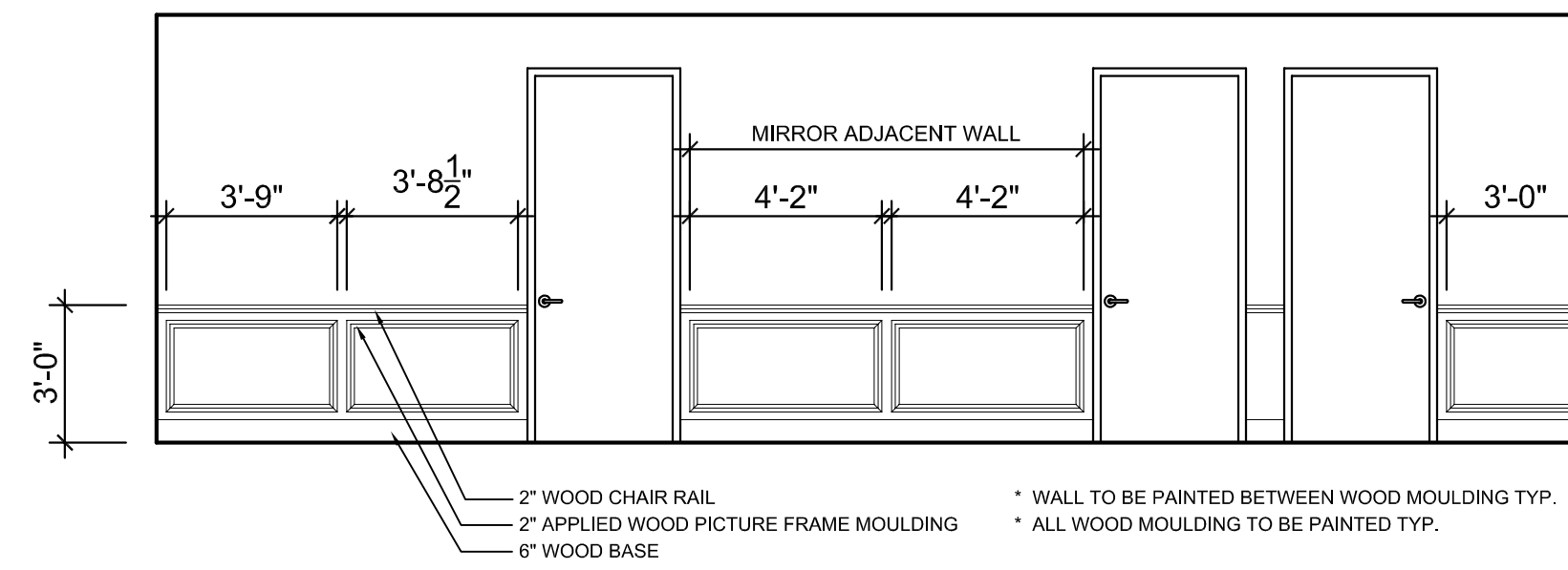
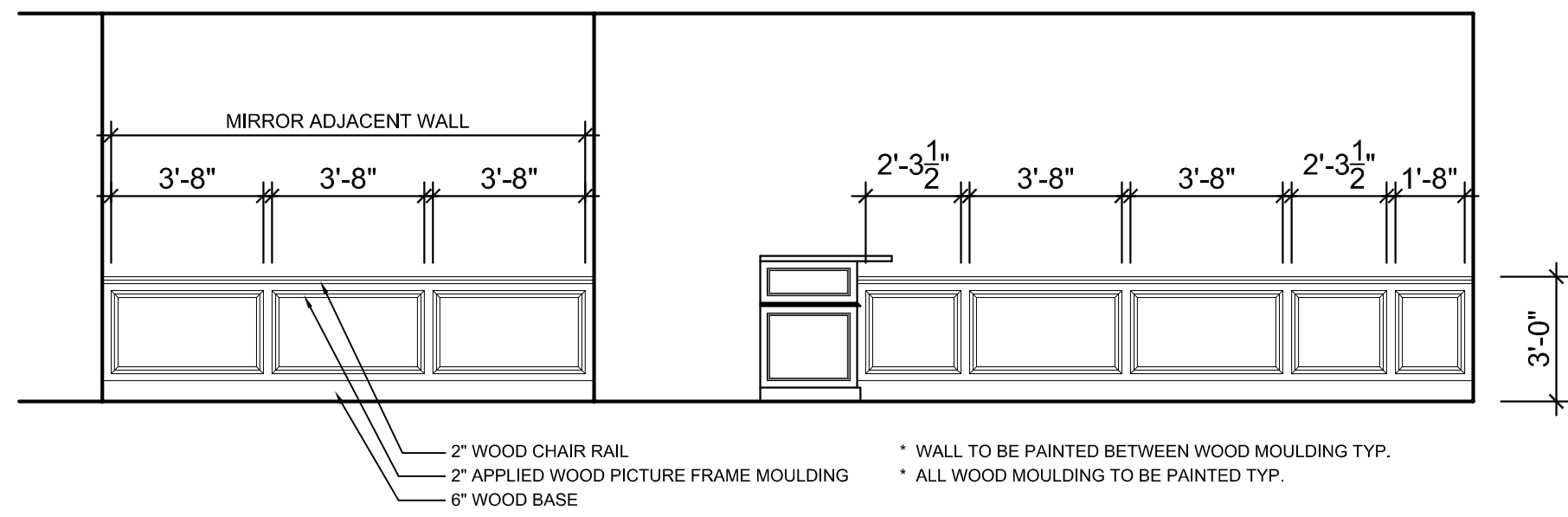
REVISIONS	
1	08/15/11 TENANT
2	
3	
4	
5	

DRAWN BY ASB

CD

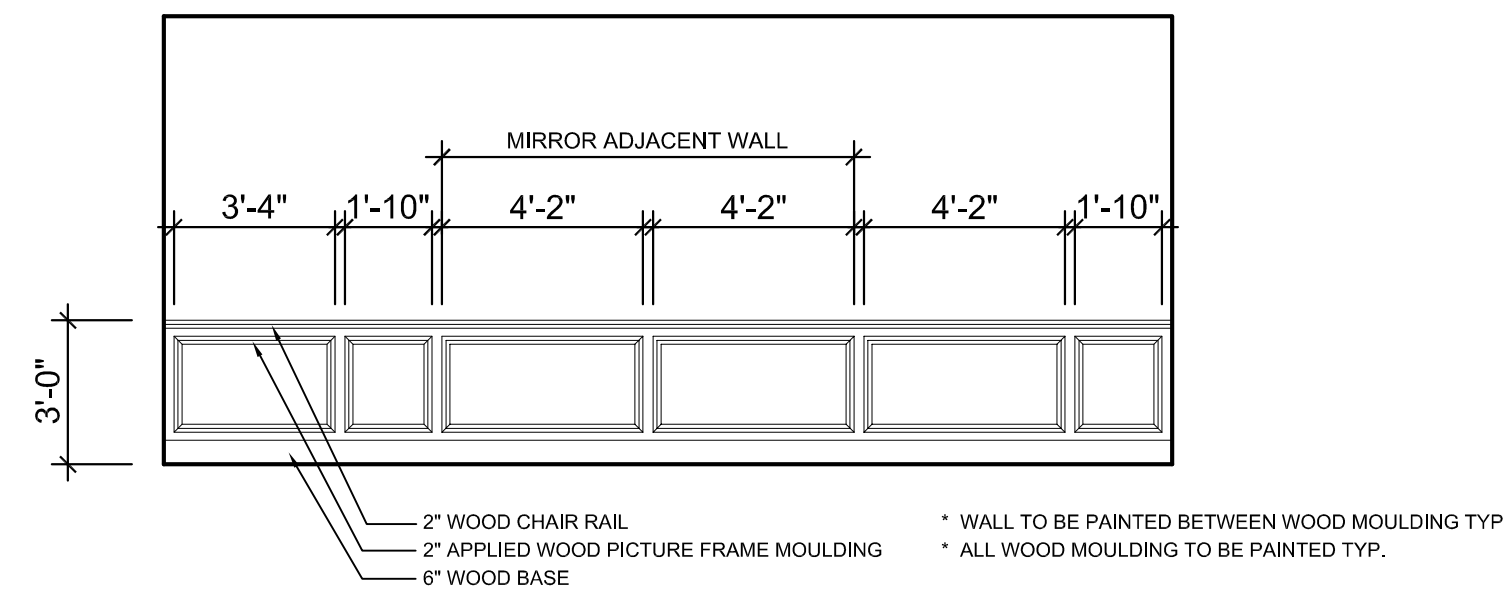
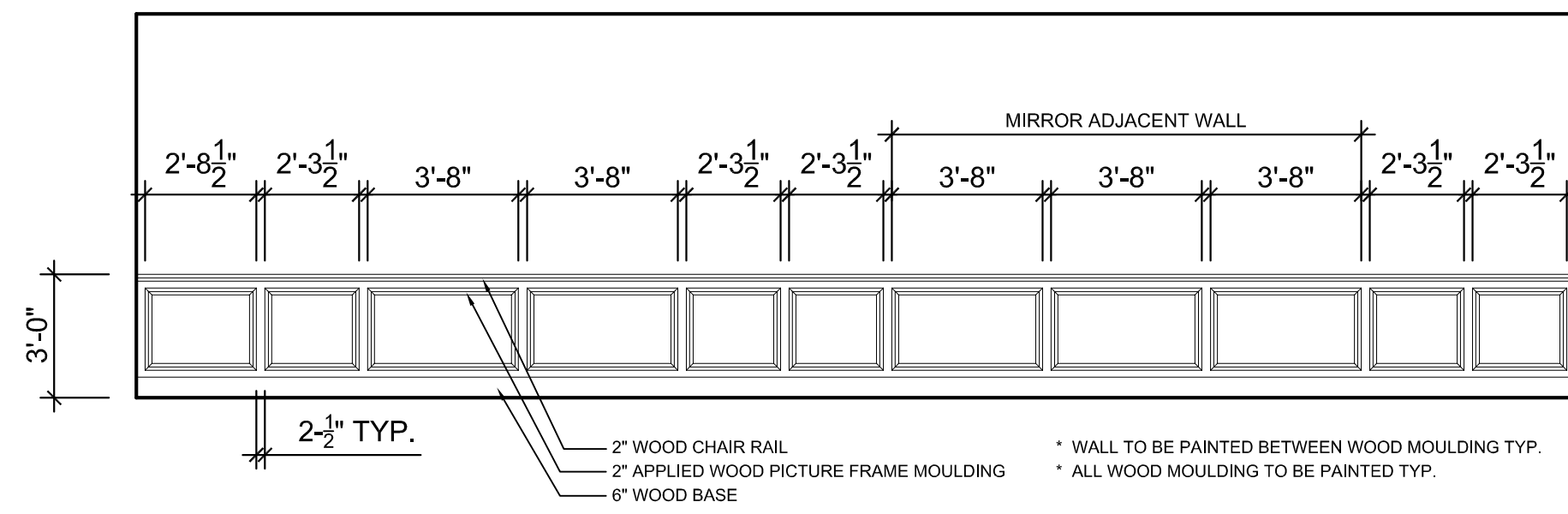
08/17/11

A-5



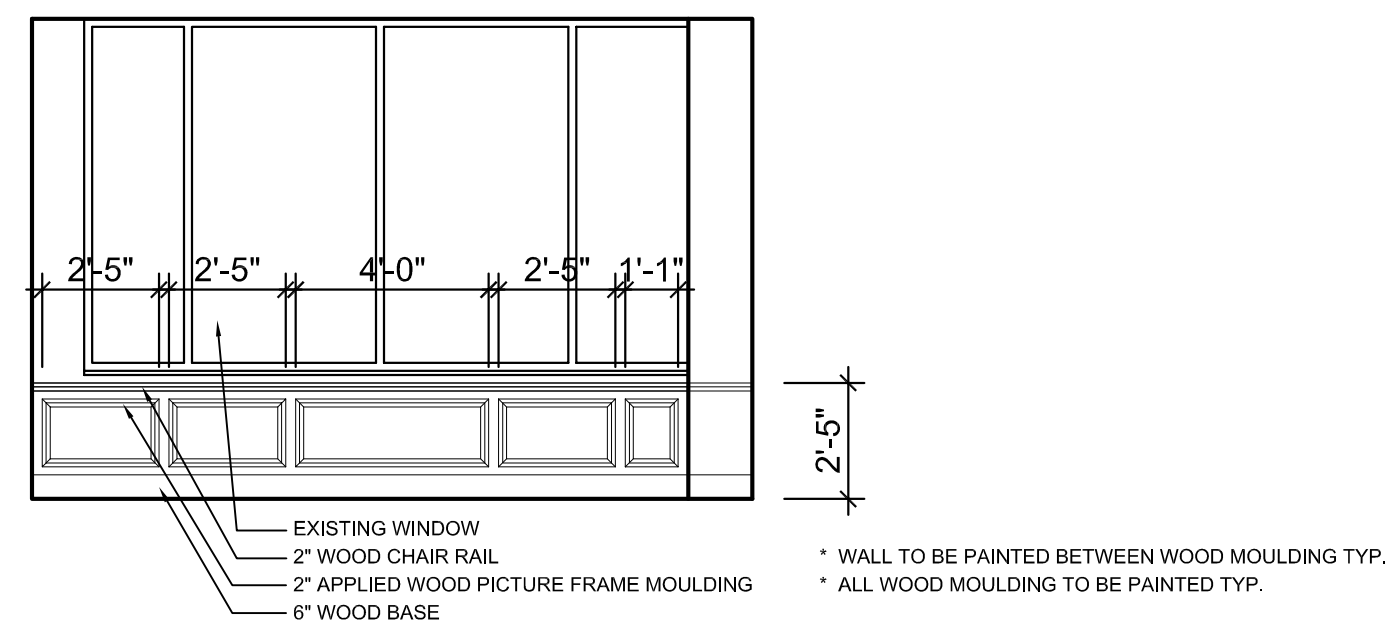
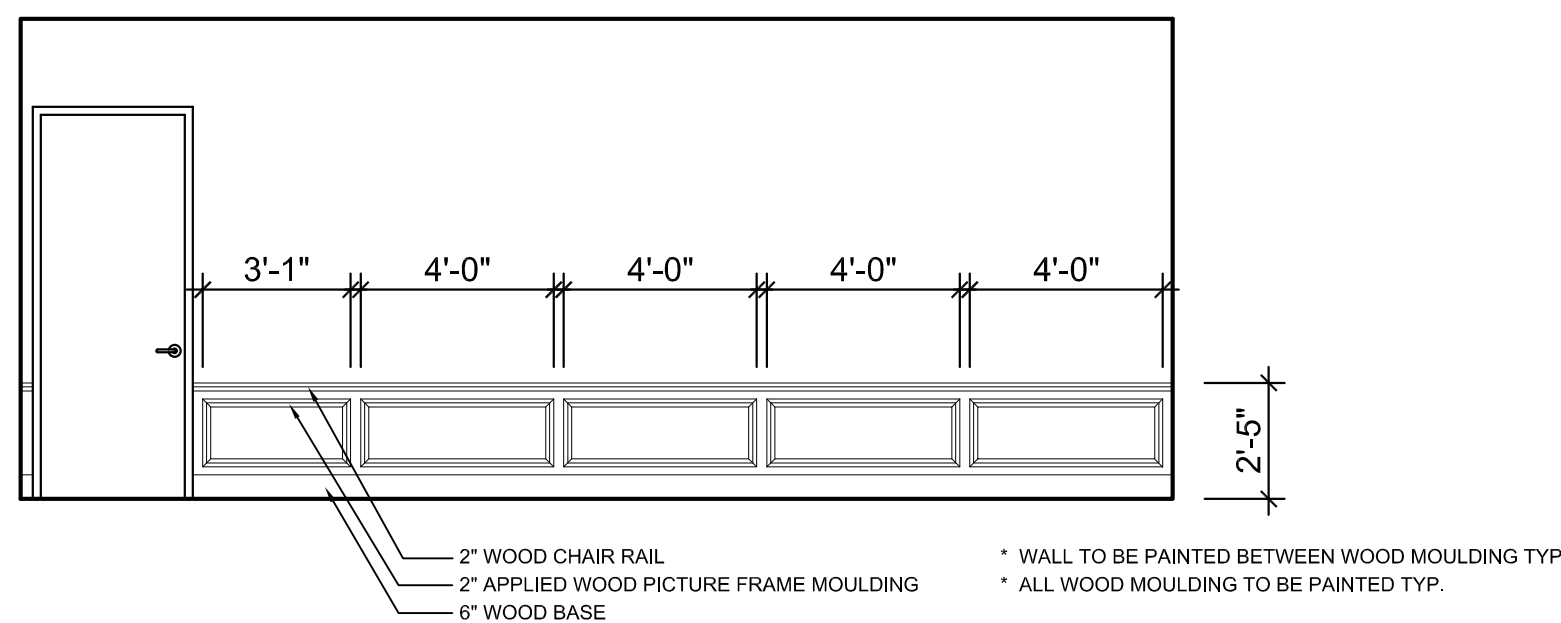
1 INTERIOR ELEVATIONS
1/4" = 1'-0"

