DIAGONAL BRACE TO-STRUCTURE @ 8'-0" O.C.

OR AS-REQUIRED

CEILING HT

TOP RUNNER -

EACH SIDE

ID PLANS

25 GAUGE

18 GAUGE —

REF PLANS

L.A.T. OR GWB CEILING

1/2" GYPSUM WALLB'I

3 5/8" METAL STUDS -

3 5/8" METAL STUDS

AT BACK OF BOOKSHELF

3 5/8" STEEL RUNNER CONC SLAB

@ 16" O.C. TYPICAL

FASTENED TO SLAB

RIAGONAL BRACE TO — STRUCTURE @ 8'-0" O.C.

L.A.T. OR GWB CEILING

3 5/8" METAL/STUDS —

PROVIDE 2X_ FIRE RATED -

BLOCKING FOR WOOD BASE

TRACK -

BUILDING CLASSIFICATION

AND CONSTRUCTION TYPE

OCCUPANT AREA

OCCUPANT LOAD

<u>type 'a'</u>

STAGERED

TOP PLATE

EACH SIDE

25 GAUGE

@ 24" O.C.

IF REQU

ON 1/2" GWB

STEEL TRACK

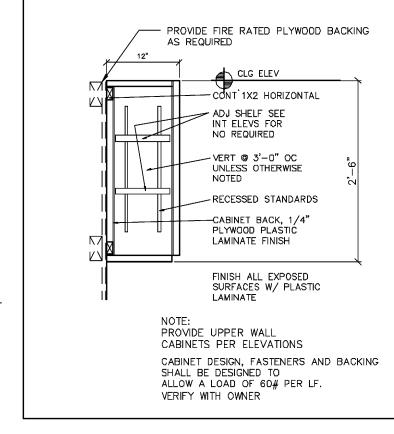
FIRE STOP AS REQ'D

WOOD PANELING -

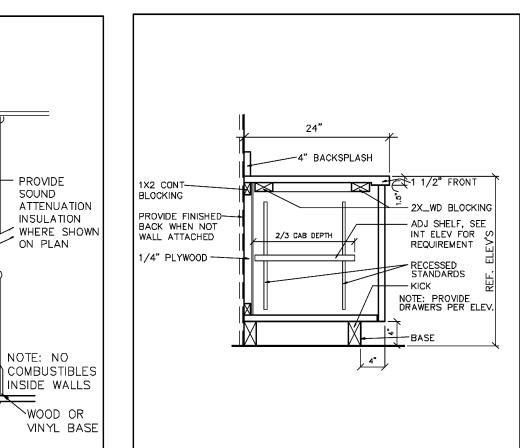
REF PLANS

© 24" O.C. TYPICAL

WOOD PANELING PER~



CABINET DETAIL 1/2"=1'-0" DESIGN # U465 1/2"=1'-0" WALL



| | | _ | |
|--------------|----------------|---|-------------------------------------|
| WALL | SECTION | | \bigcirc 2 \bigcirc \triangle |
| 1 1/2"=1'-0" | NON FIRE RATED | | $\overline{)}$ $\overline{1}$ $1/2$ |

- PROVIDE

SOUND

ATTENUATION

INSULATION

ON PLAN

NOTE: NO

INSIDE WALLS

`WOOD OR

—STAIN GRÆDE

STYLE BY OWNER

PROVIDE

SOUND

`wood`

1/2"=1'-0" NON FIRE RATED

<u>TYPE "B</u>

GENERAL BUILDING INFORMATION

NO COMBUSTIBLES INSIDE WALLS OR PLENUM

- SOLID CORE --STAIN GRADE

GLASS

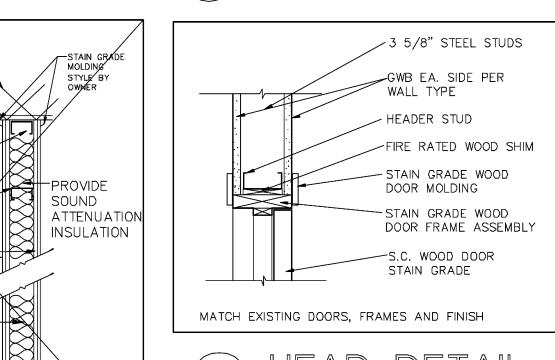
ALL IN THE FIELD AND WITH OWNER

SEE DOOR SCHEDULE FOR DOOR SIZE, VERIFY

OWNER

VERIFY STYLE W/





| | FIRE RATED WOOD SH |
|---|---|
| | STAIN GRADE WOOD DOOR MOLDING |
| N | STAIN GRADE WOOD DOOR FRAME ASSEME |
| | S.C. WOOD DOOR STAIN GRADE |
| | MATCH EXISTING DOORS, FRAMES AND FINISH |
| Ξ | 3 HEAD DETAIL 1 1/2"=1'-0" DOOR |
| | STAIN GRADE WO DOOR MOLDING |
| | / L 07.00 00.05 00 |

| AB WOOD BASE | |
|---|---|
| SECTION NON FIRE RATED | STAIN GRADE WOOD DOOR MOLDING STAIN GRADE WOOD DOOR FRAME ASSEME S.C. WOOD DOOR STAIN CRADE |
| ORMATION TYPE I CONSTRUCTION PROTECTED SPRINKLED GROUP B OCCUPANCY 6025 SF 61 OR PLENUM | DBL MTL STUD AT JAMB 3 5/8" STEEL STUDS GWB EA. SIDE PER WALL TYPE |
| | |

| 4 | JAMR | DETAIL |
|---|----------------------------------|--------|
| | $\frac{\sqrt{2}}{1 + 2} = 1 - 0$ | |

| | ROOM FINISH SCHEDULE | | | | | | | | | | | | | |
|------------|----------------------|---------------|--------------|---------------|--------------|---------------|--------------|---------------|--------------|---------------------|-------|--|--|--|
| | | FLC | ORS | BA | SE | WA | LLS | CEI | LING | | | | | |
| ROOM NO | SPACE | BASE MAT'L | FIN MAT'L | BASE MAT'L | FIN MAT'L | BASE MAT'L | FIN MAT'L | BASE MAT'L | FIN MAT'L | <u>-</u> - | NOTES | | | |
| 101 | OFFICE | CONC | CPT | GWB | WOOD | GWB | PAINT | ACT | NA | 8'-11 " | | | | |
| 102 | OFFICE | CONC | CPT | GWB | WOOD | GWB | PAINT | ACT | NA | 8'-11" | | | | |
| 103 | OFFICE | CONC | CPT | GWB | WOOD | GWB | PAINT | ACT | NA | 8'-11" | | | | |
| 104 | OFFICE | CONC | CPT | GWB | WOOD | GWB | PAINT | PT/WD | NA | 8'-11" | | | | |
| 105 | OFFICE | CONC | CPT | GWB | WOOD | GWB | PAINT | PT/WD | NA | 8 ¹ -11" | | | | |
| 106 | SEC 1 | CONC | CPT | GWB | WOOD | GWB | PAINT | ACT | NA | 8'-11" | | | | |
| 107 | OFFICE | CONC | CPT | GWB | WOOD | GWB | PAINT | ACT | NA | 8'-11" | | | | |
| 108 | OFFICE | CONC | CPT | GWB | WOOD | GWB | PAINT | ACT | NA | 8'-11" | | | | |
| 109 | OFFICE | CONC | CPT | GWB | WOOD | GWB | PAINT | ACT | NA | 8'-11" | | | | |
| 110 | CONF2 | CONC | MARBLE | GWB | WOOD | GWB | PAINT | ACT | NA | 8 ¹ -11" | | | | |
| 111 | CONF1 | CONC | MARBLE/CPT | GWB | WOOD | GWB | PT/WD | ACT | NA | VARIES | | | | |
| 112 | CONF3 | CONC | MARBLE | GWB | WOOD | GWB | PAINT | ACT | NA | 8'-11" | | | | |
| 113 | OFFICE | CONC | CPT | GWB | WOOD | GWB | PT/WD | ACT | NA | 8'-11" | | | | |
| 114 | OFFICE | CONC | CPT | GWB | WOOD | GWB | PAINT | ACT | NA | 8'-11" | | | | |
| 115 | SEC 2 | CONC | CPT | GWB | WOOD | GWB | PAINT | ACT | NA | 8'-11 " | | | | |
| 116 | FILE ROOM | CONC | VT | GWB | VINYL | GWB | PAINT | ACT | NA | 8'-11" | | | | |
| 117 | OFFICE | CONC | CPT | GWB | WOOD | GWB | PAINT | ACT | NA | 8'-11" | | | | |
| 118 | LOBBY | CONC | MARBLE | GWB | WOOD | GWB | PT/WD | ACT | NA | 8'-11" | | | | |
| 119 | REC | CONC | CPT | GWB | WOOD | GWB | PAINT | ACT | NA | 8'-11" | | | | |
| 120 | KITCHEN | CONC | VT | GWB | VINYL | GWB | PAINT | ACT | NA | 8'-11" | | | | |
| 121 | PHONE/DATA | CONC | VT | GWB | VINYL | GWB | PAINT | ACT | NA | 8'-11" | | | | |
| 122 | WORK ROOM 1 | CONC | VT | GWB | VINYL | GWB | PAINT | ACT | NA | 8'-11" | | | | |
| 123 | CORRIDOR 1 | CONC | СРТ | GWB | WOOD | GWB | PAINT | ACT | NA | 8'-11" | | | | |
| 124 | OPEN OFFICE | CONC | СРТ | GWB | WOOD | GWB | PAINT | ACT | NA | 8'-11" | | | | |
| 125 | WK RM/STOR 2 | CONC | VT | GWB | VINYL | GWB | PAINT | ACT | NA | 8'-11 " | | | | |
| 126 | CORRIDOR 2 | CONC | CPT | GWB | WOOD | GWB | PAINT | ACT | NA | 8'-11" | | | | |
| 127 | CORRIDOR LOBBY | CONC | CPT | GWB | WOOD | GWB | PAINT | ACT | NA | 8'-11" | | | | |

| FINISH | NOTES |
|--------|-------|

ALL WALLS IN THE ENTIRE SUITE WILL RECEIVE NEW PAINT, 1 COAT OF LATEX PRIMER AND 2 FINISH COATS. ALL CARPET IN THE ENTIRE SUITE SHALL BE REPLACED WITH NEW CARPET

ALL FINISHES, COLORS AND MATERIAL SELECTIONS AND HARDWARE SELECTIONS SHALL BE PROVIDED BY THE INTERIOR DESIGNER.

ALL FINISH FLAME SPREAD RATINGS ARE SPECIFIED IN THE GENERAL NOTES, AND SHALL BE PROVIDED BY LOCAL CODES

| 품 | | DOOR | | FRAME | | | | | g | | | | | | |
|------|-------|-------|------------------|--------|----------|--------------|------------|----------------|----------------|--|----------|----------|----------|----------------|--|
| MARK | CI | ZE | | | ļ | | | FRAME MAT'L | ب | DE | | | ₽TG | LOCKSET | REMARKS |
| OPG | | | TUV | TYPE | MAT'L | FIN MAT'L | GL TYPE | FRAME MAT'L | FIN Mat'l | 9 | Z | SILL | | O ₋ | |
| | WID | HT | THK | _ | | | <u> </u> | | <u> </u> | | 7 | S | Ш | | |
| 1 | 3'-0" | 8'-0" | 1 3/4" | Α | WD | STAIN | NA | WD | STAIN | 3 | 4 | NA | NA | NA | NA |
| 2 | 3'-0" | 8'-0" | 1 3/4" | Α | WD | STAIN | NA | WD | STAIN | 3 | 4 | NA | NA | NA | NA |
| 3 | 3'-0" | 8'-0" | 1 3/4" | Α | WD | STAIN | NA | WD | STAIN | 3 | 4 | NA | NA | NA | NA |
| 4 | 3'-0" | 8'-0" | 1 3/4" | Α | WD | STAIN | NA | WD | STAIN | _ | _ | NA | NA | NA | EXISTING PROVIDE KEY LOCK |
| 5 | 3'-0" | 8'-0" | 1 3/4" | Α | WD | STAIN | NA | WD | STAIN | _ | _ | NA | NA | NA | EXISTING PROVIDE KEY LOCK |
| 6 | 3'-0" | 8'-0" | 1 3/4" | Α | WD | STAIN | NA | WD | STAIN | 3 | 4 | NA | NA | NA | NA |
| 7 | 3'-0" | 8'-0" | 1 3/4" | Α | WD | STAIN | NA | WD | STAIN | 3 | 4 | NA | NA | NA | NA |
| 8 | 3'-0" | 8'-0" | 1 3/4" | Α | WD | STAIN | NA | WD | STAIN | 3 | 4 | NA | NA | NA | NA |
| 9 | 3'-0" | | 1 3/4" | Α | WD | STAIN | NA | WD | STAIN | _ | _ | NA | NA | NA | EXISTING PROVIDE KEY LOCK |
| 10 | 6'-0" | | 1 3/4" | В | WD | STAIN | NA | WD | STAIN | NA | NA | NΑ | NA | NA | SEE DETAILS |
| 11 | 3'-0" | | 1 3/4" | Α | WD | STAIN | NA | WD | STAIN | 3 | 4 | NA | NA | NA | NA |
| 12 | 3'-0" | | 1 3/4" | Α | WD | STAIN | NA | WD | STAIN | 3 | | NA | NA | NA | NA PROVIDE KEY LOCK |
| 13 | 3'-0" | | 1 3/4" | Α | WD | STAIN | NA | WD | STAIN | 3 | | NA | NA | NA | NA |
| 14 | 3'-0" | | 1 3/4" | Α | WD | STAIN | NA | WD | STAIN | 3 | | NA | NA | NA | NA |
| 15 | 3'-0" | | 1 3/4" | Α | WD | STAIN | NA | WD | STAIN | 3 | | NA | NA | NA | NA PROVIDE KEY LOCK |
| 16 | 6'-0" | | 1 3/4" | В | WD | STAIN | NA | WD | STAIN | 3 | | NA | В | NA | NA NA |
| 17 | 6'-0" | | 1 3/4" | В | WD | STAIN | NA | WD | STAIN | 3 | | NA | NA | NA | NA NA |
| 18 | 3'-0" | | 1 3/4" | A | WD | STAIN | NA | WD | STAIN | 3 | | NA | NA | NA | NA NA |
| 19 | 3'-0" | | 1 3/4" | A | WD | STAIN | NA | WD | STAIN | 3 | | NA | NA | NA NA | NA EXISTING |
| 20 | 3'-0" | | 1 3/4" 1 3/4" | А А | WD WD | STAIN | NA NA | WD WD | STAIN STAIN | _ | | NA NA | NA NA | NA | EXISTING |
| | | | 1 3/4" | | WD | STAIN | NA NA | WD | STAIN | | | NA | B | NA | NA PROVIDE KEY LOCK |
| _ | | | 1 3/4" | | WD | STAIN | NA NA | WD | STAIN | <u> </u> | | NA | В | NA | NA PROVIDE KEY LOCK |
| - | 3-0 | 0-0 | 7 7 | | **** | JIAII | | 110 | STAIN | | | INA | | 177 | The first of the f |
| | | | | | | | | | | | | | | | |
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DOOR NOTES

NOTE: ALL DOORS SHALL BE ARRANGED TO BE OPENED READILY FROM THE EGRESS SIDE WHENEVER THE BUILDING IS OCCUPIED. LOCKS IF PROVIDED, SHALL NOT REQUIRE THE USE OF A KEY, TOOL, OR SPECIAL KNOWLEDGE OR EFFORT FOR THE OPERATION FROM THE INSIDE OF THE BUILDING.

ALL DOORS SHALL COMPLY WITH NFPA 7-2.1.5

VERIFY THE HEIGHT OF ALL EXISTING DOORS TO BE REPLACED PRIOR TO ORDER MATCH EXISTING NOTE: MATCH EXISTING HARDWARE SETS, VERIFY DOOR HARDWARE W/ OWNER PRIOR TO ORDER. MATCH EXISTING

ALL DOORS NEW AND EXIST'G SHALL HAVE HANDICAP ACCESSIBLE LEVER TYPE DOOR HANDLES PER ADA. REPLACE ANY EXISTING DOOR KNOBS WITH

ADA APPROVED LEVER HARDWARE. VERIFY ALL LATCH SETS, LOCKSETS AND KEYING

WITH OWNER PRIOR TO CONSTRUCTION OWNER SHALL PROVIDE LOCK SCHEDULE VERIFY WITH OWNER AND TENANT WHICH DOUBLE DOORS WILL RECEIVE ASTRAGAL LOCKS

BASE BID SHALL NOT INCLUDE ASTRAGAL LOCKS

D101 - DEMOLITION PLAN

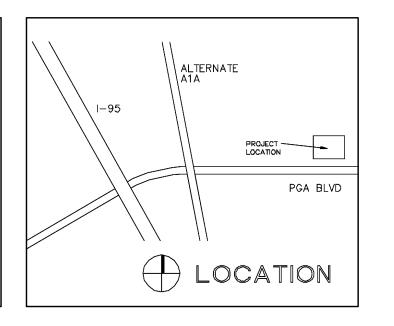
A101 - FLOOR PLAN

A701 - DETAILS

ARCHITECTURAL DRAWING INDEX

A102 - REFLECTED CEILING PLAN

A100 - GENERAL INFORMATION



GENERAL NOTES

GENERAL CONDITIONS

THE LATEST EDITION OF A.I.A. DOCUMENT 201, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION SHALL BE PART OF THE CONSTRUCTION PHASE OF THIS PROJECT.

CONTRACTOR IS TO PROVIDE A COMPLETE, FINISHED PROJECT UNDER THE SCOPE OF THE CONSTRUCTION CONTRACT. ANY CLARIFICATION'S O ACCOMPLISH THIS SHALL BE REVIEWED WITH THE ARCHITECT OR OWNER.

CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING THE BID TO VERIFY EXISTING FIELD CONDITIONS AND NOTIFY THE ARCHITECT OF ANY SIONS AND/OR CONFLICTS IN ITS CONSTRUCTION DOCUMENTS WHICH MAY AFFECT ITS

DO NOT SCALE DRAWINGS: DIMENSIONS GOVERN. WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE GOVERNMENTAL BUILDING CODES AND THE AMERICANS WITH DISABILITIES ACT (ADA) RULES

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING REQUIRED BUILDING PERMITS AND THE PAYMENT OF ALL APPLICABLE FEES. THE CONTRACTOR SHALL COMPLY WITH BUILDING MANAGEMENT REGULATIONS AND COORDINATE USE OF ELEVATOR AND LOADING DOCKS PRIOR TO

COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PROVIDE ONE (1) REPRODUCIBLE AS-BUILT DRAWING TO ARCHITECT OR OWNER WITHIN 30 DAYS OF COMPLETION OF THE JOB.