3 INTERIOR ELEVATIONS
1/4" = 1'-0"



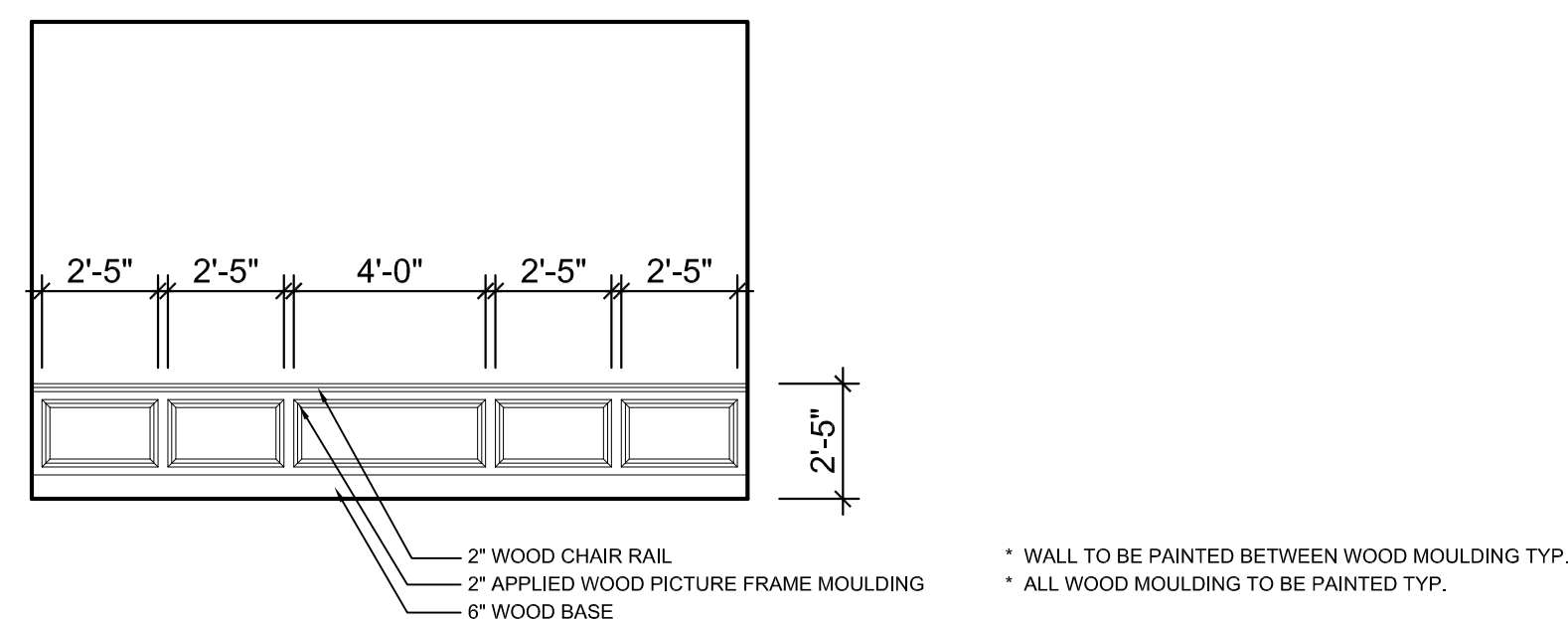
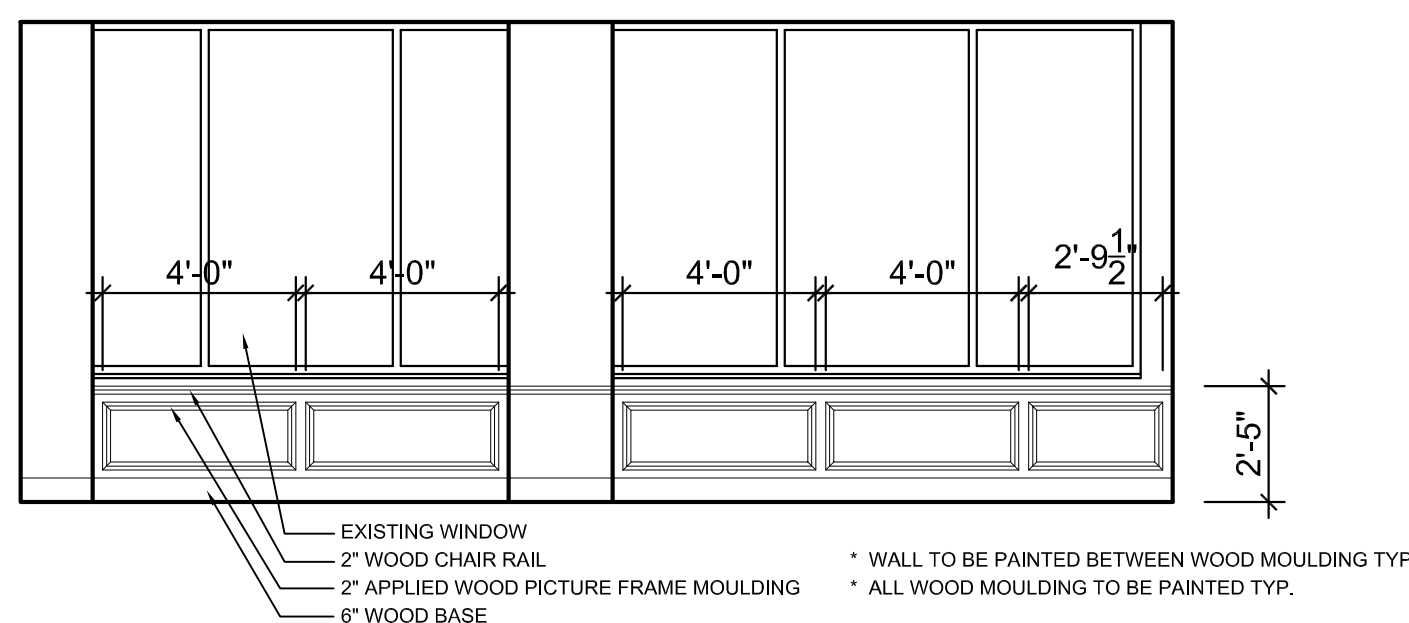
2 INTERIOR ELEVATIONS
1/4" = 1'-0"

4 INTERIOR ELEVATIONS
1/4" = 1'-0"



5 INTERIOR ELEVATIONS
1/4" = 1'-0"

6 INTERIOR ELEVATIONS
1/4" = 1'-0"



7 INTERIOR ELEVATIONS
1/4" = 1'-0"

8 INTERIOR ELEVATIONS
1/4" = 1'-0"

* PROVIDE ALTERNATE PRICING FOR INTERIOR ELEVATIONS ON A-6
* SEE 1/A-5 FOR ELEVATION TARGETS

9 NOTES

REVISIONS

1	
2	
3	
4	
5	

THE DESIGN AND THESE DRAWINGS ARE THE PROPERTY OF BIRSE DESIGN INC. NO PART OF THIS WORK MAY BE REPRODUCED WITHOUT WRITTEN PERMISSION FROM BIRSE DESIGN INC.

DRAWN BY ASB

CD

08/18/11

ABBREVIATIONS

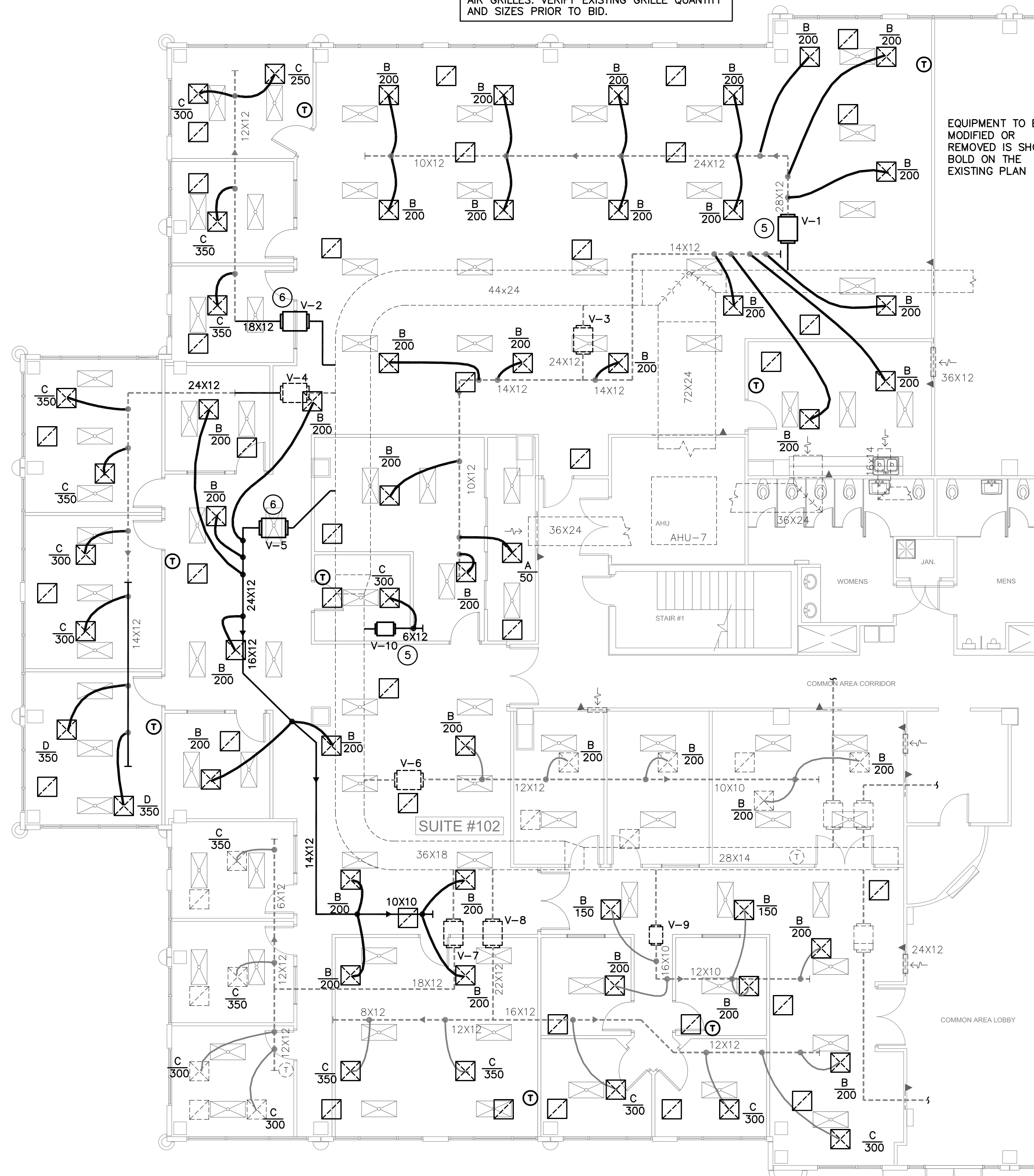
PIU	PARALLEL FAN POWERED VARIABLE AIR VOLUME
VAV	VARIABLE AIR VOLUME
S/A	SUPPLY AIR
R/A	RETURN AIR
O/A	OUTSIDE AIR
E/A	EXHAUST AIR
CFM	CUBIC FEET PER MINUTE.
MVD	MANUAL VOLUME DAMPER (OPPOSED BLADE TYPE).
FD	FIRE DAMPER
AHU	AIR HANDLING UNIT
CU	CONDENSING UNIT
E	EXISTING
R	RE-LOCATE

SYMBOL LEGEND

	VAV TERMINAL UNIT AS NOTED		TYPE B FIRE DAMPER W/ACCESS DOOR.
	EXISTING EQUIPMENT AS NOTED		MANUAL VOLUME DAMPER
	SUPPLY AIR DIFFUSER AS NOTED		THERMOSTAT AS NOTED
	RETURN/TRANSFER GRILLE AS NOTED		FLEXIBLE DUCT, U.L. CLASS 1
	DUCTWORK AS NOTED		CONNECTION TO EXISTING EQUIPMENT
	EXISTING DUCTWORK TO REMAIN		TAKE-OFF WITH VOLUME DAMPER FOR FLEXIBLE DUCT
	DUCT TRANSITION		
	OVERTIME A/C CARD READER		

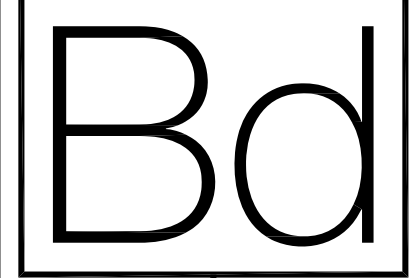
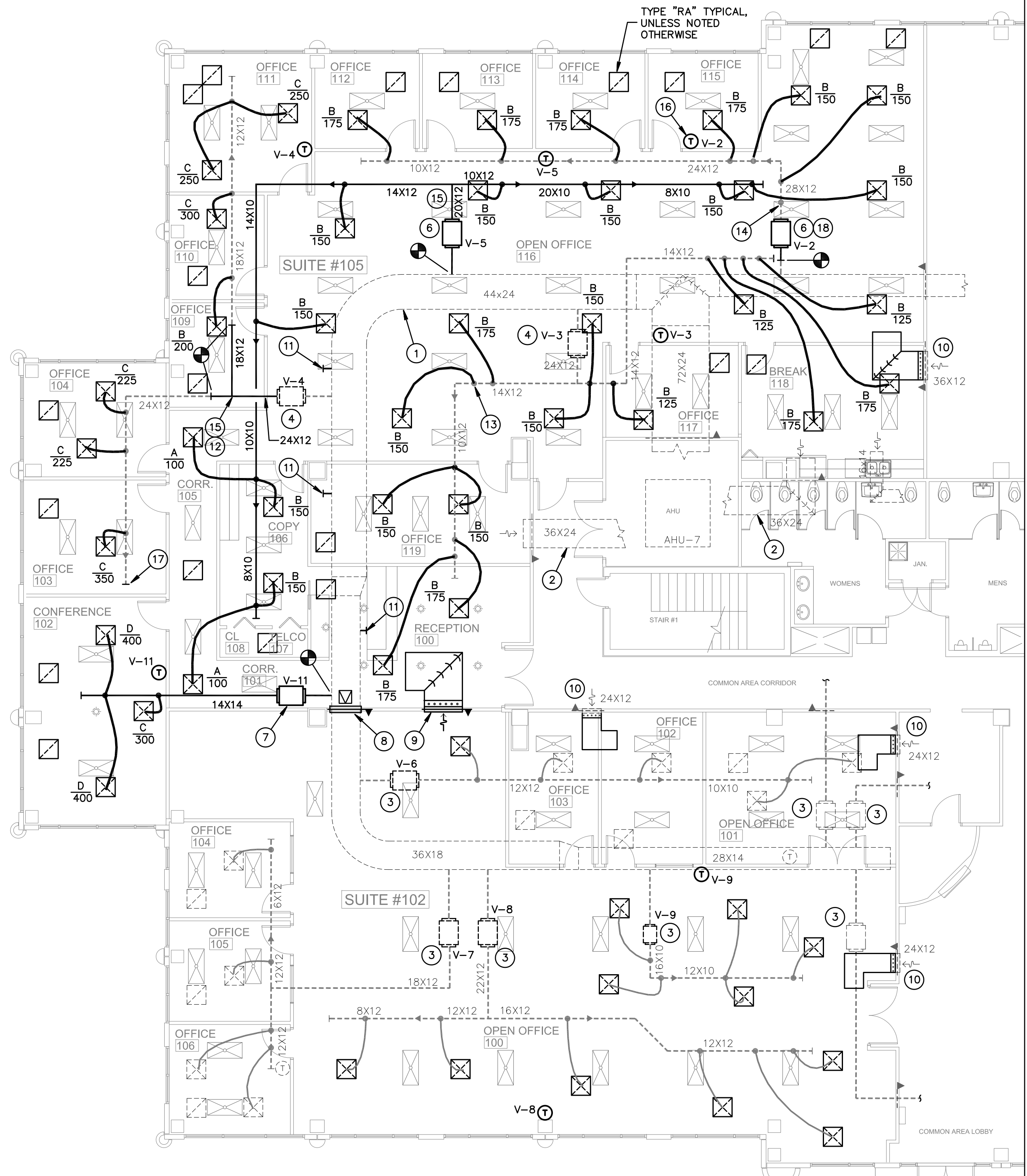
THE CEILING SPACE THROUGHOUT THIS PROJECT IS A RETURN AIR PLENUM. NO COMBUSTIBLE OR TOXIC MATERIALS ARE ALLOWED ABOVE THE CEILING.

COORDINATE WITH OWNER FOR ALTERNATE BID TO RE-USE EXISTING SUPPLY AND RETURN AIR GRILLES. VERIFY EXISTING GRILLE QUANTITY AND SIZES PRIOR TO BID.



DRAWING KEYNOTES:

- EXISTING MAIN SUPPLY AIR DUCT TO REMAIN AS IS.
- EXISTING MAIN RETURN AIR DUCT TO REMAIN AS IS.
- EXISTING TERMINAL BOX TO REMAIN AS IS. (NO WORK)
- EXISTING TERMINAL BOX TO BE RE-BALANCED. ADJUST ALL AIR OUTLETS AND MAXIMUM/MINIMUM CFM OF BOX AS SHOWN.
- EXISTING TERMINAL BOX TO BE REMOVED AND RETURNED TO LANDLORD FOR FUTURE USE.
- EXISTING TERMINAL BOX TO BE REMOVED AND RE-LOCATED.
- NEW TERMINAL BOX - MATCH EXISTING EQUIPMENT, CONTROLS, THERMOSTAT, AND INSTALLATION METHODS.
- PROVIDE STYLE "B" FIRE DAMPER IN NEW TENANT RATED WALL WITH ACCESS PANEL. FIELD VERIFY EXACT SIZE.
- 48X24 RETURN AIR TRANSFER OPENING ABOVE CEILING, WITH FIRE DAMPER, SECURITY BARS AND 1-1/2" FIBERGLAS DUCT.
- EXISTING R/A TRANSFER OPENING ABOVE CEILING, WITH FIRE DAMPER, TO REMAIN. PROVIDE SECURITY BARS AND DUCTBOARD SOUND ATTENUATION BOOT AS SHOWN. (DUCT SIZE TO MATCH OPENING, FIELD VERIFY EXACT SIZE)
- PROVIDE SHEETMETAL CAP, SEAL AND INSULATE OPENING IN MAIN SUPPLY AIR DUCT AFTER REMOVAL OF TERMINAL BOX.
- PROVIDE NEW DUCTS WHERE SHOWN, PROVIDE MODIFICATIONS TO EXISTING DUCTWORK AS REQUIRED (TYPICAL).
- EXISTING FLEXIBLE DUCT TAKE-OFFS MAY BE RE-USED WHERE SIZE MATCHES DIFFUSER NECK SIZE. PROVIDE NEW TAKE-OFFS AS REQUIRED, FIELD VERIFY (TYPICAL).
- CAP ALL UNUSED OPENINGS AND FLEXIBLE DUCT TAKE-OFFS IN EXISTING DUCTS. SEAL AND INSULATE OPENING, MATCH EXISTING MATERIALS AND METHODS. (TYPICAL AS REQUIRED)
- PROVIDE SPLITTER DAMPER WITH TURNING VANES (TYPICAL "T")
- NEW LOCATION OF EXISTING THERMOSTAT (TYPICAL FOR EXISTING TERMINAL BOXES)
- REMOVE EXISTING DUCTWORK DOWNSTREAM OF THIS POINT. SEE EXISTING PLAN.
- CONNECT TO EXISTING INLET AND OUTLET DUCTWORK WITH TRANSITIONS AS REQUIRED. RE-BALANCE SYSTEM AS SHOWN.



birse design inc.

15111 prosperity farms road
suite #100
lake park, fl 33403
phone: 772-403-0001
fax: 772-403-8984
AAG26001615

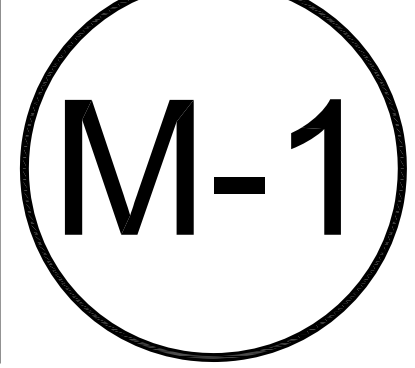
SCHWED

FAIRWAY OFFICE CENTER
7111 FAIRWAY DRIVE #105
PALM BEACH GARDENS, FL 33418
PROJECT NUMBER 711110

REVISIONS

1	
2	
3	
4	
5	

DRAWN BY GD
CD
8/18/11



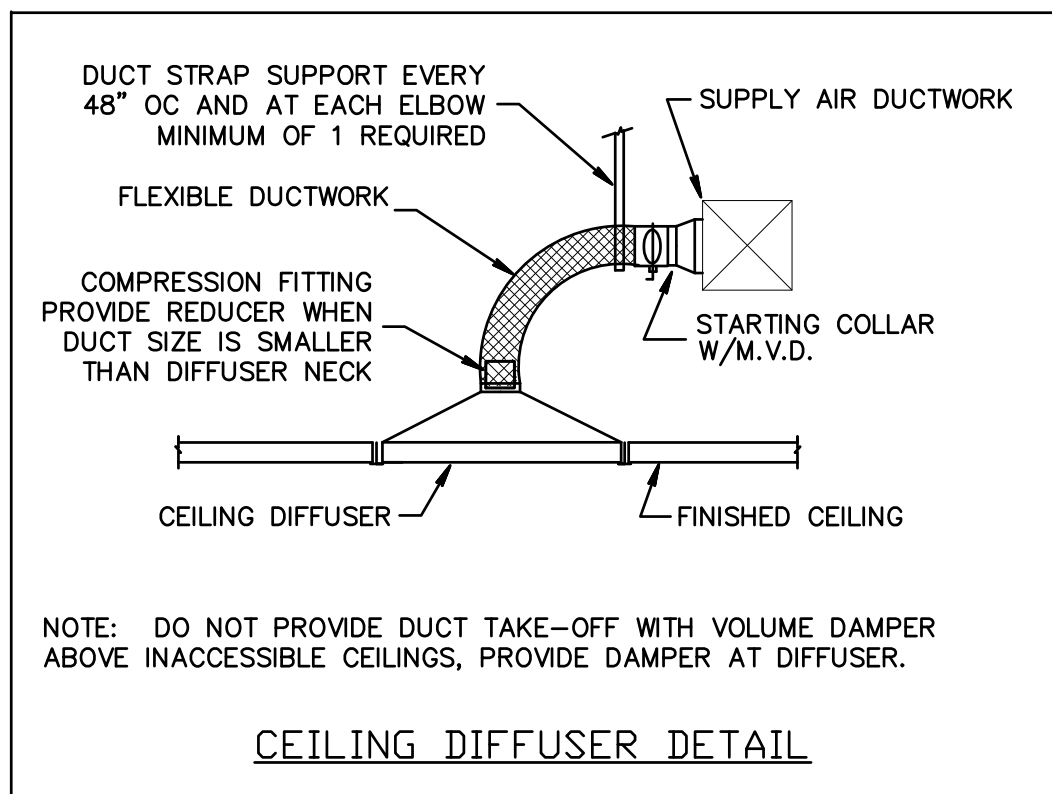
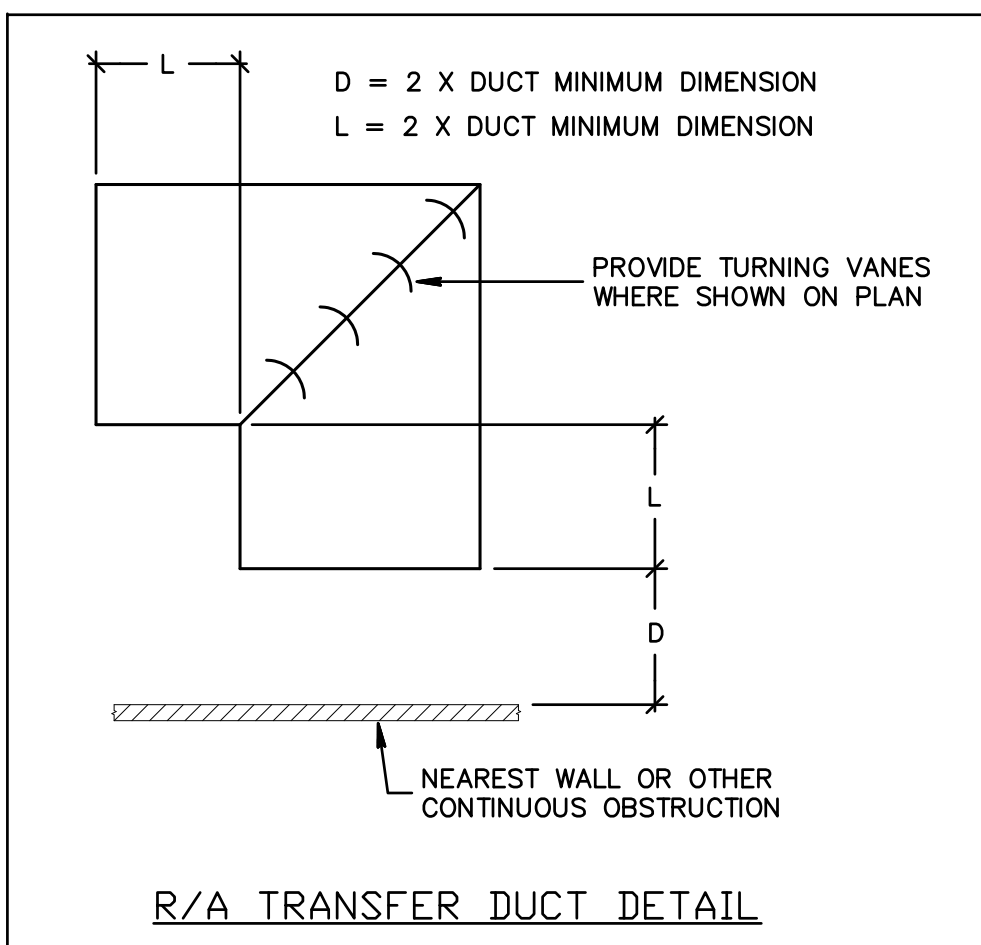
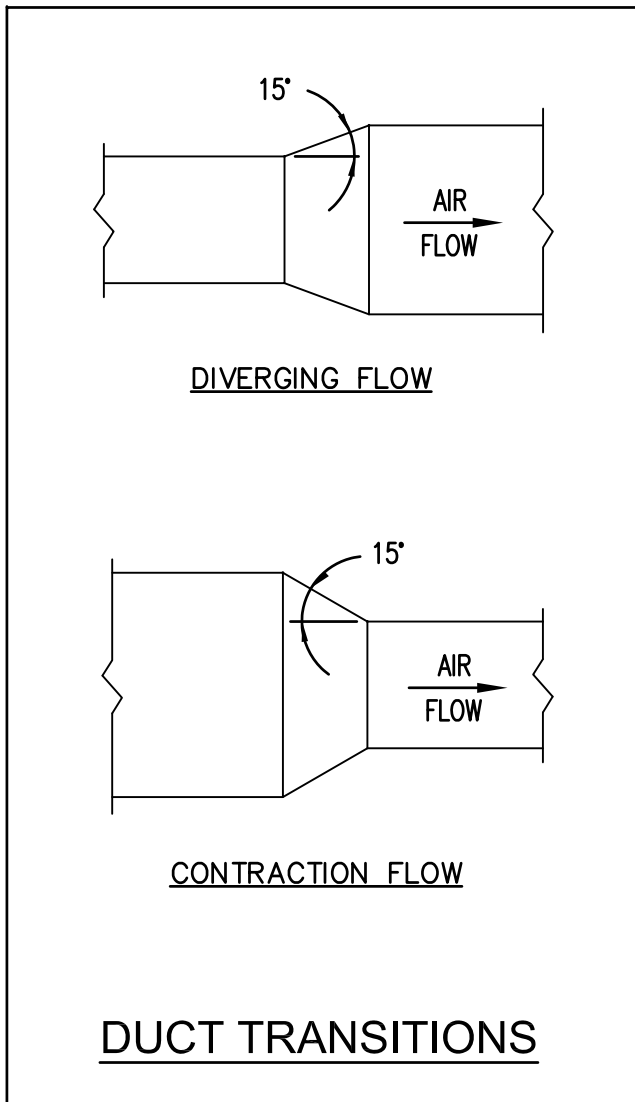
PROJ.# 11-025
Gilman & Associates, Inc.
MECHANICAL & ELECTRICAL ENGINEERS
2500 W. GOLF COURSE BLVD., SUITE 200
LAKE WORTH, FL 33460 P.A. #009078
(561) 582-0210 Fax (561) 582-8212
RONALD D. GILMAN P.E. #37933

MECHANICAL GENERAL NOTES:

- THESE DRAWINGS ARE DIAGRAMMATIC. ALL OFFSETS, FITTINGS, TRANSITIONS AND ACCESSORIES ARE NOT SHOWN. THE CONTRACTOR SHALL INCLUDE IN HIS BID ALL ITEMS REQUIRED TO PROVIDE A COMPLETE AND OPERATIONAL SYSTEM. DO NOT SCALE DRAWINGS FOR INSTALLATION.
- ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER BY LICENSED CONTRACTORS.
- THE CONTRACTOR SHALL OBTAIN AT HIS EXPENSE ALL NECESSARY FEES PERMITS, AND TESTS.
- ALL WORK SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES. NO CONTRACTOR SHALL BID UNLESS FAMILIAR WITH THESE CODES.
- CORRECTION OF DEFECTS TO THIS WORK SHALL BE MADE PROMPTLY WITHOUT CHARGE TO THE OWNER. REPAIR AND REPLACEMENT FOR DAMAGE CAUSED BY THIS CONTRACTOR SHALL BE MADE PROMPTLY WITHOUT CHARGE TO THE OWNER.
- ALL WORK OF THIS TRADE SHALL BE COORDINATED WITH ALL OTHER TRADES TO AVOID ANY INTERFERENCES THAT MAY DELAY PROGRESS OF CONSTRUCTION.
- THE CONTRACTOR SHALL INCLUDE THE WORK OF ALL REQUIRED SUB-CONTRACTORS, SUCH AS ELECTRICAL, INSULATING, TEST & BALANCE, ETC., AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM.
- EQUIPMENT SHALL BEAR A U.L. OR OTHER RECOGNIZED LABEL, NAMEPLATES, WIRING DIAGRAMS, AND ENERGY RATINGS AS APPLICABLE.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND ACCESSORIES TO BE READILY ACCESSIBLE FOR SERVICING, TESTING, BALANCING, AND REPLACEMENT.
- THE CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE AGAINST DEFECTS IN ALL MATERIALS AND WORKMANSHIP FOR ONE YEAR FROM ACCEPTANCE, WITH FOUR ADDITIONAL YEARS OF WARRANTY ON COMPRESSORS.
- THE CONTRACTOR SHALL PROVIDE THREE COPIES OF SUBMITTAL DATA, SHOP DRAWINGS, AND AT COMPLETION OF THE PROJECT TWO SETS OF OPERATION AND MAINTENANCE MANUALS FOR ALL PROJECT ITEMS.
- PROVIDE ALL CONTROLS, STARTERS, CONTROL WIRING, DISCONNECTS, AND OTHER ELECTRICAL EQUIPMENT AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM.
- THE HVAC CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, ON SITE, A DETAILED AS-BUILT PLAN SHOWING ACTUAL INSTALLATIONS. THE CONTRACTOR IS TO PROVIDE A NEATLY DRAWN COMPREHENSIVE AS-BUILT SET OF PLANS UPON COMPLETION, WHICH ARE SUITABLE FOR SUBMISSION TO THE BUILDING DEPARTMENT AND TO THE OWNER.
- PRIOR TO ACCEPTANCE BY THE OWNER THE SYSTEMS SHALL BE TESTED AND BALANCED BY THE CONTRACTOR. PROVIDE A WRITTEN REPORT.
- SUPPLY AND INSTALL DUCT MOUNTED SMOKE DETECTORS AS REQUIRED.
- COORDINATE LOCATION OF CEILING DIFFUSERS, GRILLES AND REGISTERS IN THE FIELD WITH LIGHTS AND ARCHITECTURAL ELEMENTS.
- ALL GRILLES TO BE TITUS OR METALLAIRE UNLESS OTHERWISE NOTED, SIZES AS SHOWN ON PLANS, ALUMINUM CONSTRUCTION.
- ALL DUCT WORK SHALL BE BUILT AND INSTALLED IN ACCORDANCE WITH SMACNA STANDARDS AND LOCAL BUILDING CODES.
- ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS.
- ALL OUTSIDE AIR DUCTWORK SHALL BE SHEETMETAL WITH EXTERIOR R-6 INSULATION. PROVIDE BLANKET TYPE INSULATION IN CONCEALED SPACES, AND BOARD TYPE IN EXPOSED AREAS.
- ALL EXHAUST AIR DUCT SHALL BE GALVANIZED SHEET METAL CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH ASHRAE AND SMACNA STANDARDS.
- FLEXIBLE DUCT, WHERE SHOWN, SHALL BE U.L. CLASS 1, R-6 INSULATION.
- LOW PRESSURE SUPPLY AND RETURN RECTANGULAR DUCTWORK IS RIGID DUCTBOARD, 1 IN. THICK, R-4.2 INSULATION.
- PROVIDE ELBOW TURNING VANES IN ALL RECTANGULAR DUCTS WHERE TURNS ARE GREATER THAN 45 DEGREES.
- PROVIDE BACKDRAFT DAMPERS FOR ALL EXHAUST FANS.
- VERIFY ALL THERMOSTAT LOCATIONS WITH THE LANDLORD.
- CONDENSATE DRAIN PIPING SHALL BE ABOVE GRADE COPPER DRAIN, WASTE AND VENT FITTINGS. INSULATE ALL CONDENSATE PIPING W/3/4" IMCOA IMCOLOCK PIPE INSULATION.