CONTRACTOR TO PROVIDE APPLICABLE WARRANTIES, MANUALS, AND GUARANTIES REGARDING SYSTEMS, EQUIPMENT, FIXTURES, AND WORKMANSHIP ETC, TO

THE CONTRACTOR SHALL HAVE THE OWNER INSPECT THE CONSTRUCTION AT THE ROUGH IN PHASE AND FLOOR COVERINGS SHALL HA APPROVE ALL ELECTRICAL, PLUMBING, HVAC AND LIGHTING RATING NOT TO EXCEED 75. PRIOR TO INSTALLING DRYWALL OR THE FINISHED MULTIPLE STORY BUILDINGS WITH TENSION CABLE SLABS: XRAY ALL FLOOR SLABS PRIOR TO CONSTRUCTION, UNDER ALL MATERIALS SHALL BE INSTALLED IN STRICT NEW WALLS TO LOCATE STRESSED CABLES, INSURE AT LEAST 6" CLEARANCE BETWEEN ALL FASTENERS AND POST-TENSIONED CABLES.

DEMOLITION (WHERE APPLICABLE) VERIFY ALL DEMOLITION WITH OWNER DEMOLITION INCLUDES COMPLETE REMOVAL, DISPOSAL, AND OR SAVINGS OF SPECIFIED WORK, SUBMIT PROPOSED METHODS AND OPERATION OF SEMOLITION TO THE DWNER FOR REVIEW PRIOR TO START OF WORK, INCLUDE IN THE SCHEDULE CONTINUATION OF UTILITY SERVICES AS

ELECTRICAL, TELEPHONE, MECHANICAL AND PLUMBING SYSTEMS DELETED BY NEW CONSTRUCTION OR LOCATED IN WALLS SPECIFIED TO BE REMOVED ON THE DEMOLITION PLAN
SHALL BE REMOVED TO THE FURTHEST TERMINATION POINT UNLESS NOTED OTHERWISE. STAIRWAYS AND FIRE ESCAPES SHALL REMAIN UNOBSTRUCTED AND AVAILABLE FOR USE AT ALL IMES DURING DEMOLITION. ALL SALVAGEABLE SURPLUS BUILDING MATERIALS, HARDWARE, DOOR FRAMES, FIRE EXTINGUISHERS, WINDOW BLINDS, LIGHT FIXTURES, DRAPES, CARPET, DIFFUSERS, ETC, NOT INDICATED TO B RELOCATED OR REUSED SHALL BE RETURNED TO THE

SHORE ALL EXISTING CONSTRUCTION WHEN REMOVING ANY STRUCTURAL COMPONENTS OR ANY COMPONENTS SUSPECTED OF BEING STRUCTURAL REMOVE ALL FLOORING UNLESS OTHERWISE

EXISTING CASEWORK AND PLUMBING FIXTURES TO BE REMOVED SHALL BE SAVED FOR FUTURE USE CAP AND OR REMOVE ALL EXISTING ELECTRICAL CONDUIT AND WIRE IN WALLS TO BE DEMOLISHED. SAVE ALL EXISTING ELECTRICAL EQUIPMENT NCLUDING LIGHTING DUTLETS AND SWITCHES FOR RE-LOCATION IN FUTURE, VERIFY

CAP ALL EXISTING WATER SUPPLY AND SANITARY LINES RELATED TO PLUMBING FIXTURES TO BE

ALL CEILING GRIDS IN NON DEMO AREA SHALL REMAIN INTACT UNLESS OTHERWISE NOTED. ALL HVAC EQUIPMENT DUCTS AND DIFFUSERS SHALL REMAIN INTACT UNLESS OTHERWISE NOTED. INSURE ALL STRUCTURAL ELEMENTS, INTERIOR AND EXTERIOR REMAIN INTACT AND UNDISTURBED

EXISTING BUILDING SHELL SHALL REMAIN INTACT UNLESS OTHERWISE NOTED. TELEPHONE, DATA AND ELECTRICAL

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ALL OTHER STATE AND LOCAL CODES THAT HAVE AUTHORITY THE ELECTRICAL CONTRACTOR SHALL VISIT SITE TO BECOME FAMILIAR WITH THE EXISTING

CONDITIONS BEFORE BIDDING. THE ELECTRICAL CONTRACTOR TO VERIFY THE CAPACITY OF THE EXISTING ELECTRICAL SYSTEM. THE ELECTRICAL CONTRACTOR TO REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR LOCATION OF ELECTRICAL DEVICES.

THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ELECTRICAL AND SWITCHES, EQUIPMENT, ETC.) WITH THE TENANT'S TELEPHONE AND TELECOMMUNICATIONS COMPANIES.

CEILING PENETRATIONS SHALL BE FILLED WITH U.L. APPROVED FIRE STOPPING MATERIAL BY APPROVED MANUFACTURERS: 3M, OR DOWELL. IF REQUIRED FLOOR CORES SHALL BE MARKED ON FLOOR, MARKED FOR OBSTRUCTIONS AND APPROVED BY

HE OWNER PRIOR TO CORING. VOICE AND DATA CABLING SHALL BE INSTALLED BY TELECOMMUNICATIONS CONTRACTOR, UNLESS OTHERWISE NOTED.

UNDER COUNTER AND/OR UNDER CABINET STRIP-LIGHTS SHALL BE GANGED TOGETHER AND WIRED TO OVERHEAD LIGHTING. RECEPTACLES, RECEPTACLE COVERS, SWITCHES AND SWITCH COVERS SHALL BE PER THE ADA. EXISTING TO REMAIN LIGHTS, RECEPTACLES, AND TELECOMMUNICATION OUTLETS SHALL BE NNECTED TO NEW CIRCUITS. IF REQUIRED SEE ENGINEERING DRAWINGS

CONTRACTOR SHALL SUPPLY AND INSTALL CONDUIT FROM ALL TELECOMMUNICATIONS OUTLETS (NEW AND EXISTING) TO NEW TELEPHONE EQUIPMENT LOCATION, VERIFY CONDUIT SIZE REQUIRED WITH TELECOMMUNICATIONS CONTRACTOR.

CONTRACTOR SHALL SUPPLY AND INSTALL HOMERUN FROM TENANT'S PHONE EQUIPMENT TO BUILDING PHONE CLOSET. VERIFY CONDUIT SIZE REQUIRED WITH TELECOMMUNICATIONS CONTRACTOR. IN PARTITIONS WHERE OUTLETS APPEAR BACK TO BACK, DUTLETS SHALL BE OFFSET. ALL EXIT SIGNS AND STROBES SHALL BE MOUNTED IN ACCORDANCE WITH THE ADA

ALL 2X4 FLUORESCENT LIGHT FIXTURES SHALL BE RELOCATED PARABOLIC FIXTURES IF POSSIBLE

NOTIFY THE ARCHITECT OR OWNER PRIOR TO

RELOCATE SPRINKLER HEADS TO ADJACENT

CEILING GRID. IF APPLICABLE

ALL FLUORESCENT LAMPS SHALL MATCH EXISTING UNLESS OTHERWISE NOTED. NIGHT LIGHTS SHALL BE WIRED TO EMERGENCY LIGHTING CIRCUIT. IF NEW LIGHTING LAYOUT CONFLICTS WITH

EXISTING EXIT SIGNS AND BATTERY POWERED EMERGENCY LIGHTING SHALL BE RE-USED OR RELOCATED AS INDICATED AND PER THE ADA CODE. CEILING FIXTURES SHALL BE PLENUM APPROVED. WHERE REQUIRED

GYPSUM BOARD CEILING SHALL BE 1/2" GYPSUM BOARD ON 2-1/2" OR 3 5/8" STEEL 25 GA STUDS, @ 16" O.C. AND SECURELY HUNG FROM STRUCTURE ABOVE.(DO NOT SUPPORT CHANNELS FROM DUCTWORK, PIPES, OR CONDUITS). VERIFY FINISH W/ OWNER.

PLUMBING CONTRACTOR SHALL VISIT SITE TO DETERMINE LOCATION OF EXISTING PLUMBING LINES AND

BUILT-IN AND NON-BUILT-IN PLUMBING FIXTURES AND EQUIPMENT SHALL BE FURNISHED AND INSTALLED BY THE PLUMBING CONTRACTOR. ALL INFORMATION ON CUT-OUTS AT CABINETRY FOR PLUMBING ITEMS TO BE COORDINATED WITH THE MILLWORK CONTRACTOR. SPRINKLER HEADS WHICH OCCUR IN FULL TILES SHALL BE CENTERED IN THAT TILE. CONTRACTOR SHALL INSPECT THE FIELD CONDITIONS PRIOR TO ANY FLOOR CORING TO ENSURE NON-CONFLICTING

CONDITIONS WITH LINDER FLOOR DUCTS. STRUCTURAL MEMBERS, AIR CONDITIONING DUCTS, PROVIDE HOT AND COLD WATER LINES, SOIL AND VENT LINES, GREASE TRAP, PRESSURE AND SHUT-OFF VALVES AS REQUIRED IN ACCORDANCE WITH LOCAL BUILDING AND PLUMBING CODES. PROVIDE 3/8" COPPER TUBING, WITH 1/2" CONNECTION, PRESSURE AND SHUT-OFF VALVES AS REQUIRED IN ACCORDANCE WITH LOCAL BUILDING