GENERAL DEMOLITION NOTES

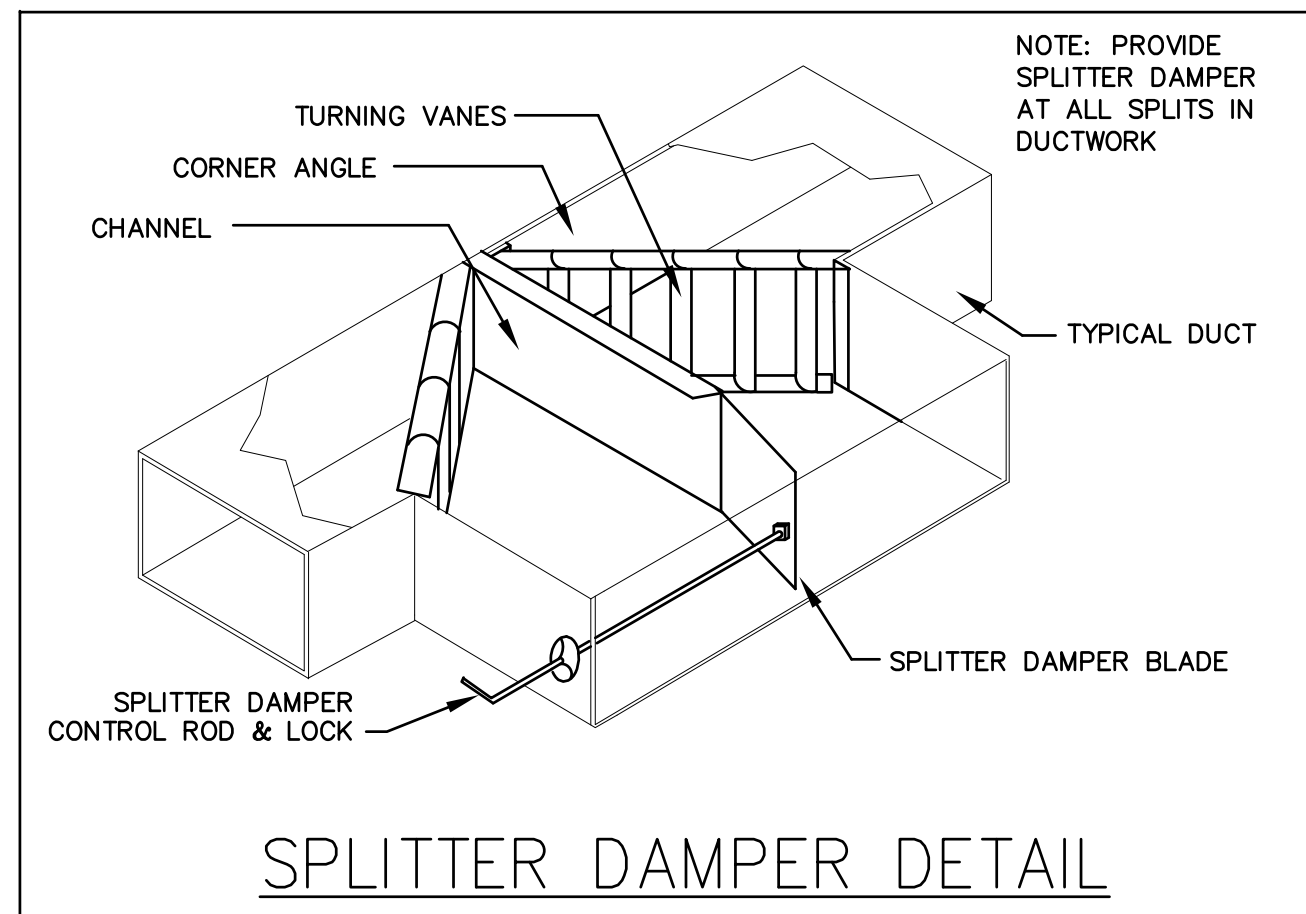
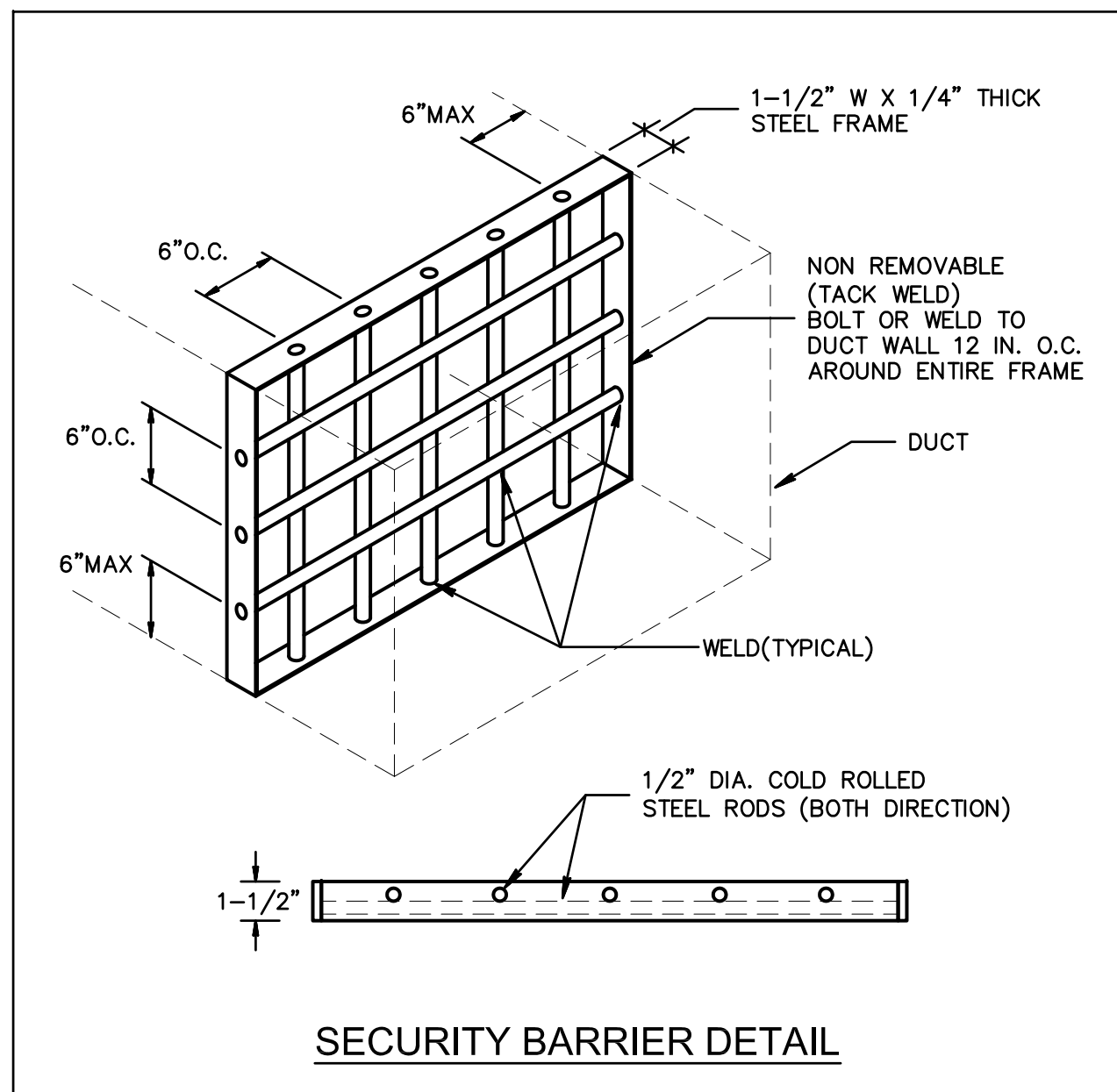
- UNLESS OTHERWISE NOTED, ALL EQUIPMENT AND DUCTWORK IN THE PROJECT AREA WHICH IS NOT INDICATED TO REMAIN, IS TO BE REMOVED. THE CONTRACTOR SHALL INVESTIGATE THE PROJECT AREA PRIOR TO BID TO DETERMINE ALL REQUIRED DEMOLITION.
- EXISTING CONDITIONS SHOWN ON THIS DRAWING ARE TAKEN FROM ORIGINAL DRAWINGS AND FIELD INVESTIGATION. ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO BID. FIELD CONDITIONS SHALL GOVERN.
- DEMOLITION WORK IS NOT SPECIFICALLY IDENTIFIED ON THESE PLANS, AND MAY BE DESCRIBED ON THE ARCHITECTS PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED DEMOLITION WHETHER SHOWN ON THE PLANS OR NOT.
- ALL MECHANICAL SYSTEMS SERVING OTHER SPACES OR FLOORS, THAT RUN THROUGH THE PROJECT AREA SHALL REMAIN ACTIVE DURING CONSTRUCTION, SO AS NOT TO CAUSE ANY DISRUPTION TO THESE OTHER SPACES.
- ALL ITEMS REMOVED UNDER THIS PROJECT SHALL BE DISPOSED OF OR TURNED OVER TO THE OWNER AT THE OWNER'S DISCRETION.
- PROPERLY REMOVE AND DISPOSE OF ALL HVAC DUCTWORK AND AIR DISTRIBUTION DEVICES WHICH ARE TO BE REMOVED. CONSULT WITH OWNER AND OBTAIN THE OWNER'S APPROVAL PRIOR TO DISPOSAL OF REMOVED MATERIAL.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL PIPING AND DUCTS, NEW OR EXISTING, WITHIN THE PROJECT AREA, ARE PROPERLY SUPPORTED.
- ALL OCCUPIED SPACES ARE TO REMAIN OPERATIONAL DURING BUSINESS HOURS THROUGHOUT THE DEMOLITION AND CONSTRUCTION PERIOD. COORDINATE ALL WORK AS DESCRIBED IN THE ARCHITECTS DOCUMENTS.



HVAC CONTROLS NOTE

AIR CONDITIONING CONTRACTOR SHALL PROVIDE OR CAUSE TO BE PROVIDED ALL CONTROLS, CONTROL WIRING & CONDUIT, POWER WIRING & CONDUIT, AND ALL OTHER ITEMS NECESSARY FOR INSTALLATION AND CONTROL OF VARIABLE AIR VOLUME TERMINAL UNITS. IN ADDITION CONTRACTOR SHALL PROVIDE INTERFACE WITH THE EXISTING EMS SYSTEM COMPUTER GRAPHICALLY DEPICTING MECHANICAL LAYOUT WITH ON SCREEN DISPLAYS THAT ARE CONTROLLED BY THE EXISTING STAEFA MS-1800 ENERGY MANAGEMENT SYSTEM (EMS). PROGRAMMING IS TO ALSO INCLUDE INTERFACE TO EXISTING PROGRAM DESIGNED TO CALCULATE TENANT OVERTIME USAGE OF THE AIR CONDITIONING SYSTEM. CONTACT BUILDING CONTROLS SERVICE CONTRACTOR THERMAL CONCEPTS AT 1-800-953-2503 (NEIL CAPORALE) FOR SPECIFICATIONS AND DETAILS. A COMPLETE AND OPERATIONAL CONTROL SYSTEM IS TO BE PROVIDED FOR THE ENTIRE TENANT SPACE. VERIFY WITH THERMAL CONCEPTS, ANY ADDITIONAL DETAILS WHICH MUST BE INCLUDED, PRIOR TO BID.

CONTRACTOR IS TO PROVIDE CONTROLS AS NOTED ABOVE FOR ALL VAV TERMINAL BOXES SHOWN ON THESE PLANS, INCLUDING ANY EXISTING BOXES.



AIR DISTRIBUTION SCHEDULE

MARK	MAKE	MODEL	SIZE	NECK	MATERIAL	BORDER TYPE	MOUNTING TYPE	DAMPER	THROW	FINISH	REMARKS
A	TITUS	PAS-AA	24X24	6"φ	ALUMINUM	3	LAY-IN	AG-100	4 WAY	WHITE	SEE NOTES
B	TITUS	PAS-AA	24X24	8"φ	ALUMINUM	3	LAY-IN	AG-100	4 WAY	WHITE	SEE NOTES
C	TITUS	PAS-AA	24X24	10"φ	ALUMINUM	3	LAY-IN	AG-100	4 WAY	WHITE	SEE NOTES
D	TITUS	PAS-AA	24X24	12"φ	ALUMINUM	3	LAY-IN	AG-100	4 WAY	WHITE	SEE NOTES
RA	TITUS	PAR-AA	24X24	22X22	ALUMINUM	3	LAY-IN	-	-	WHITE	SEE NOTES

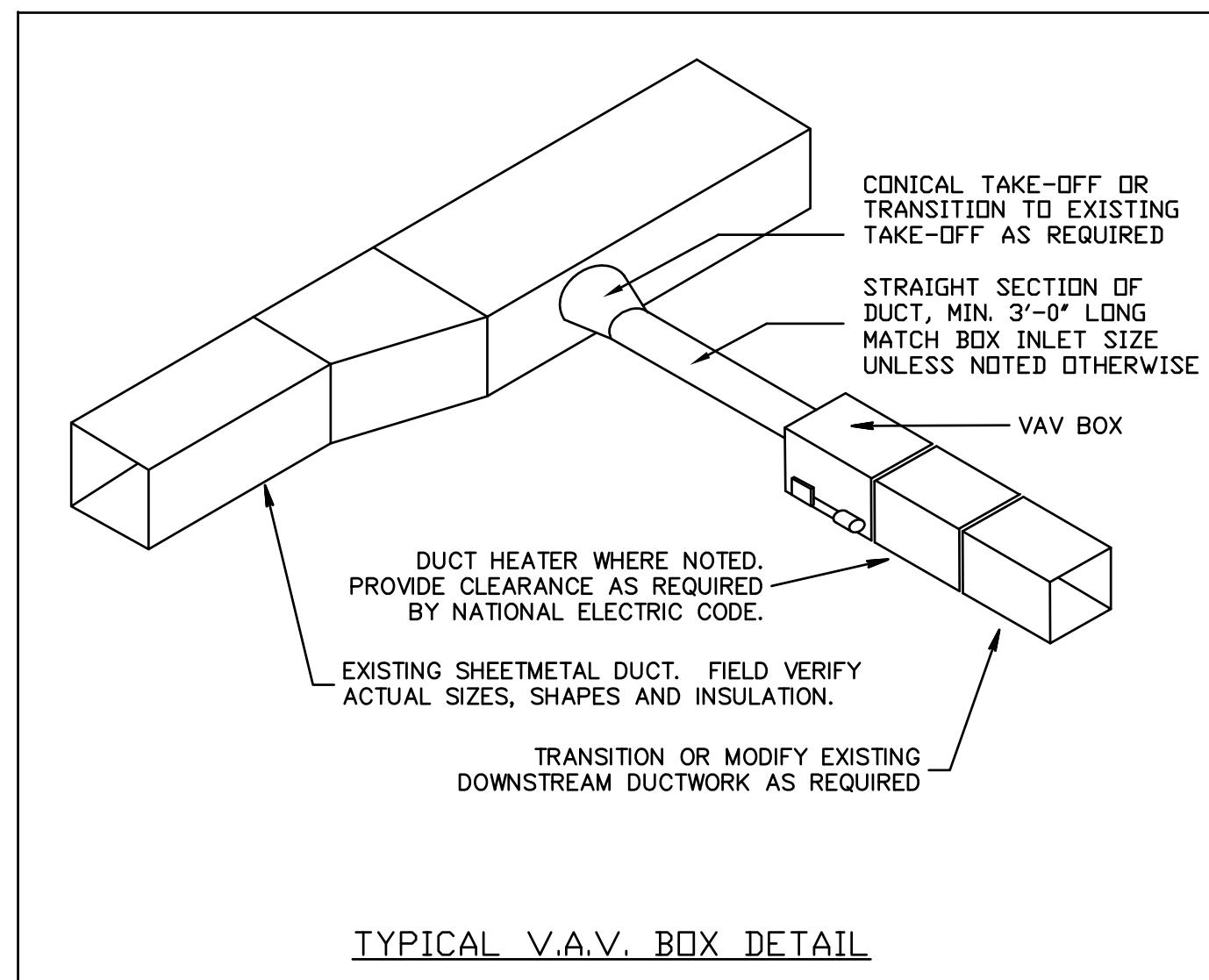
PROVIDE SAMPLE WITH OFF-WHITE FINISH TO ARCHITECT FOR APPROVAL. PROVIDE ROUND FLEXIBLE DUCT RUN-OUT SIZED TO MATCH S/A DIFFUSER NECK UNLESS NOTED OTHERWISE. PROVIDE PLENUM BOX ABOVE SUPPLY AND RETURN AIR GRILLES AS REQUIRED FOR DUCT CONNECTIONS. MINIMUM BOX HEIGHT IS 1/2 OF NECK WIDTH. PROVIDE DAMPERS ONLY WHERE DUCT TAKE-OFF DAMPER IS NOT ACCESSIBLE.

VAV SCHEDULE

MARK	MANUF.	MODEL NO.	INLET SIZE	CFM MAX	CFM MIN	HEAT		VOLT-PH-HZ	REMARKS
						KW	STEP		
V-2	TITUS	DESV	10	1000	300	3	1	208-1-60	NOTE 7
V-3	TITUS	DESV	12	2000	700	-	-	120-1-60	NOTE 7
V-4	TITUS	DESV	12	1800	500	4	1	208-1-60	NOTE 7
V-5	TITUS	DESV	12	1400	500	-	-	120-1-60	NOTE 7
V-11	TITUS	DESV	10	1100	400	3	1	208-1-60	NOTES 1 THRU 6

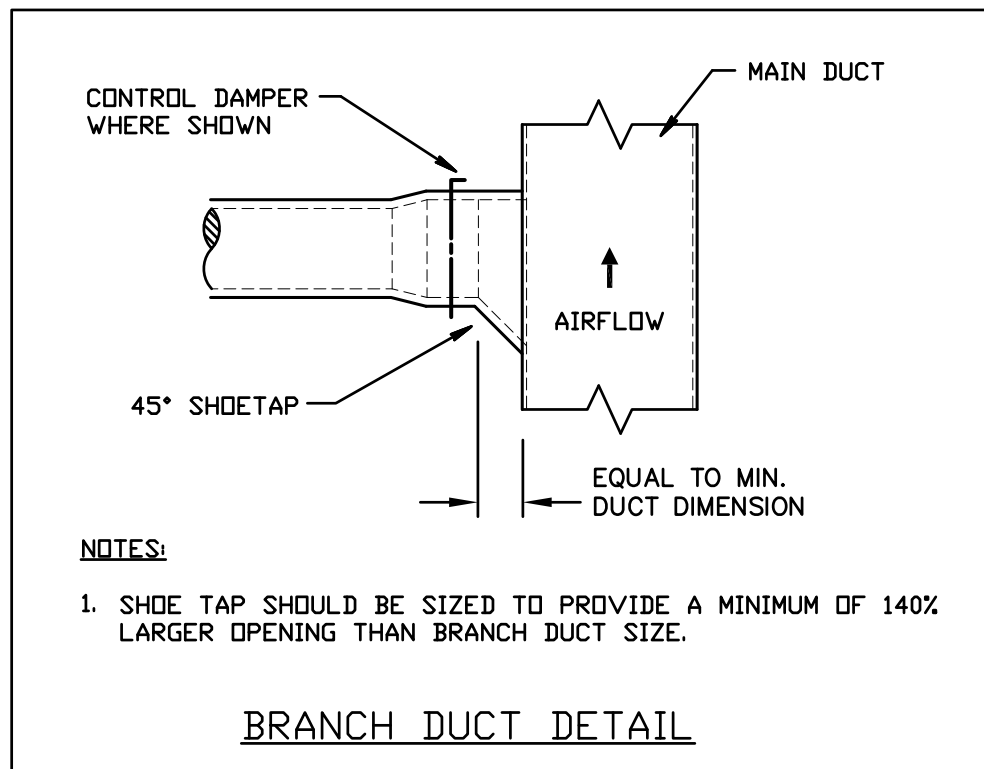
- PROVIDE ROOM TEMPERATURE SENSOR WITH EXTERNAL SET POINT ADJUSTMENT.
- PROVIDE FACTORY MOUNTED STAEFA DDC CONTROLLER.
- WITH OUTLET CONFIGURATION AS REQUIRED, COORDINATED BY CONTRACTOR.
- TRANSITION FROM INLET SIZE TO SUPPLY DUCT SIZE AS SHOWN ON FLOOR PLANS.
- WITH OPTIONAL 1" THICK MATT FACED INSULATION WITH IAQ FOIL FACE.
- WITH FACTORY 1 STAGE HEATER, WITH COMPLETE CONTROLS, MERCURY CONTACTORS, AND INTERLOCKING DOOR DISCONNECT SWITCH, U.L. LISTED AND LABELED.
- EXISTING UNIT TO REMAIN, RE-BALANCE AS INDICATED.

PRIOR TO BID, CONTRACTOR IS TO VERIFY WITH OWNER IF THERE ARE ANY EXISTING SPARE VAV TERMINAL BOXES WHICH MAY BE RE-USED IN PLACE OF NEW BOXES SHOWN IN SCHEDULE ABOVE.



HVAC PROJECT SPECIFIC NOTES

CONTRACTOR IS TO INSPECT ALL EXISTING DUCTWORK SHOWN ON THESE PLANS AS REMAINING. REPAIR AS REQUIRED ANY DAMAGED DUCTWORK OR INSULATION. WHERE DUCTWORK IS SHOWN TO BE PARTIALLY REMOVED, CAP, SEAL, AND INSULATE TO MATCH EXISTING METHODS AND MATERIALS. EXISTING VAV UNITS WHICH ARE REMAINING ARE TO BE INSPECTED, ADJUSTED AND REPAIRED WHERE NECESSARY.



Bd

birse design inc.

15111 prosperity farms road
suite #100
lake park, fl 33403
phone: 772-406-9884
fax: 772-406-9884
AAG26001615

SCHWED

FAIRWAY OFFICE CENTER
7111 FAIRWAY DRIVE #105
PALM BEACH GARDENS, FL 33418

PROJECT NUMBER 711110

REVISIONS

1	
2	
3	
4	
5	

THIS DRAWING AND THESE DRAWINGS ARE THE PROPERTY OF BIRSE DESIGN INC. ANY PART OF THIS DRAWING TO BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION FROM BIRSE DESIGN INC.

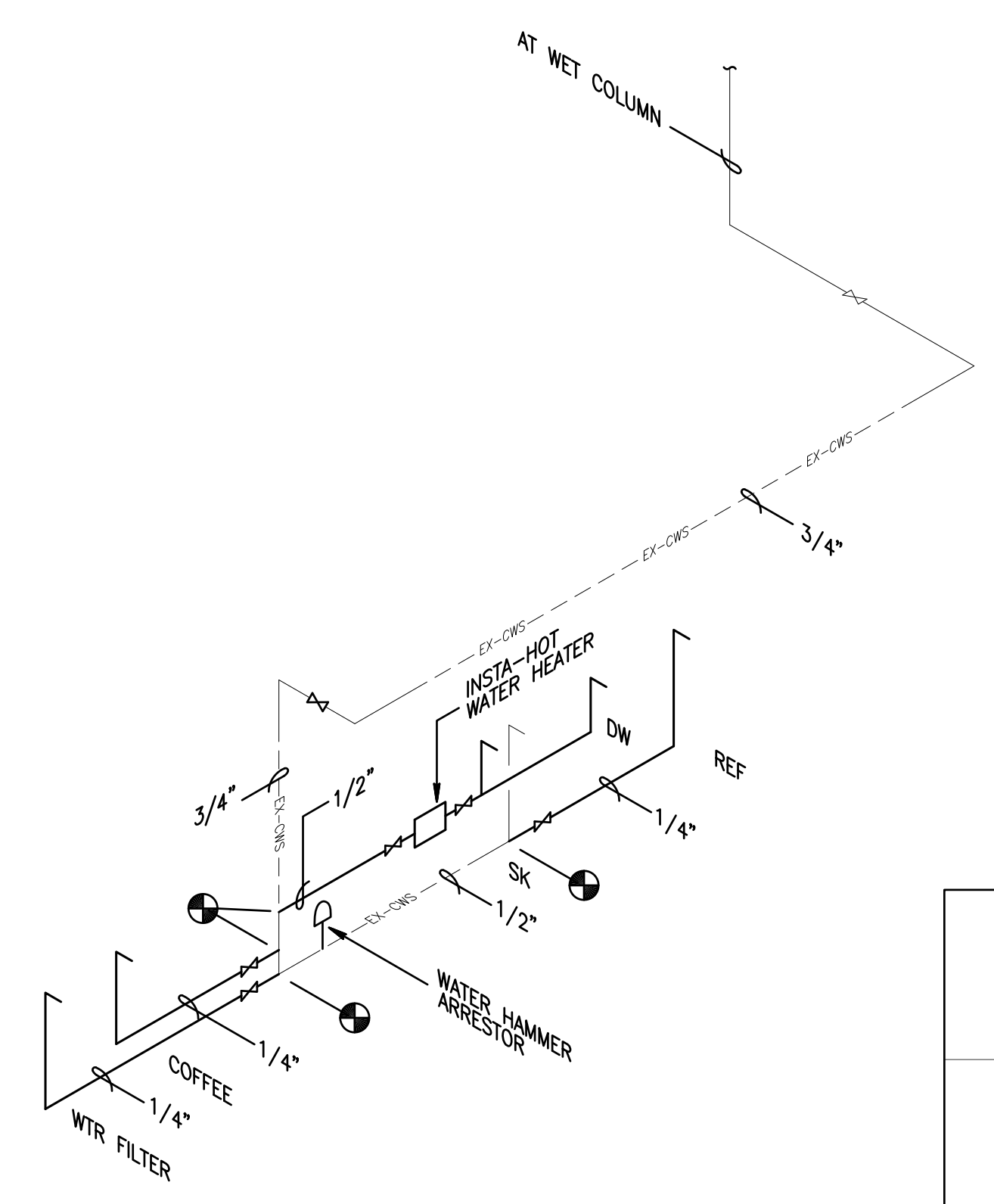
DRAWN BY GD

CD

8/18/11

M-2

PROJ.# 11-025
Gilman & Associates, Inc.
MECHANICAL & ELECTRICAL ENGINEERS
1555 S.W. 10TH AVE., SUITE 100
LAKE WORTH, FL 33460 CA# 009078
(561) 582-0210 Fax (561) 582-8212
RONALD D. GILMAN P.E. #370383



WATER ISOMETRIC

DRAWING KEYNOTES:

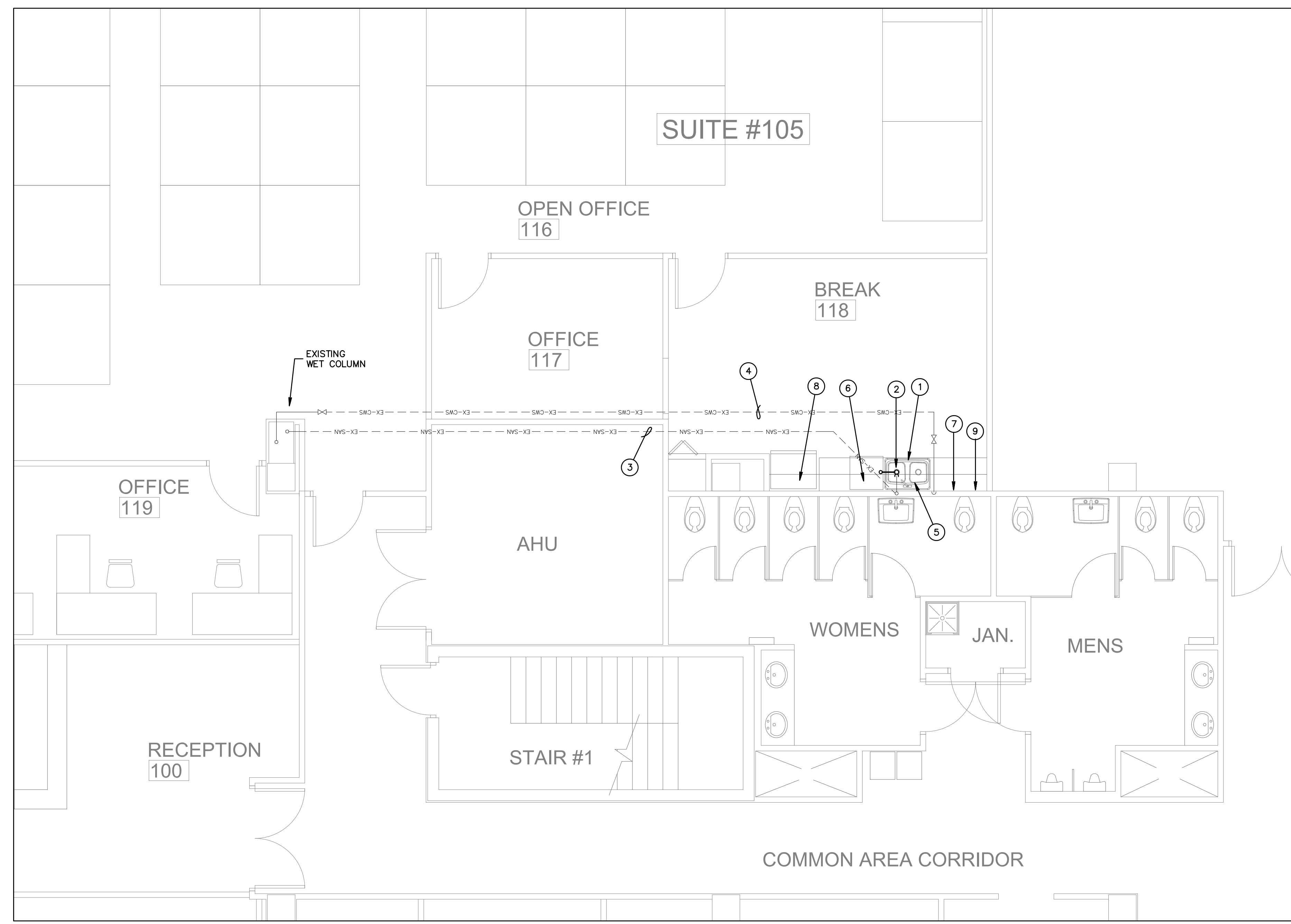
- 1 EXISTING SINK TO REMAIN.
- 2 MODIFY SINK TRAP AS REQUIRED FOR DISHWASHER DRAIN.
- 3 EXISTING SANITARY PIPING TO REMAIN AS IS.
- 4 EXISTING WATER PIPING ABOVE CEILING TO REMAIN AS IS.
- 5 PROVIDE 8.3 KW 208 VOLT INSTA-HOT WATER HEATER IN CABINET BELOW SINK. PROVIDE FLEXIBLE DRAIN CONNECTION TO SINK DRAIN.
- 6 PROVIDE HW SUPPLY FOR DISHWASHER, WITH SOV IN CABINET BELOW SINK. PROVIDE FLEXIBLE DRAIN CONNECTION TO SINK DRAIN.
- 7 PROVIDE 1/4" CW SUPPLY FOR COFFEE MAKER, WITH SOV IN CABINET BELOW SINK. PROVIDE 10' OF SOFT COPPER TUBING COILED INSIDE CABINET AT THIS LOCATION FOR FUTURE CONNECTION BY TENANT.
- 8 PROVIDE 1/4" CW SUPPLY FOR REFRIGERATOR ICE MAKER, WITH SOV IN CABINET BELOW SINK. PROVIDE 10' OF SOFT COPPER TUBING COILED AT REFRIGERATOR LOCATION FOR CONNECTION BY TENANT.
- 9 PROVIDE 1/4" CW SUPPLY FOR WATER FILTER, WITH SOV IN CABINET BELOW SINK. PROVIDE 10' OF SOFT COPPER TUBING COILED INSIDE CABINET AT THIS LOCATION FOR FUTURE CONNECTION BY TENANT.