AND PLUMBING CODES. PLUMBING SPECS SHALL SUPERSEDE ARCHITECTURAL NOTES. FLOOR COVERINGS SHALL HAVE A FLAME SPREAD

INTERIOR FINISHES (WALL AND CEILING) SHALL HAVE CLASS I FLAME SPREAD OR BETTER. CONFORMANCE WITH MANUFACTURER'S

NEW AND EXISTING PAINTED DRYWALL PARTITIONS SHALL RECEIVE THREE (3) COATS: FIRST COAT SHALL BE LATEX EMULSION PRIMER; FINISH COATS SHALL BE LATEX-BASED PAINT. USE BUILDING STANDARD PAINT TO BE SELECTED BY THE OWNER. SAME COVERAGE FOR OIL OR ALKYD BASED PAINT NEW AND EXISTING PARTITIONS TO RECEIVE NALLCOVERING SHALL HAVE ONE (1) COAT OF

WHERE EXISTING WALLS HAVE WALLCOVERING AND SHALL RECEIVE A PAINT OR NEW WALLPAPER FINISH, REMOVE WALLCOVERING, PATCH, AND REPAIR AS REQUIRED TO RECEIVE NEW FINISH. WHERE DEMOLITION OCCURS AND THE EXISTING WALLS HAVE WALLCOVERING, PATCH WHERE APPLICABLE AFTER DEMOLITION. MATCH EXISTING, REMOVE LAST EXISTING SHEETS AS REQUIRED (AND BEGIN NEW WALLCOVERING) SO

WALLCOVERING. NEW CARPET INSTALLATIONS SHALL BE BUILDING STANDARD SELECTED BY THE OWNER, UNLESS OTHERWSE NOTED. LOCATE CARPET SEAMS OUT OF HEAVY TRAFFIC AREAS.(SEE SUBMITTALS NOTE). GENERAL CONSTRUCTION

THAT THE ENTIRE WALL PLANE HAS NEW

DOORS USED IN CONNECTION WITH EXITS SHALL BE SO ARRANGED AS TO REMAIN UNOBSTRUCTED AND READILY DPERATIONAL WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE FROM THE SIDE FROM WHICH EGRESS IS MADE. ALL GLAZED DOORS, AND ANY GLAZED PANEL

MTHIN 18" IMMEDIATELY ADJACENT TO ANY DOOR WHEREIN THE SILL OF SUCH GLAZED PANEL IS LESS THAN 18" ABOVE THE FLOOR SHALL BE CONSIDERED "HAZARDOUS LOCATIONS" AND SHALL BE GLAZED WITH TEMPERED GLAZING

CUTTING AND PATCHING: THE CONTRACTOR SH IN EXISTING CONSTRUCTION WHERE REQUIRED FOR NEW CONSTRUCTION. THE CONTRACTOR WILL ARRANGE WITH BUILDING MANAGEMENT FOR THEIR APPROVAL PRIOR TO COMMENCING WITH ANY SUCH WORK, EXISTING CONSTRUCTION WHERE AFFECTED BY DEMOLITION SHALL BE PROPERLY REPAIRED AND ALIGNED SO AS TO LEAVE NO EVIDENCE OF RENOVATION WORK.

PARTITIONS SHALL BE MARKED ON FLOOR FOR THE OWNERS APPROVAL PRIOR TO CONSTRUCTION. THE ARCHITECTURAL DRAWINGS SUPERSEDE ENGINEERING DRAWINGS FOR DESIGN AND LOCATION. IF A CONFLICT OCCURS BETWEEN THE ARCHITECTURAL AND ENGINEERING DRAWINGS. NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

THE CONTRACTOR SHALL VERIEY THAT ALL EXISTING FLOORS ARE IN GOOD AND LEVEL CONDITION, ALL AREAS FOUND NOT SO SHALL BE PATCHED TO ALLOW FOR ND MORE THAN 1/4"

VARIATION IN A 10'-0" SPAN. THE CONTRACTOR SHALL VISIT THE SITE TO

DETERMINE EXACT LOCATIONS AND ELEVATIONS OF XISTING DUCTWORK, PIPING AND FIRE PROTECTION EQUIPMENT AND SHALL BI RESPONSIBLE FOR REMOVAL AND/OR REWORK OF EXISTING ITEMS TO ACCOMMODATE NEW WORK. ALL THERMOSTATS TO BE TAMPER PROOF AND MOUNTED PER THE ADA CODE THE CONTRACTOR SHALL COMPLY WITH BASE BUILDING SPECIFICATIONS FOR ALL STANDARDS OF WORKMANSHIP REQUIRED, METHODS OF CONTROL,

SAFETY DEVICES, ETC. THE MECHANICAL CONTRACTOR SHALL COORDINATE WITH CONTRACTOR THE LOCATION AND SIZE OF OPENINGS IN PARTITIONS FOR PLENUM REQUIREMENTS. THE CONTRACTOR SHALL PROVIDE NEW FIRE DAMPERS IN ANY DUCT CROSSING A FIRE PARTITION WHERE THAT PENETRATION DOES NOT MEET CODE.

WOODWORK AND CABINETRY CUSTOM MILLWORK (WOODWORK AND CABINETRY) SPECIFIED TO BE FURNISHED AND INSTALLED BY A MILLWORK CONTRACTOR. CUT-OUTS IN MILLWORK ITEMS NEEDED BY OTHER CONTRACTORS SHALL BE PERFORMED BY A MILLWORK THE CONTRACTOR TO BE RESPONSIBLE FOR ORDERING AND INSTALLATION OF ALL COVERING IN OR ON CABINET WORK, UNLESS NOTED

THE CONTRACTOR SHALL FIELD VERIFY ALI DIMENSIONS FOR CUSTOM MILLWORK AT SITE PRIOR ORDERING AND/DR FABRICATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISHING ALL MILLWORK ITEMS IN THEIR SHOP. FINISH SHALL MATCH SAMPLE TO BE PROVIDED BY THE ARCHITECT IN COLOR AND GLOSS LEVEL (SEE SUBMITTAL NOTES).

THE CONTRACTOR SHALL PROVIDE AND INSTALL HARDWARE ON MILLWORK ITEMS, UNLESS NOTED OTHERWISE. MILLWORK SHALL BE INSTALLED PLUMB, LEVEL, TRUE AND STRAIGHT WITH OUT DISTORTIONS. USE

CONCEALED SHIMS AS REQUIRED FOR SECURE MILLWORK WITH COUNTERSUNK CONCEALED FASTENERS AND BLIND NAILING AS REQUIRED FOR A COMPLETE INSTALLATION. SHOP DRAWING SUBMITTALS

PRIOR TO FABRICATION, PURCHASE OR INSTALLATION OF ANY PRE-MANUFACTURED ITEMS, SUBMIT (3) SETS OF PRINTS TO THE ARCHITECT INTERIOR DESIGNER OR OWNER FOR APPROVAL.

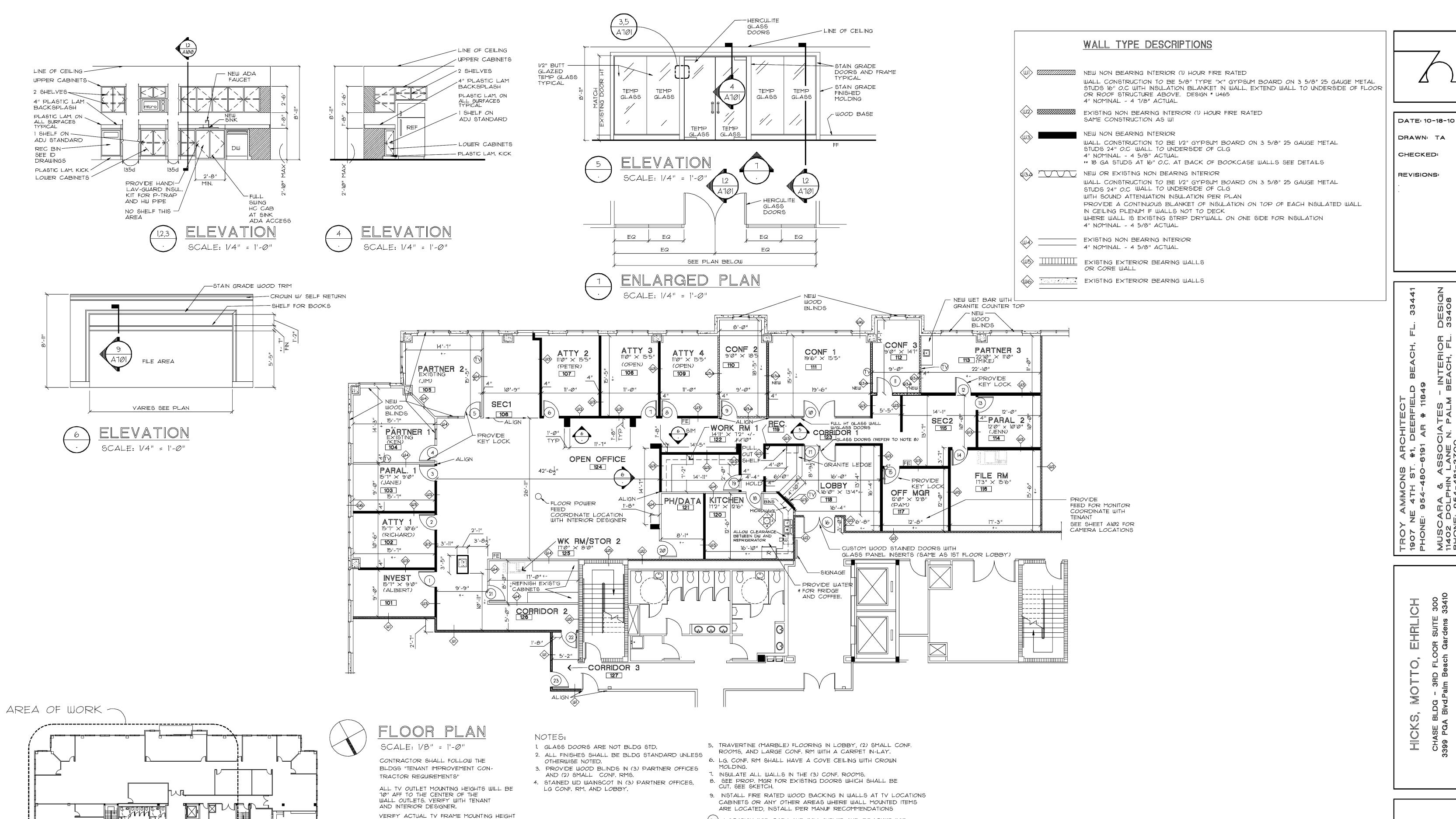
DATE: 10-18-10 DRAWN: TA CHECKED: REVISIONS:

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ISSUE FOR PERMIT

SHEET NO.