SYMBOLS & ABBREVIATIONS

	CONDENSATE LINE	CD
	HOT WATER PIPE	HW
	COLD WATER PIPE	CW
	GATE VALVE (SHUT-OFF VALVE)	SOV
	SANITARY LINE	SAN
	VENT LINE	
	EXISTING SANITARY LINE	
	EXISTING COLD WATER SUPPLY LINE	
	WATER HAMMER ARRESTOR	WHA
	CONNECTION TO EXISTING SYSTEMS	
	SINK	SK
	REFRIGERATOR	REF
	DISHWASHER	DW

PLUMBING GENERAL NOTES:

1. ALL WORKMANSHIP AND MATERIAL SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE LOCAL CODES, RULES AND ORDINANCES.
2. CONTRACTOR SHALL VISIT THE JOB SITE AND THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS.
3. ALL MATERIAL SHALL BE NEW.
4. ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE.
5. NO COMBUSTIBLE MATERIAL TO BE USED IN MECHANICAL ROOMS OR IN CEILING SPACES WHERE USED AS RETURN AIR PLENUMS.
6. REQUIRED INSURANCE SHALL BE PROVIDED BY THE CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF WORK.
7. CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTION & TESTS.
8. DRAWINGS ARE DIAGRAMMATIC. DO NOT SCALE FOR THE EXACT LOCATION OF FIXTURES, PIPING, EQUIPMENT, ETC.
9. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION. REPORT ANY DISCREPANCY TO ENGINEER/ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.
10. VERIFY LOCATION, SIZE, AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ADVISE ENGINEER OF ANY DISCREPANCIES.
11. WATER PIPING SHALL BE TYPE "L" COPPER.
12. SOIL, WASTE, VENT AND STORM DRAIN PIPING SHALL BE CAST IRON NO HUB 301-72 ABOVE GRADE AND SCH. 40 PVC BELOW GRADE.
13. FURNISH AND INSTALL APPROVED SHOCK ARRESTORS AT EACH PLUMBING FIXTURE GROUP AND AT QUICK CLOSING VALVES.
14. INSULATE PER A.D.A. ALL EXPOSED HANDICAP LAVATORIES DRAIN PIPING AND HOT & COLD STOP AND SUPPLIES. COVERS SHALL BE SOFT, REMOVABLE AND UPC APPROVED. MANUFACTURE: PLUMBEREX HANDY-SHIELD, TRU-BRO OR PRO-SERIES.
15. ALL FIXTURES MUST BE PROVIDED WITH READILY ACCESSIBLE STOPS & APPROPRIATELY MARKED ACCESS PANELS. COORDINATE LOCATIONS WITH GENERAL CONTRACTOR PRIOR TO INSTALLATION.
16. PROVIDE CHROME PLATED COMBINATION COVER PLATE & CLEANOUT PLUG OR ACCESS PANEL FOR ALL WALL CLEANOUTS ZURN ZS-1469 SERIES C.O. OR OTHER APPROVED ACCESS PANEL.
17. DIELECTRIC COUPLINGS ARE REQUIRED BETWEEN ALL DISSIMILAR METAL IN PIPING AND EQUIPMENT CONNECTIONS.
18. ISOLATE COPPER PIPE FROM HANGER OR SUPPORTS WITH ISOLATOR PAD. (HAIR FELT LINING).
19. ALL FIRE RATED FLOOR AND WALL PENETRATIONS SHALL BE PROPERLY PROTECTED FROM FIRE, SMOKE AND WATER PENETRATION BY FILLING VOIDS BETWEEN PIPE & WALL/FLOOR SLEEVES WITH U.L. APPROVED FIRE/SMOKE/WATER SEALANT. CONTRACTOR SHALL GUARANTEE ALL MATERIALS & WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE BY OWNER. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED.
20. PROVIDE ACCESS PANELS FOR ALL CONCEALED VALVES AND ALL WATER HAMMER ARRESTERS. ACCESS PANELS IN RATED WALLS MUST MAINTAIN THE SAME RATING & MUST MATCH THE FINISH OF THE WALL IN WHICH IT IS INSTALLED.
21. CONDENSATE DRAIN TO BE COPPER DRAIN, WASTE & VENT FITTINGS. INSULATE ALL CONDENSATE EXCEPT UNDERGROUND.



PLUMBING PARTIAL FLOOR PLAN

SCALE: 1/4" = 1'-0"

PROJ.# 11-025
 Gilman & Associates, Inc.
 120 N. FEDERAL HIGHWAY SUITE 202
 LAKE WORTH, FL 33460 C.A.#009078
 (561) 582-0210 Fax (561) 582-8212
 RONALD D. GILMAN P.E. #37933

SCHWED

FAIRWAY OFFICE CENTER
 7111 FAIRWAY DRIVE #105
 PALM BEACH GARDENS, FL 33418
 PROJECT NUMBER 7111110

REVISIONS

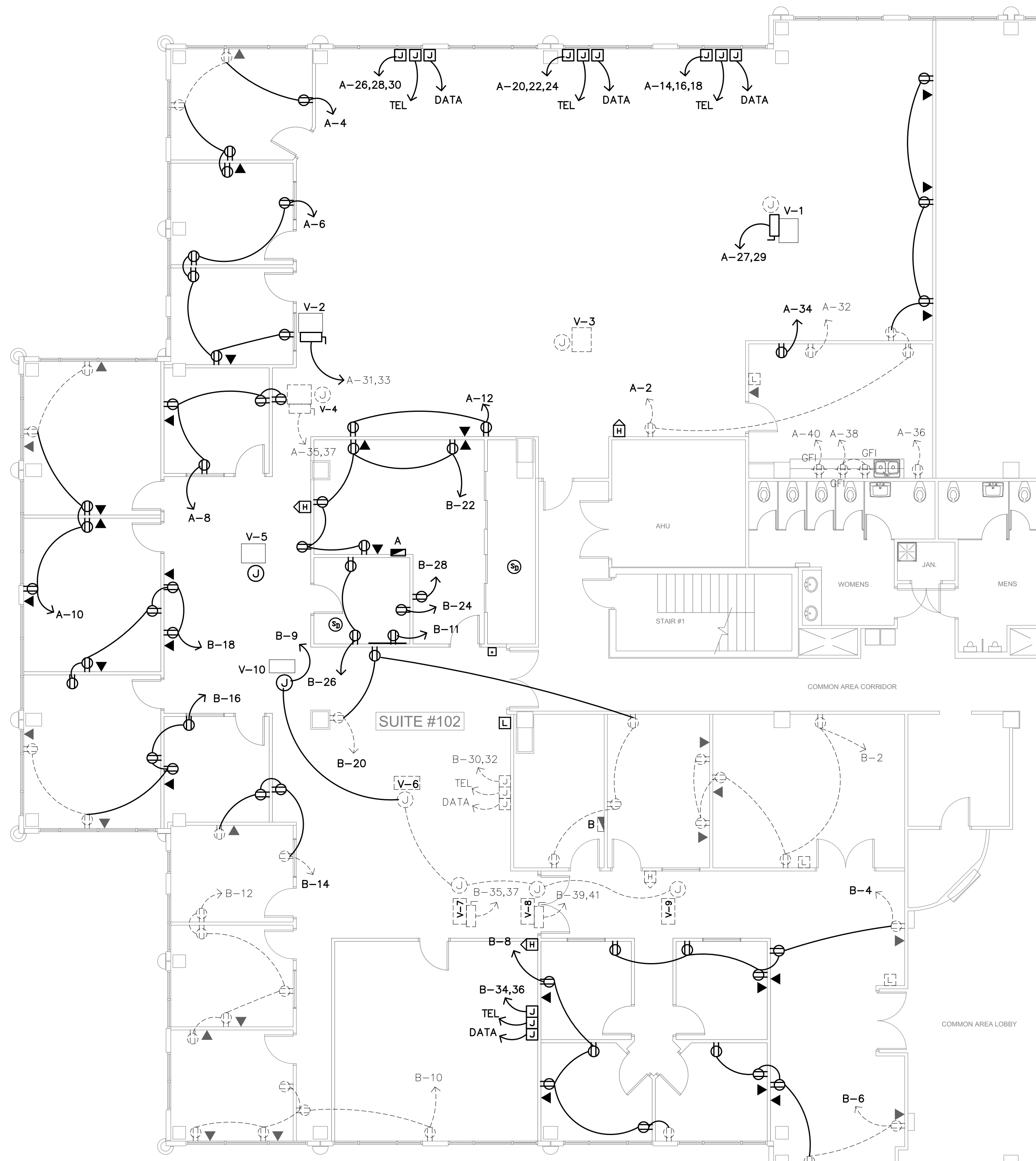
1	
2	
3	
4	
5	

THIS DESIGN AND THESE DRAWINGS ARE THE PROPERTY OF BIRSE DESIGN INC. NO PART OF THIS WORK MAY BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION FROM BIRSE DESIGN INC.

DRAWN BY GD
 CD
 8/18/11

P-1

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NEW AND EXISTING ELECTRICAL SYSTEMS, FIXTURES, DEVICES, AND OTHER EQUIPMENT RELATED TO THESE TENANT SPACES ARE IN GOOD WORKING ORDER. REPAIR AS NEEDED.



EQUIPMENT TO BE REMOVED OR MODIFIED IS SHOWN BOLD ON THE EXISTING PLAN

EXISTING ELECTRICAL FLOOR PLAN
SCALE: 1/8" = 1'-0"

FIRE ALARM LEGEND

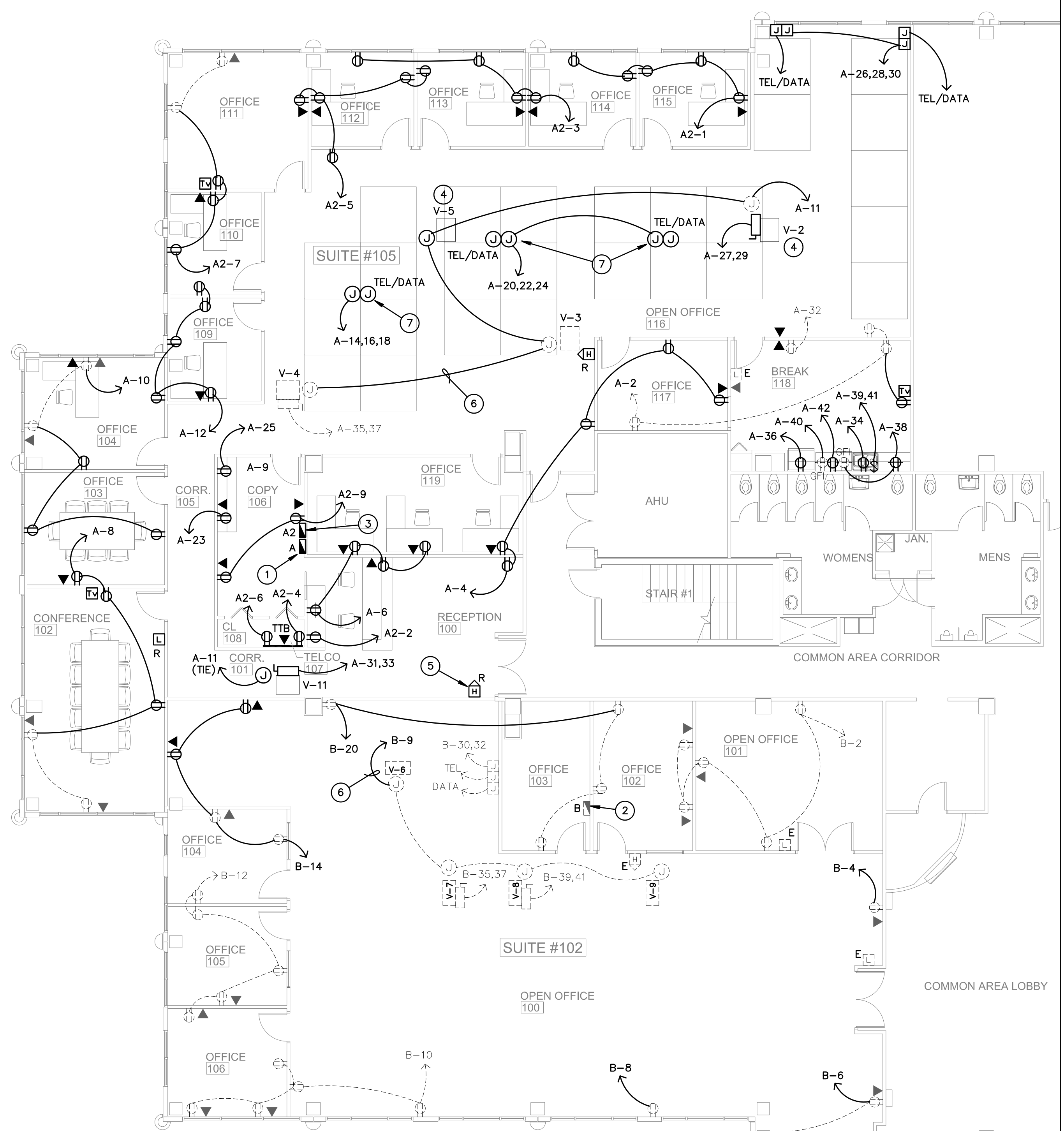
- F** MANUAL PULL STATION 48" AFF
- H** WALL MOUNT HORN/STROBE 80" AFF TO BOTTOM
- L** ADA COMPLIANT STROBE LIGHT 80" AFF TO BOTTOM

AUDIBLE ALARMS SHALL HAVE A MINIMUM LEVEL OF 15 DBA IN EXCESS OF THE AMBIENT SOUND LEVEL OF THE ROOM, AND SHALL OTHERWISE BE IN ACCORDANCE WITH FBC 11-4.28.2.

VISUAL ALARMS SHALL HAVE A MINIMUM LEVEL OF 75 CANDELA AND SHALL OTHERWISE BE IN ACCORDANCE WITH FBC 11-4.28.3.

DRAWING KEYNOTES:

- 1 EXISTING PANEL TO BE RE-LOCATED AS SHOWN.
- 2 EXISTING PANEL TO REMAIN.
- 3 PROPOSED NEW PANEL.
- 4 EXISTING VAV TERMINAL BOX IN NEW LOCATION.
- 5 ALL FIRE ALARM DEVICES ARE EXISTING, TO REMAIN OR BE RE-LOCATED AS INDICATED.
- 6 MODIFY EXISTING VAV TERMINAL CONTROL CIRCUIT IN THIS AREA AS REQUIRED, FIELD VERIFY.
- 7 PROVIDE POWER POLE FOR CONNECTION TO PARTITION SYSTEMS, VERIFY ALL DETAILS WITH SUPPLIER.