WITH TENANT.

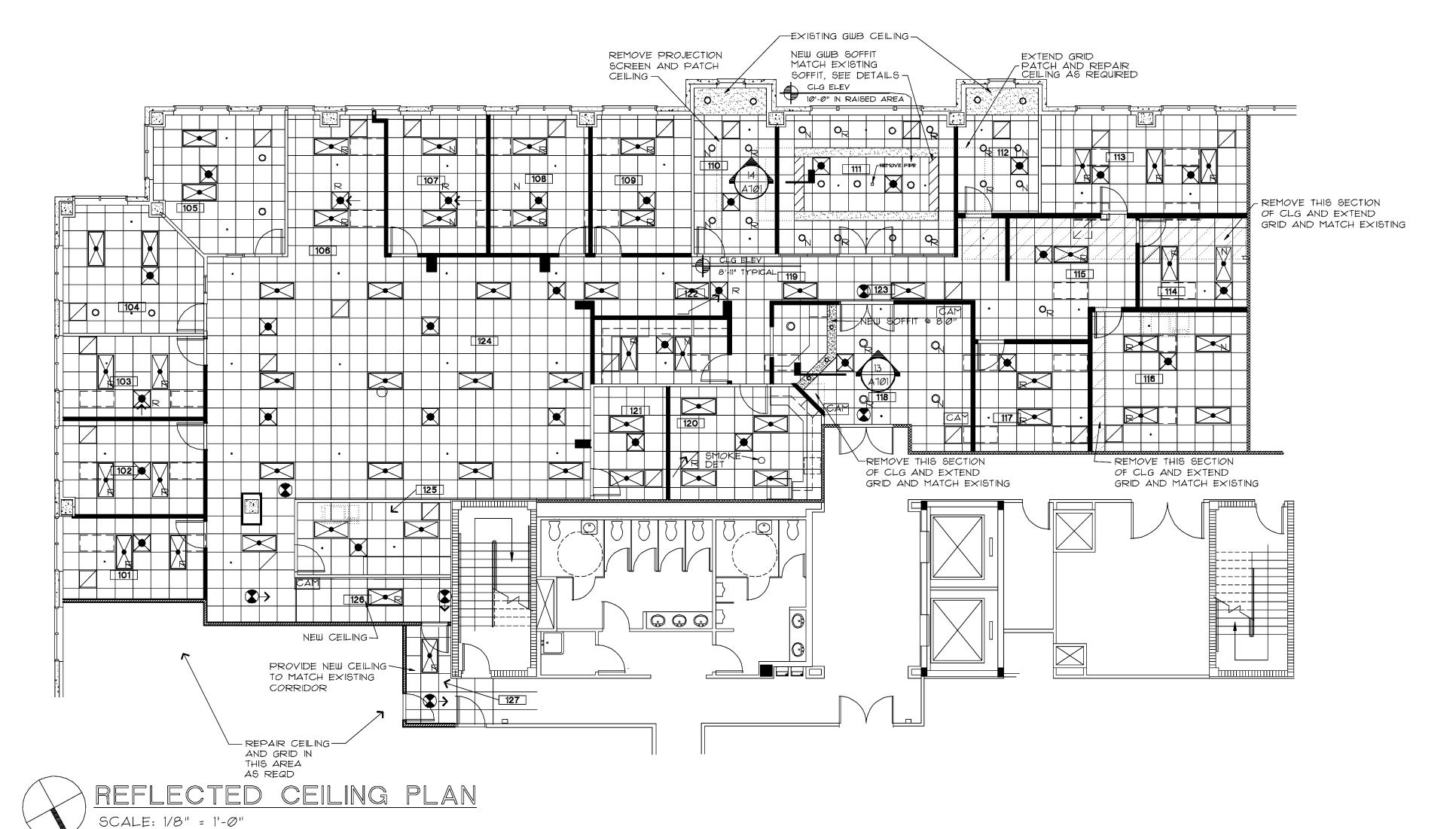
ADA

WATER FOUNTAINS - LOCATION FOR CATV AND 110V OUTLET AND BRACKET FOR WALL MOUNTED LCD TV. OUTLETS AT 10" AFF OR VERIFY WITH I.D./TENANT

FE ADA FIRE EXTINGUISHER

ISSUE FOR PERMIT

SHEET NO.



NOTE: CONTRACTOR SHALL PROVIDE SPRINKLER DRAWINGS FOR PERMIT. SEE ENGINEERING DRAWINGS FOR ACTUAL CEILING FIXTURES.

SEE ENGINEERING DRAWINGS FOR EMERGENCY LIGHTING AND FIRE ALARM DEVICES

1. COORDINATE WITH THE PROPERTY MAINTENANCE FOR FIXTURES ON SITE TO BE USED.

,______

AREA OF WORK -

ADA WATER FOUNTAINS —

<u>LIGHTING LEGEND</u>

2'x2' SUSPENDED LIGHT GRID (WHITE) W/ UPGRADED 2X2 CEILING TILE SEE ID DRAWINGS

2'x4' FLUORESCENT PARABOLIC LIGHT FIXTURE
MATCH EXISTING COLUMBIA P4-243G-49363-3-3E88-2TT

2'x2' FLUORESCENT LIGHT FIXTURE NEW OR RELOCATED

LIGHTED FIRE EXIT SIGN

 \bigcirc JUNCTION BOX

-O- SURFACE MOUNTED INCANDESCENT LIGHT FIXTURE

RECESSED FLUORESCENT LIGHT FIXTURE

RECESSED FLUORESCENT LIGHT FIXTURE WALL WASHER

BATTERY PACK EGRESS EMERGENCY LIGHT

GYPSUM WALLBOARD CEILING @ INTERIOR ON METAL STUDS AT 16" O.C. SUSPENDED FROM DECK ABOVE

AC DIFFUSER
METALAIRE 5800
MATCH EXISTING

AC PLENUM RETURN
ALUMINUM PERFORATED
MATCH EXISTING

 EXISTING SPRINKLER HEAD FA FIRE ALARM DEVICE

PS FIRE ALARM PULL STATION

CAM CAMERA TYPE AND SPECS PROVIDED BY TENANT

R - RELOCATED

DATE: 10-18-10

DRAWN: TA

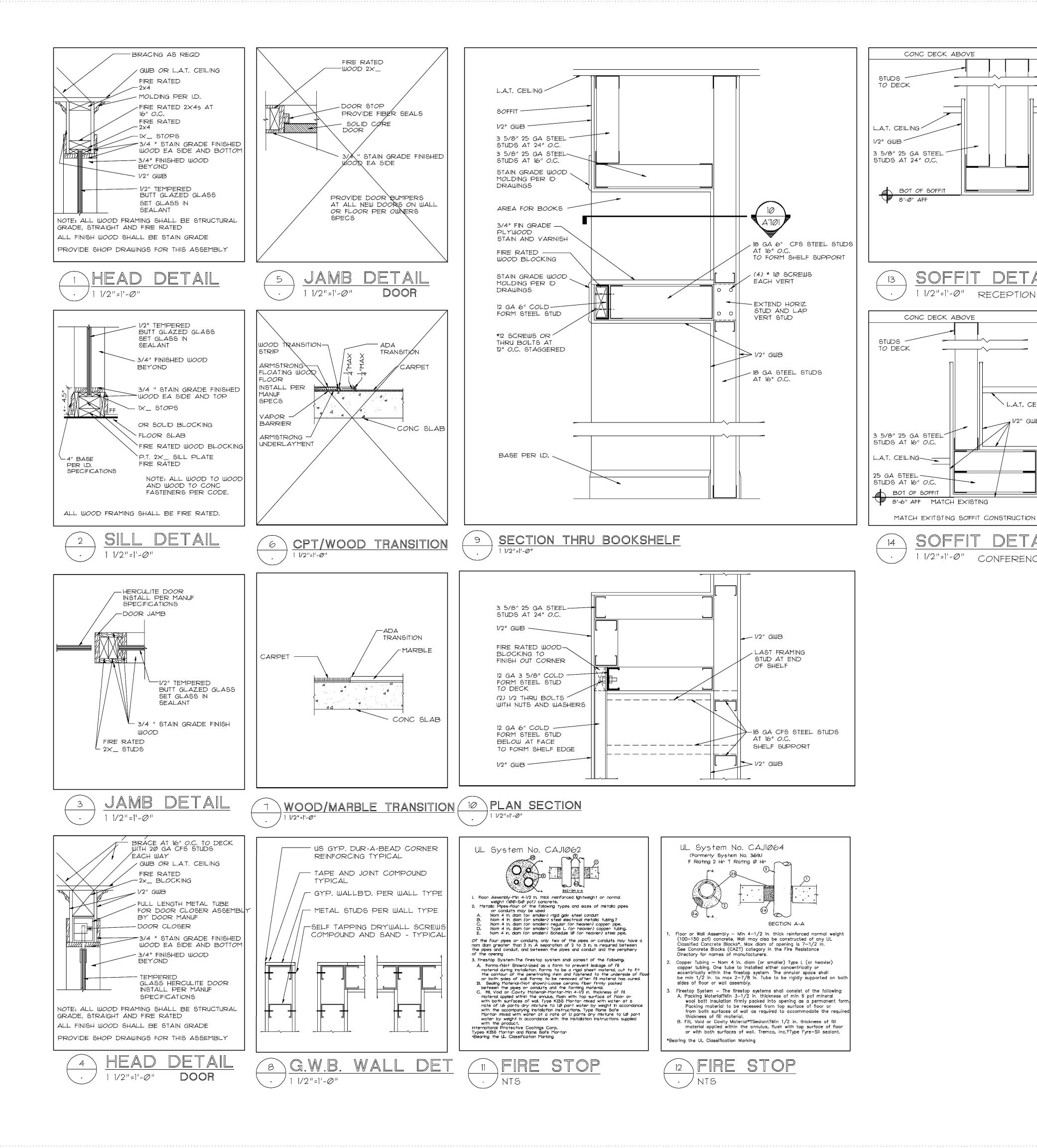
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SHEET NO.



DATE: 10-18-10 DRAWN: TA CHECKED: REVISIONS:

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L.A.T. CEILING

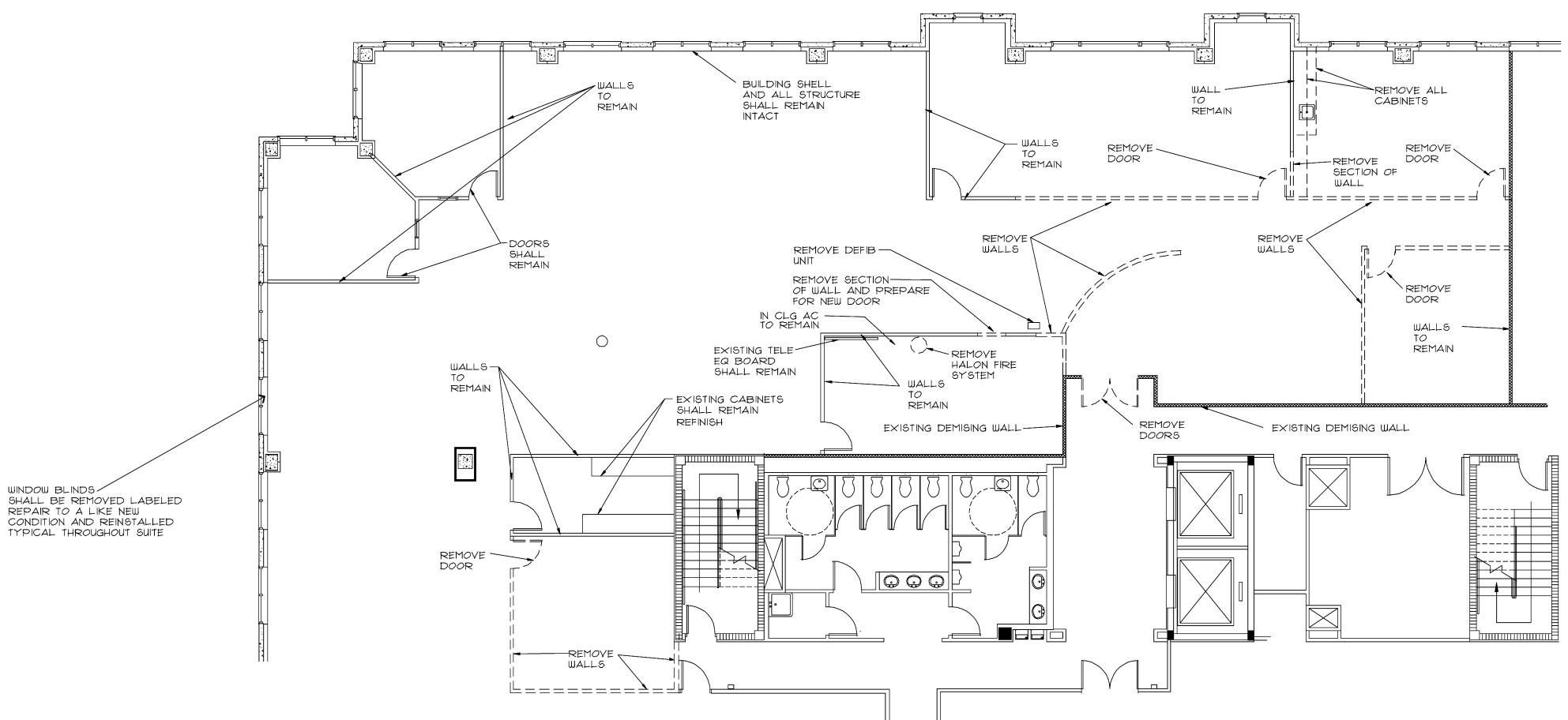
1/2" GWB

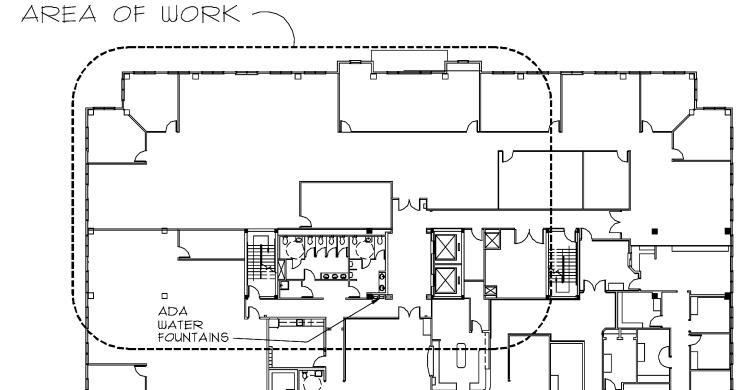
CONFERENCE

EHRLICH HICKS,

> ISSUE FOR PERMIT

SHEET NO. OF 5





DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

NOTE: ALL DOORS TO BE REMOVED, SHALL BE SAVED FOR RELOCATION OR TURNED OVER TO THE OWNER FOR FUTURE USE.

NOTE: REMOVE ALL POWER AND DATA FEEDS TO CUBICLES THAT ARE NOT BEING USED.

NOTE: REMOVE ALL BLANK PLATES AND REPAIR WALL WITH GWB. MATCH EXISTING VERIFY WITH TENANT AND OWNER.



DEMOLITION LEGEND

EXISTING PARTITIONS TO REMAIN

EXISTING WALLS AND HEADERS TO BE REMOVED



EXISTING DOORS TO BE REMOVED

NOTE: REMOVE ALL 110Y OUTLETS, CUBICAL
POWER AND DATA FEEDS, NORMAL TELEPHONE
AND NORMAL DATA OUTLETS NOT SHOWN ON THE
POWER PLAN. AT WALLS COVER WITH BLANK PLATE OR REMOVE BOX AND REPAIR WITH GWB PER OWNERS AND OR TENANTS REQUEST.