RE-CONNECT EXISTING CIRCUITS AND HOMERUNS AS REQUIRED DUE TO DEMOLITION, FIELD VERIFY (TYPICAL)

PROPOSED ELECTRICAL FLOOR PLAN
SCALE: 1/8" = 1'-0"

PROJ.# 11-025
Gilman & Associates, Inc.
MECHANICAL & ELECTRICAL ENGINEERS
1555 W. PALM BLVD., SUITE 200
LAKE WORTH, FL 33460 C.A.#009078
(561) 582-0210 Fax (561) 582-8212
RONALD D. GILMAN P.E. #37933

REVISIONS

1	
2	
3	
4	
5	

THIS DESIGN AND THESE DRAWINGS ARE THE PROPERTY OF BIRSE DESIGN, INC. PART OF THIS DESIGN MAY BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION FROM BIRSE DESIGN, INC.

DRAWN BY GD
CD
8/18/11

E-1

SCHWED
FAIRWAY OFFICE CENTER
7111 FAIRWAY DRIVE #105
PALM BEACH GARDENS, FL 33418
PROJECT NUMBER 711110

birse design inc.
1511 prosperity farms road
suite #100
lake park, fl 33403
phone: 772-409-6001
fax: 772-409-6884
AAC6001615

Bd

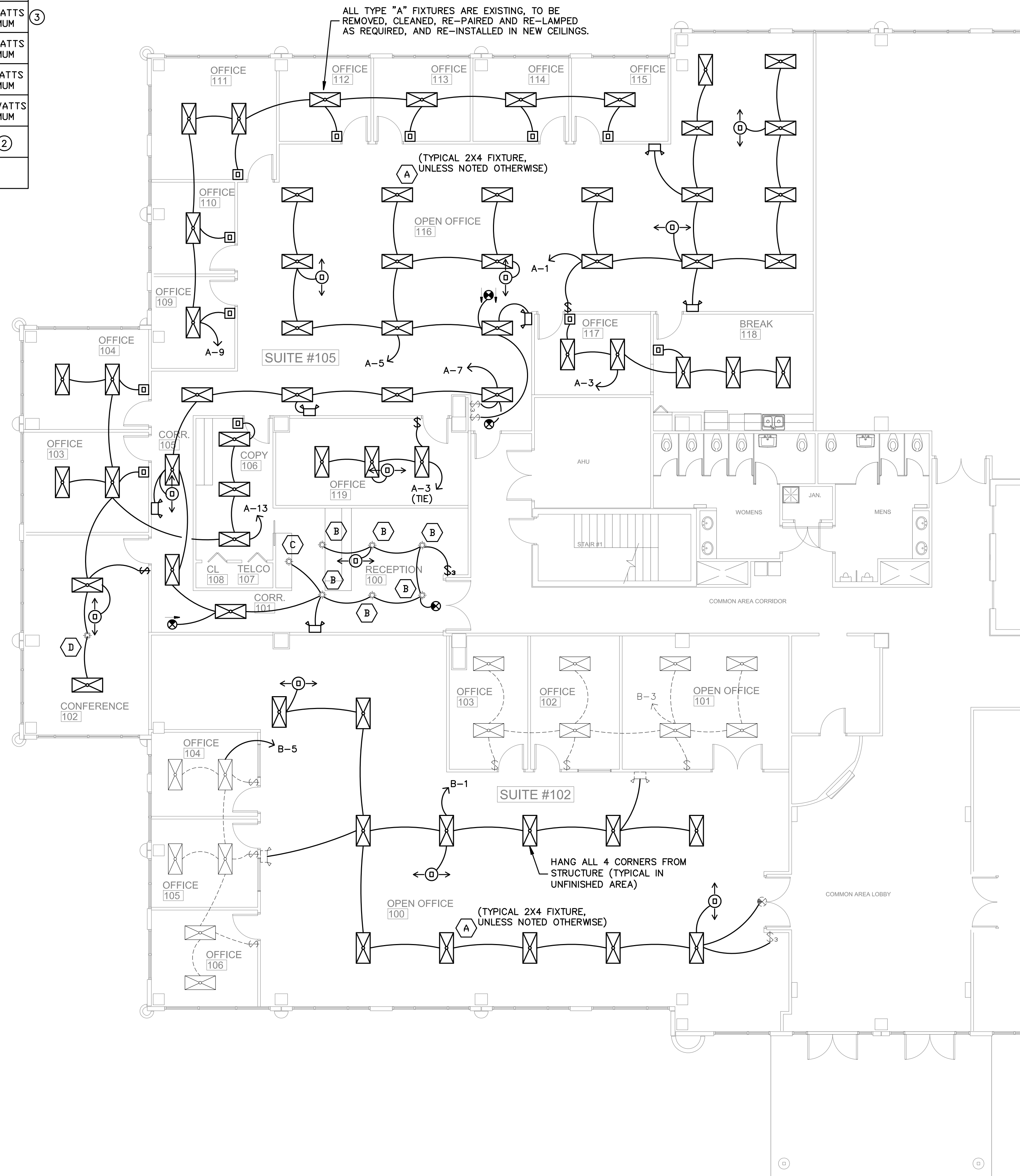
LIGHTING FIXTURE SCHEDULE							
MARK	TYPE	MOUNT	LAMP	VOLT	MANUFACTURER	CATALOG	NOTES
A	PARABOLIC TROFFER	RECESSED	3X F032 T8/35K	MV	COLUMBIA	P4D24-332G-MA36-S-3EPU-GLR	92 WATTS MAXIMUM ③
B	FLUORESCENT DOWN LIGHT	RECESSED	1X32WTT 41K	120	PRESCOLITE	CFT632HEB-STF602H-MW32	44 WATTS MAXIMUM
C	ADJUSTABLE EYEBALL	RECESSED	50WATT PAR30FL	120	PRESCOLITE	DBX-TA60	50 WATTS MAXIMUM
D	DECORATIVE PENDANT	SURFACE	-	120	BY TENANT	-	100 WATTS MAXIMUM
⊗	EXIT LIGHT	SURFACE	BY MFR.	MV	DUAL LITE	LXURWE	① ②
⊕	EMERGENCY LIGHTING	SURFACE	BY MFR.	MV	DUAL LITE	LZ2	②

- ① PROVIDE SINGLE OR DUAL FACE, WALL OR CEILING MOUNT, AS SHOWN ON PLANS. CONNECT FIXTURES TO UNSWITCHED HOT LEG OF LOCAL EMERGENCY LIGHTING CIRCUIT.
- ② PROVIDE BATTERY/INVERTER BACKUP FOR 90 MINUTES IN ACCORDANCE WITH NFPA REQUIREMENTS. CONNECT FIXTURES TO UNSWITCHED HOT LEG OF LOCAL LIGHTING CIRCUIT.
- ③ EXISTING FIXTURES, SHOWN FOR REFERENCE ONLY.

ALL OCCUPANCY SENSORS ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. PROVIDE POWER PACKS, RELAYS, AND ANY OTHER ACCESSORIES AS REQUIRED FOR A COMPLETE AND OPERATION SYSTEM AS SHOWN, INCLUDING CONTROL OF MULTIPLE CIRCUITS AND 120 OR 277 VOLT SYSTEMS WHERE INDICATED.

OCCUPANCY SENSORS SHALL TURN OFF THE SPACE LIGHTING WITHIN 30 MINUTES OF AN OCCUPANT LEAVING THE SPACE, IN ACCORDANCE WITH FBC 13-415.1.ABC.1.1

THE CONTRACTOR IS RESPONSIBLE TO SET ALL OCCUPANCY SENSORS TO THE MAXIMUM ALLOWABLE DURATION



PROPOSED LIGHTING FLOOR PLAN

SCALE: 1/8" = 1'-0"

PROJ. # 11-025
Gilman & Associates, Inc.
 MECHANICAL & ELECTRICAL ENGINEERS
 15500 W. FAIRWAY AVE. SUITE 200
 LAKE WORTH, FL 33460 C.A. #009078
 (561) 582-0210 Fax (561) 582-8212
 RONALD D. GILMAN P.E. #37933

DRAWN BY GD

CD

8/18/11

E-2

SCHWED

FAIRWAY OFFICE CENTER
 7111 FAIRWAY DRIVE #105
 PALM BEACH GARDENS, FL 33418

PROJECT NUMBER 711110

REVISIONS

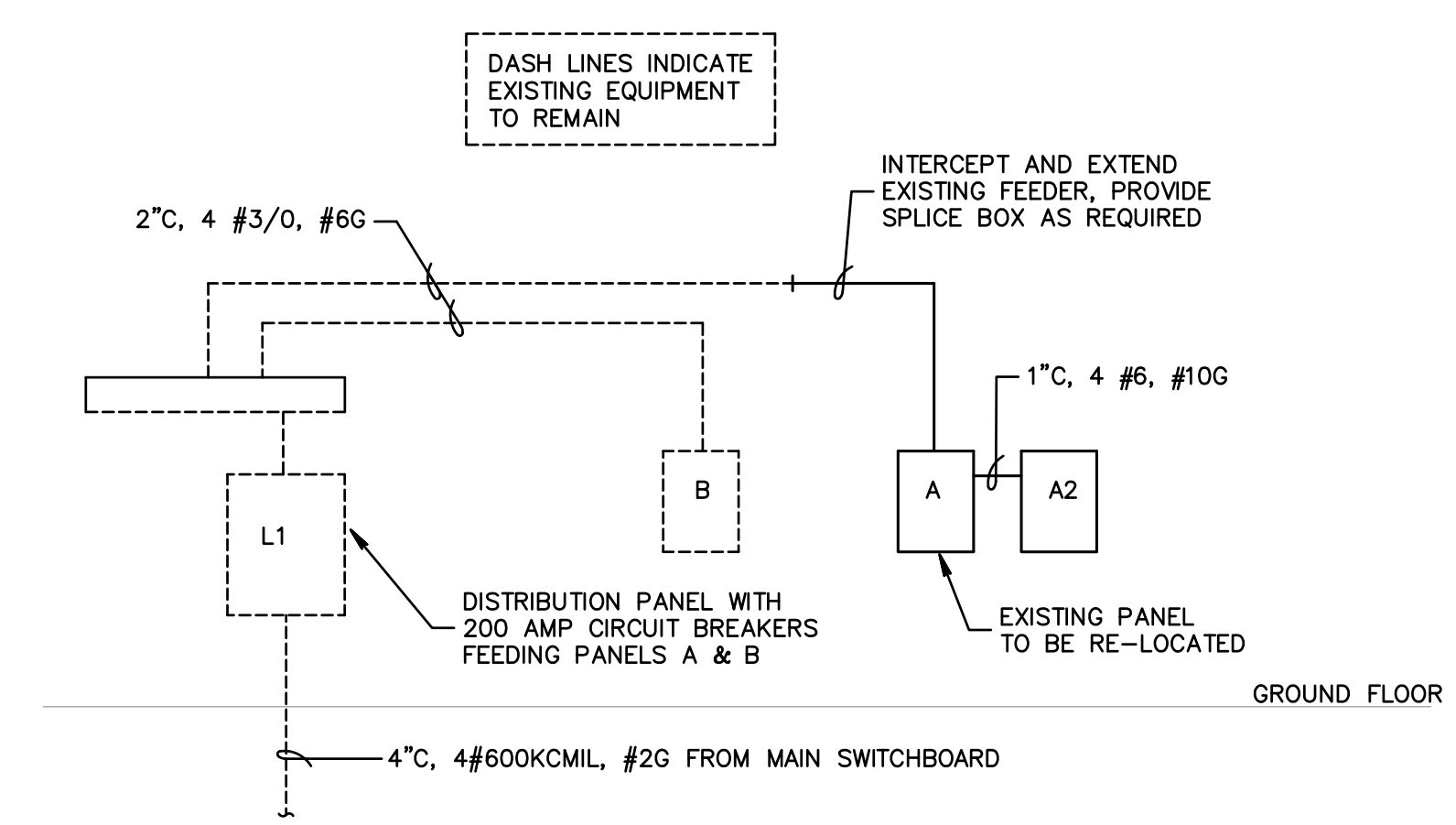
- 1
- 2
- 3
- 4
- 5

THIS DRAWING AND THESE DRAWINGS ARE THE PROPERTY OF BIRSE DESIGN, INC. NO PART OF THIS DRAWING IS TO BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION FROM BIRSE DESIGN, INC.

birse design inc.

15111 prosperity farms road
 suite #100
 lake park, fl 33403
 phone: 772-409-8800
 fax: 772-409-8884
 AAC26001615

Bd



ELECTRICAL RISER DIAGRAM

TYPE: ITE EQ										PANEL A2										MAIN BUS: 60 AMP			
SERVICE: 120/208, 3Ø, 4W																				NEUTRAL: FULL			
MOUNTING: FLUSH																				MAINS: LUGS ONLY			
POLES: 24																				A.I.C. 10K			
DEM. KVA	OTHER KVA	TRIP-POLE	CON-DUIT	WIRE	REMARKS	CKT. NO.	CKT. NO.	REMARKS	WIRE	CON-DUIT	TRIP-POLE	OTHER KVA	DEM. KVA										
0.9		20-1	1/2	12	RECEPTACLES	1	2	U.C. REFRIGERATOR	12	1/2	20-1	0.6											
0.7			1/2	12	RECEPTACLES	3	4	SERVER	12	1/2	20-1	0.4											
0.9			1/2	12	RECEPTACLES	5	6	TELEPHONE BOARD	12	1/2	20-1	0.4											
0.9			1/2	12	RECEPTACLES	7	8	SPACE															
0.4			1/2	12	RECEPTACLES	9	10																
					SPARE	11	12																
						13	14																
						15	16																
						17	18																
						19	20																
						21	22																
						23	24																
3.8													1.4										

TOTAL DEMAND LOAD: 5.2 KVA = 14 AMPS

EXISTING PANEL

TYPE: ITE G4										PANEL B										MAIN BUS: 225 AMP			
SERVICE: 120/208, 3Ø, 4W																				NEUTRAL: FULL			
MOUNTING: FLUSH																				MAINS: LUGS ONLY			
POLES: 42																				A.I.C. 10K			
DEM. KVA	OTHER KVA	TRIP-POLE	CON-DUIT	WIRE	REMARKS	CKT. NO.	CKT. NO.	REMARKS	WIRE	CON-DUIT	TRIP-POLE	OTHER KVA	DEM. KVA										
1.1		20-1	1/2	12	LIGHTING	1	2	RECEPTACLES	12	1/2	20-1	0.9											
0.7			1/2	12	LIGHTING	3	4					0.2											
0.6			1/2	12	LIGHTING	5	6					0.4											
					SPARE	7	8					0.2											
0.3		1/2	12		VAV CONTROL	9	10					0.9											
					SPARE	11	12					0.9											
					SPARE	13	14					0.7											
					SPARE	15	16	SPARE															
					SPACE	17	18	SPARE															
					SPACE	19	20	RECEPTACLES	12	1/2		0.7											
					SPACE	21	22	SPARE															
					SPACE	23	24	SPARE															
		20-2			SPACE	25	26	SPACE															
					SPACE	27	28	SPACE															
					SPACE	29	30	PARTITIONS	12	1/2	20-1	1.1											
		30-2			SPACE	31	32	PARTITIONS	12	1/2	20-1	1.1											
					SPACE	33	34	SPARE			20-1												
3.0		20-2	1/2	12	VAV-7 HEAT	35	36	SPARE			20-1												
					SPACE	37	38	SPACE															
4.0		30-2	1/2	10	VAV-8 HEAT	39	40	SPACE															
					SPACE	41	42	SPACE															
2.4	7.3											7.1											

LIGHTING LOAD: 2.4 x 1.25 = 3.0 KVA
 TOTAL NON DEMAND LOAD: 14.4 KVA
 TOTAL DEMAND LOAD: 17.7 KVA = 49 AMPS

EXISTING PANEL

TYPE: ITE G4										PANEL A										MAIN BUS: 225 AMP			
SERVICE: 120/208, 3Ø, 4W																				NEUTRAL: FULL			
MOUNTING: FLUSH																				MAINS: LUGS ONLY			
POLES: 42																				A.I.C. 10K			
DEM. KVA	OTHER KVA	TRIP-POLE	CON-DUIT	WIRE	REMARKS	CKT. NO.	CKT. NO.	REMARKS	WIRE	CON-DUIT	TRIP-POLE	OTHER KVA	DEM. KVA										
0.9		20-1	1/2	12	LIGHTING	1	2	RECEPTACLES	12	1/2	20-1	0.9											
0.7						3	4					0.9											
0.8						5	6					0.7											
1.0						7	8					0.9											
0.7						9	10					0.9											
0.3					VAV CONTROL	11	12					0.9											
0.9					LIGHTING	13	14	PARTITION RECEPTS.				1.1											
					SPACE	15	16																
						17	18																
						19	20																
						21	22																
5.2		60-3			PANEL A2	23	24																
1.0		20-1	1/2	12	CDPY MACHINE	25	26																
1.0		20-1	1/2	12	CDPY MACHINE	23	26																
3.0		30-2	1/2	10	VAV-2 HEAT	27	28																
						29	30																
3.0		20-2	1/2	12	VAV-11 HEAT	31	32	VENDING				0.6											
						33	34	DISHWASHER				1.5											
4.0		30-2	1/2	10	VAV-4 HEAT	35	36	REFRIGERATOR				0.8											
						37	38	APPLIANCE CKT.				1.5											
8.3		40-2	3/4	8	INSTA-HDT	39	40	MICROWAVE				1.2											
						41	42	MICROWAVE				1.2											
5.0	25.8											21.9											

LIGHTING LOAD: 5.0 x 1.25 = 6.3 KVA
 TOTAL NON DEMAND LOAD: 47.7 KVA
 TOTAL DEMAND LOAD: 54.0 KVA = 150 AMPS

- PANEL SCHEDULES KEYNOTES**
- ① EXISTING CIRCUIT TO REMAIN AS IS.
 - ② EXISTING CIRCUIT BREAKER, MODIFY CIRCUIT AS INDICATED.
 - ③ PROVIDE NEW CIRCUIT BREAKER, MATCH EXISTING BREAKERS.
 - ④ PROVIDE #10 WIRE FOR ANY SHARED NEUTRAL.

SCHWED
 FAIRWAY OFFICE CENTER
 7111 FAIRWAY DRIVE #105
 PALM BEACH GARDENS, FL 33418
 PROJECT NUMBER 711110

REVISIONS

1	
2	
3	
4	
5	

DRAWN BY GD
CD
 8/18/11

Gilman & Associates, Inc.
 MECHANICAL & ELECTRICAL ENGINEERS
 10000 W. PALM BEACH BLVD., SUITE 200
 PALM BEACH GARDENS, FL 33418
 (561) 252-0210 FAX (561) 252-8212
 RONALD D. GILMAN P.E. #37933

GENERAL DEMOLITION NOTES

- UNLESS OTHERWISE NOTED, ALL EQUIPMENT, WIRING DEVICES, LIGHT FIXTURES, CONDUIT AND WIRE IN THE PROJECT AREA WHICH IS NOT INDICATED TO REMAIN, IS TO BE REMOVED. THE CONTRACTOR SHALL INVESTIGATE THE PROJECT AREA PRIOR TO BID TO DETERMINE ALL REQUIRED DEMOLITION.
- EXISTING CONDITIONS SHOWN ON THIS DRAWING ARE TAKEN FROM ORIGINAL DRAWINGS AND FIELD INVESTIGATION. ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO BID. FIELD CONDITIONS SHALL GOVERN.
- DEMOLITION WORK IS NOT SPECIFICALLY IDENTIFIED ON THESE PLANS, AND MAY BE DESCRIBED ON THE ARCHITECTS PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED DEMOLITION WHETHER SHOWN ON THE PLANS OR NOT.
- ALL CONDUITS SERVING OTHER SPACES OR FLOORS, THAT RUN THROUGH THE PROJECT AREA SHALL REMAIN ACTIVE DURING CONSTRUCTION, SO AS NOT TO CAUSE ANY DISRUPTION TO THESE OTHER SPACES.
- ALL ITEMS REMOVED UNDER THIS PROJECT SHALL BE DISPOSED OF OR TURNED OVER TO THE OWNER AT THE OWNER'S DISCRETION.
- PROPERLY REMOVE AND DISPOSE OF ALL ELECTRICAL EQUIPMENT, CONDUIT AND WIRING WHICH IS TO BE REMOVED. CONSULT WITH OWNER AND OBTAIN THE OWNERS APPROVAL PRIOR TO DISPOSAL OF REMOVED MATERIAL.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL CONDUITS, NEW OR EXISTING, WITHIN THE PROJECT AREA, ARE PROPERLY SUPPORTED AND PROVIDED WITH BONDING BUSHINGS IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE.

GENERAL ELECTRICAL NOTES

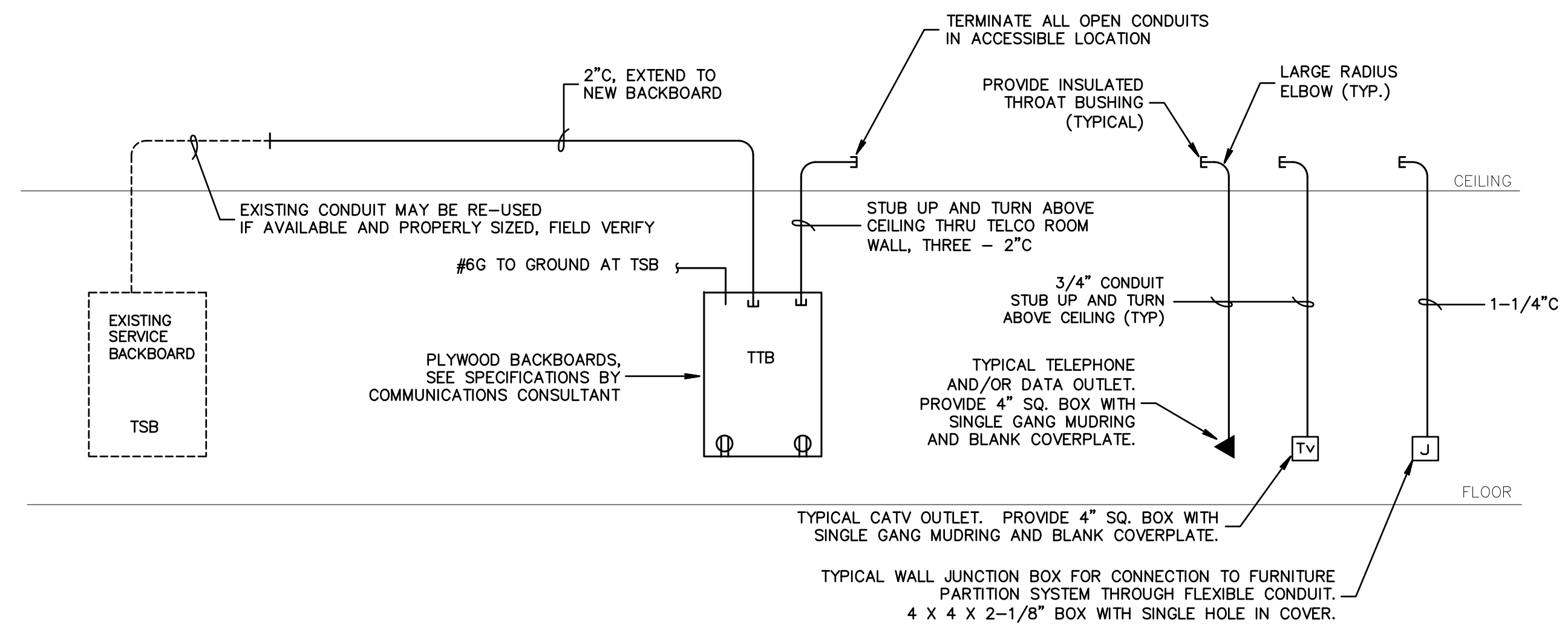
- DO NOT SCALE THE ELECTRICAL DRAWINGS. REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT. CONFIRM WITH OWNERS REPRESENTATIVE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE NFPA-70 (2008), THE LIFE SAFETY CODE NFPA-101 (2006), THE NATIONAL FIRE ALARM CODE NFPA-72 (2002), AND THE FLORIDA BUILDING CODE (FBC 2007 WITH 2009 SUPPLEMENTS).
- MINIMUM WIRE SIZE SHALL BE #12 A.W.G., EXCLUDING CONTROL WIRING. UNLESS OTHERWISE NOTED ALL CONDUCTORS SHALL BE COPPER WITH THWN INSULATION.
- OUTLET BOXES SHALL BE SHEET STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET OR DAMP LOCATIONS AND SPECIAL ENCLOSURES AS REQUIRED FOR OTHER CLASSIFIED AREAS.
- DISCONNECT SWITCHES SHALL BE HP. RATED, HEAVY DUTY, QUICK-MAKE, QUICK-BREAK, WITH ENCLOSURES AS REQUIRED BY EXPOSURE.
- MOTOR STARTERS SHALL BE MANUAL OR MAGNETIC, WITH OVERLOAD RELAYS IN EACH HOT LEG.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS REQUIRED FOR A COMPLETE AND OPERATIONAL ELECTRICAL SYSTEM, AND FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
- ELECTRICAL SYSTEM SHALL BE COMPLETE AND EFFECTIVELY GROUNDED AS REQUIRED BY THE LATEST EDITION OF THE N.E.C.
- ALL MATERIALS SHALL BE NEW AND BEAR UNDERWRITERS' LABELS WHERE APPLICABLE.
- ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. BE FULLY OPERABLE, AND ACCEPTED BY ENGINEER/ARCHITECT. THE SYSTEM SHALL BE FULLY OPERABLE, AND ACCEPTED BY ENGINEER/ARCHITECT.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE.
- CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
- CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS, AND TESTING.
- THE ELECTRICAL INSTALLATION SHALL MEET ALL STANDARD REQUIREMENTS OF POWER AND TELEPHONE COMPANIES.
- FURNISH AND INSTALL DISCONNECT SWITCHES AND WIRING FOR AIR CONDITIONING SYSTEM AS PER MANUFACTURERS RECOMMENDATIONS. CONTROLS ARE TO BE SUPPLIED BY AIR CONDITIONING CONTRACTOR AND CONNECTED BY ELECTRICAL CONTRACTOR.
- ALL RACEWAYS UNDERGROUND SHALL BE A MINIMUM OF 3/4" CONDUIT.
- ALL CIRCUIT BREAKERS, TWO AND THREE POLE, TO BE COMMON TRIP. NO TIE HANDLES, OR TANDEM WILL BE ACCEPTED.
- ALL FUSES, UNLESS NOTED ON DRAWING, SHALL BE CURRENT LIMITING (C.L.) RATED FOR 200,000 A.I.C.
- ALL ELECTRICAL EQUIPMENT, DEVICES, WIRE, ETC., SHALL BE LISTED, FOR THE INTENDED USE, WITH UNDERWRITER'S LABORATORIES, INC. (UL), WHERE STANDARDS HAVE BEEN ESTABLISHED BY UL.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN, ON SITE, A DETAILED AS-BUILT PLAN SHOWING ACTUAL INSTALLATIONS. THE CONTRACTOR IS TO PROVIDE A NEATLY DRAWN COMPREHENSIVE AS-BUILT SET OF PLANS UPON COMPLETION, WHICH ARE SUITABLE FOR SUBMISSION TO THE BUILDING DEPARTMENT AND THE OWNER.
- ALL WIRING IS TO BE IN CONDUIT. CABLES ARE NOT ACCEPTABLE UNLESS APPROVED PRIOR TO BID BY THE LANDLORD.

ELECTRICAL LEGEND

- LIGHTING FIXTURE IDENTIFICATION
- RECTANGULAR LIGHTING FIXTURE - AS NOTED
- RECTANGULAR LIGHTING FIXTURE - EXISTING AS NOTED
- ROUND LIGHTING FIXTURE
- DIRECTIONAL LIGHTING FIXTURE
- WALL MOUNTED LIGHTING FIXTURE
- LINEAR STRIP LIGHTING FIXTURE
- EXIT LIGHT WITH EMERGENCY BATTERY BACKUP
- EMERGENCY LIGHTING FIXTURE WITH BATTERY BACKUP
- RECTANGULAR LIGHTING FIXTURE ON EMERGENCY POWER CIRCUIT.
- ROUND LIGHTING FIXTURE ON EMERGENCY POWER CIRCUIT
- DUPLEX RECEPT - 20 AMP (18' A.F.F.)
- SINGLE RECEPT - 20 AMP (18' A.F.F.)
- DUPLEX RECEPT MOUNTED ABOVE COUNTER - 20 AMP (42' A.F.F.)
- DUPLEX RECEPT FLUSH FLOOR MOUNTED - 20 AMP
- SPECIAL PURPOSE RECEPT (18' A.F.F. - MATCH EQUIPMENT PROVIDED)
- QUAD-PLEX RECEPT - 20 AMP (18' A.F.F.)
- SINGLE POLE TOGGLE SWITCH, 48' AFF
- 3-WAY TOGGLE SWITCH, 48' AFF
- SLIDE TYPE DIMMER SWITCH, WATTAGE AS REQUIRED, 48' AFF
- JUNCTION BOXES
- FUSIBLE DISCONNECT (SWITCH POLES, AMPS/FUSES AS SHOWN)
- MOTOR RATED SWITCH (WITH OVERLOADS)
- ELECTRICAL PANELBOARD
- MOTOR LOAD
- CIRCUIT HOME RUN TO PANELBOARD OR OTHER DEVICE AS INDICATED
- CONDUIT CONCEALED
- EXISTING CIRCUIT AS NOTED
- CAPPED CONDUIT
- TELEVISION OUTLET (18' A.F.F.)
- TELEPHONE/DATA OUTLET (18' A.F.F.)
- TEL/DATA OUTLET FLUSH FLOOR MOUNTED
- EXISTING DUPLEX RECEPTACLE OUTLET BOX TO REMAIN.
- EXISTING TELEPHONE/DATA OUTLET BOX TO REMAIN
- EXISTING DEVICE TO REMAIN, UNLESS NOTED OTHERWISE
- EXISTING DEVICE, RELOCATED AS SHOWN
- EXISTING DEVICE TO BE DEMOLISHED OR RELOCATED
- OCCUPANCY SENSOR WITH MANUAL SWITCH, HUBBELL LHMTS1, 48' AFF
- OCCUPANCY SENSOR, CEILING MOUNT, HUBBELL DMNI DT-2000

ALL EMPTY RACEWAYS ARE TO BE CLEANED, AND A PULL STRING INSTALLED. PROVIDE A TEMPORARY CAP FOR ALL CONDUITS WHICH ORIGINATE FROM EXTERIOR OF THE BUILDING.

THESE DRAWINGS PROVIDE AN EMPTY RACEWAY AND OUTLET SYSTEM FOR FUTURE USE BY THE TENANT. THERE IS NO WIRING INCLUDED. ANY SUCH WIRING IS TO BE PROVIDED UNDER SEPARATE PERMIT.



TELEPHONE/DATA RISER DIAGRAM

ELECTRICAL NOTES AND LEGEND

NO SCALE

Bd

birse design inc.

1511 prosperity farms road
suite #100
lake park, fl 33403
phone: 772-405-9884
fax: 772-405-9884
AAC26001615

SCHWED

FAIRWAY OFFICE CENTER
7111 FAIRWAY DRIVE #105
PALM BEACH GARDENS, FL 33418

PROJECT NUMBER 711110

REVISIONS

1	
2	
3	
4	
5	

THIS DESIGN AND THESE DRAWINGS ARE THE PROPERTY OF BIRSE DESIGN INC. NO PART OF THIS DESIGN OR DRAWING IS TO BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION FROM BIRSE DESIGN INC.

PROJ.# 11-025
Gilman & Associates, Inc.
MECHANICAL & ELECTRICAL ENGINEERS
15555 WILLOW CREEK DRIVE
LAKE WORTH, FL 33460 P.A.# 009078
(561) 582-0210 Fax (561) 582-8212
RONALD D. GILMAN P.E. #37933

DRAWN BY GD

CD

8/18/11

E-4