AT FLOORS REMOVE ALL POWER/DATA FEED BOXES AND PATCH HOLE WITH EPOXY GROUT. PER CODE

DATE: 10-18-10

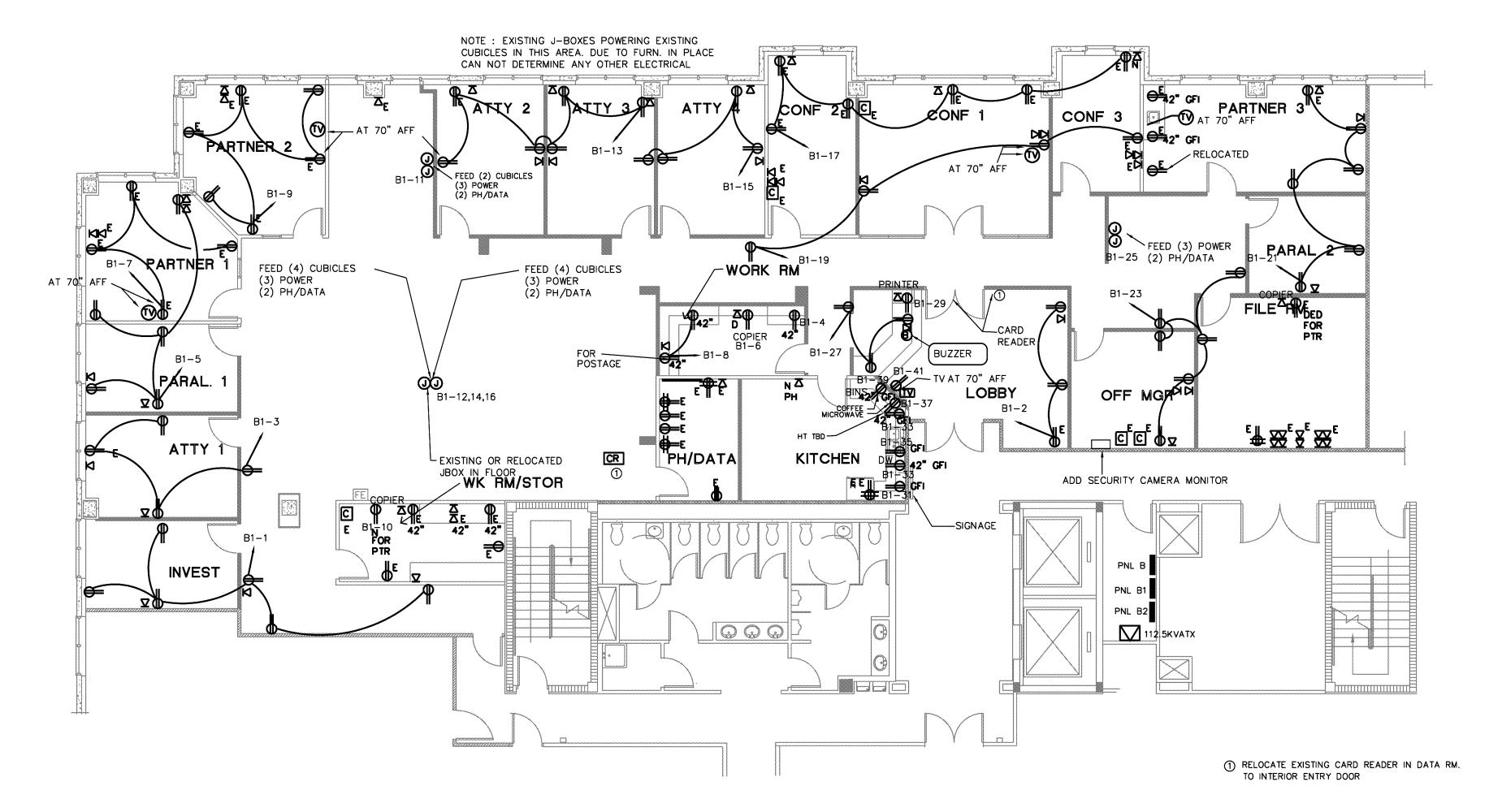
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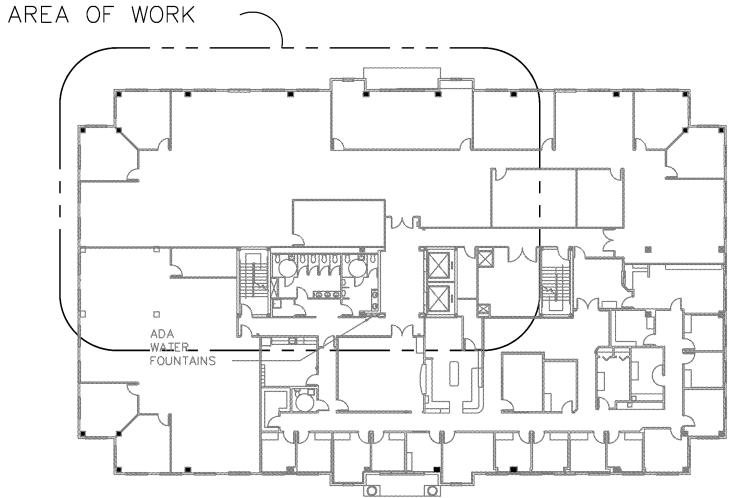
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EHRLICH HICKS,

ISSUE FOR PERMIT

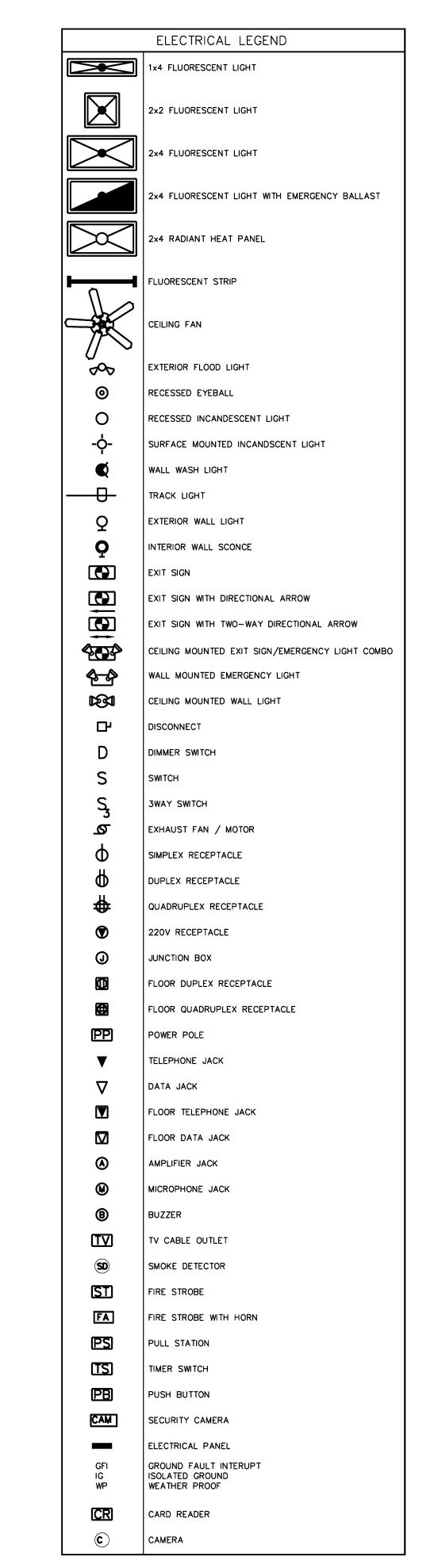
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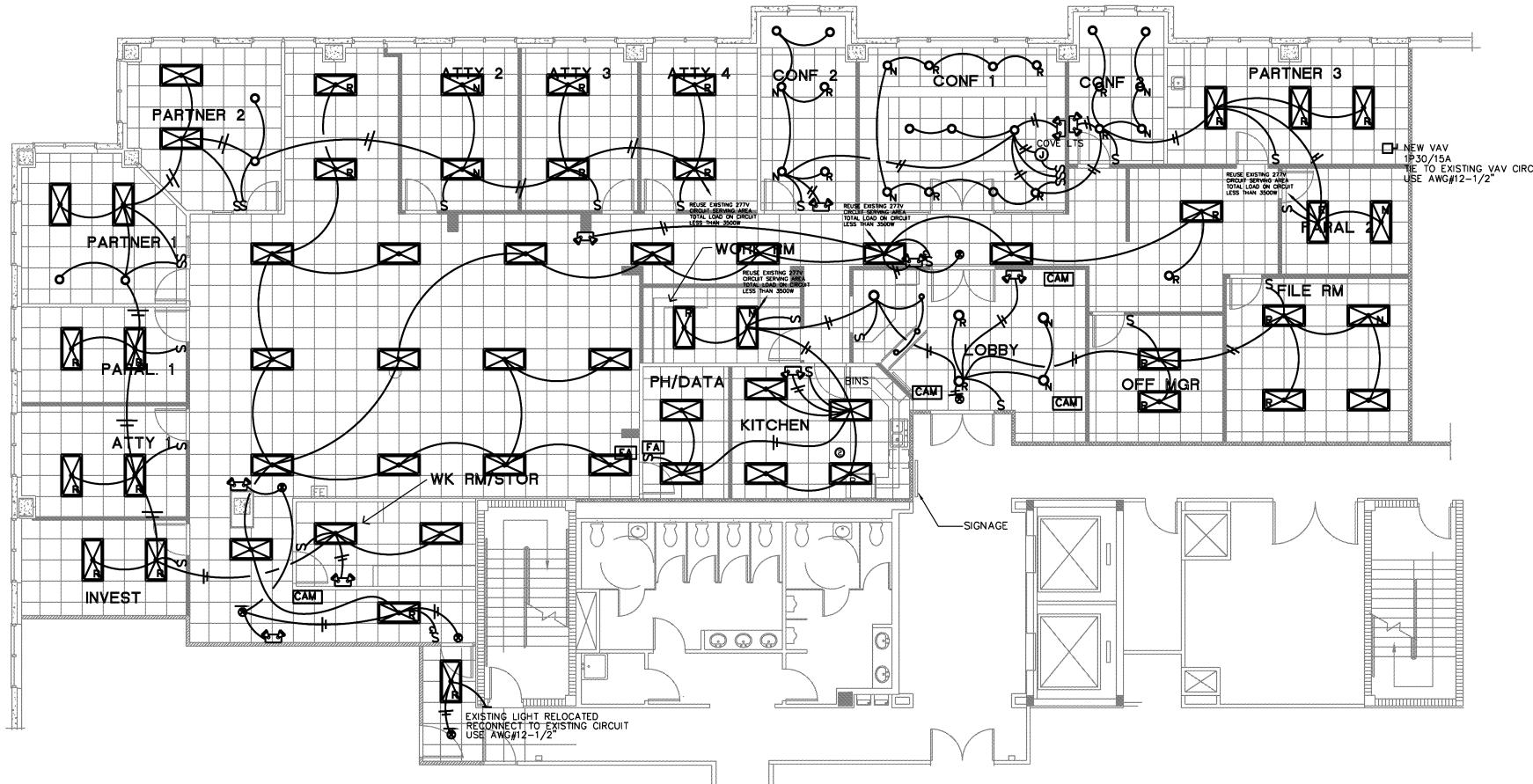
DATE: 10-18-10 DRAWN: TA CHECKED:

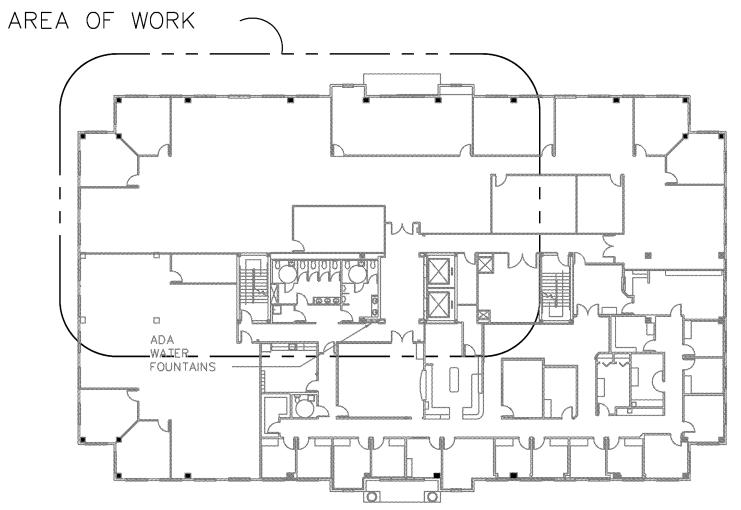
REVISIONS:

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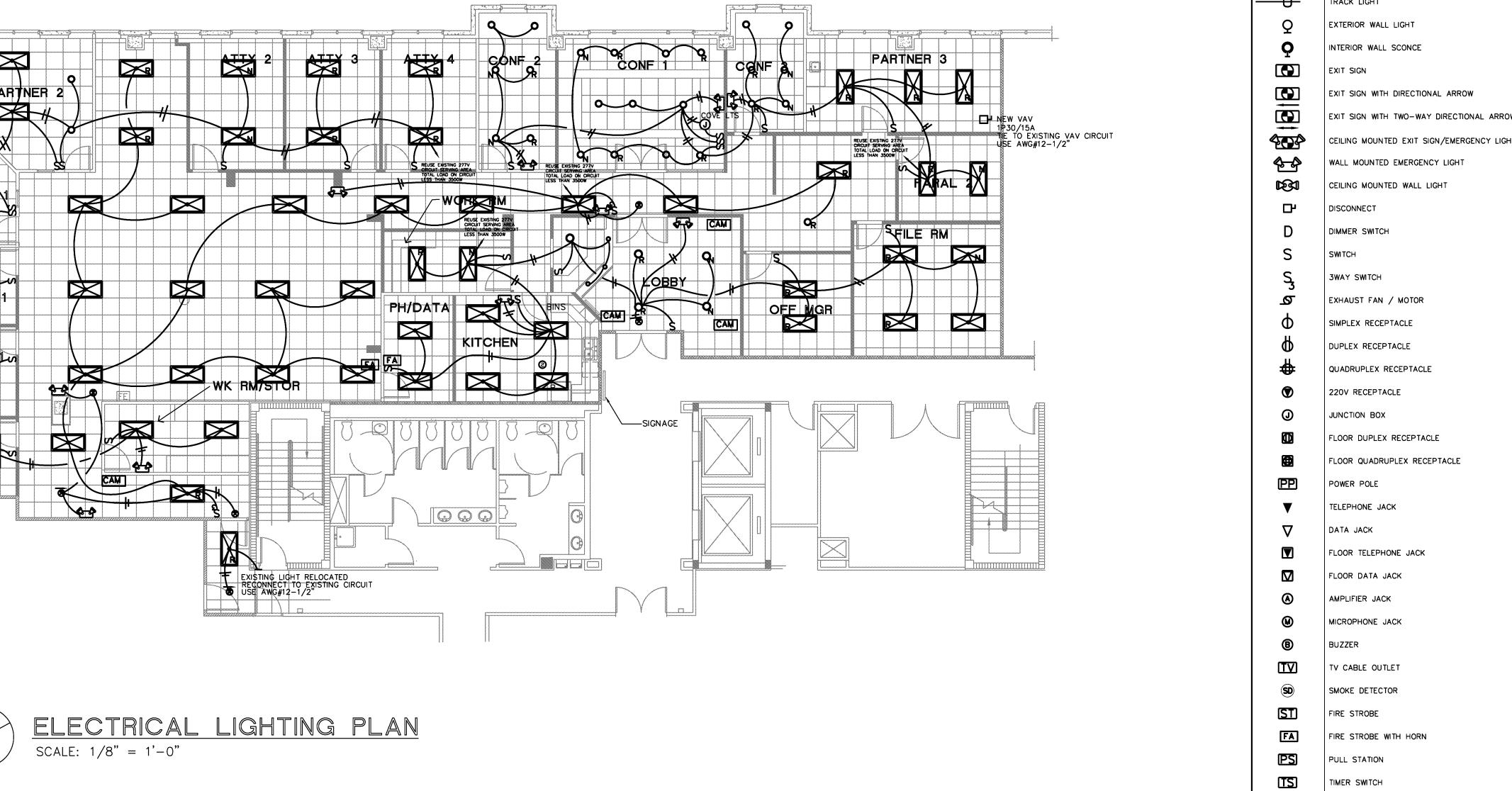
ISSUE FOR CONSTRUCTION

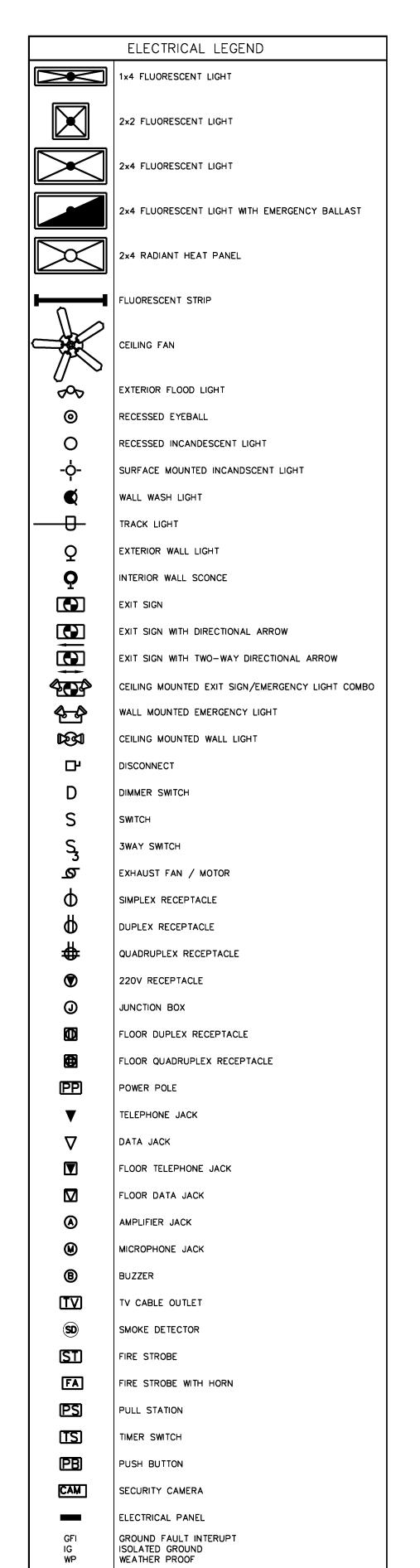
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DATE: 10-18-10

DRAWN: TA

CHECKED:

REVISIONS:

EHRLICH

ISSUE FOR CONSTRUCTION



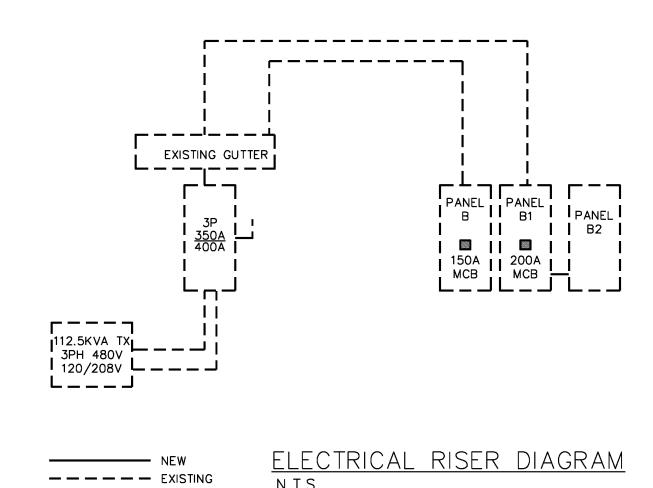
CARD READER

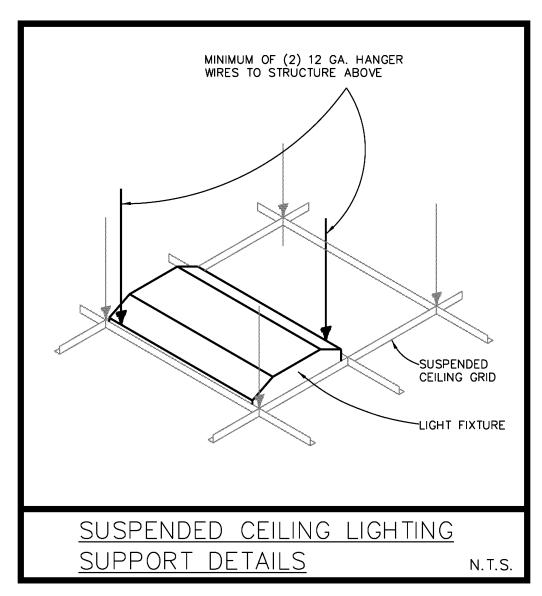
CAMERA

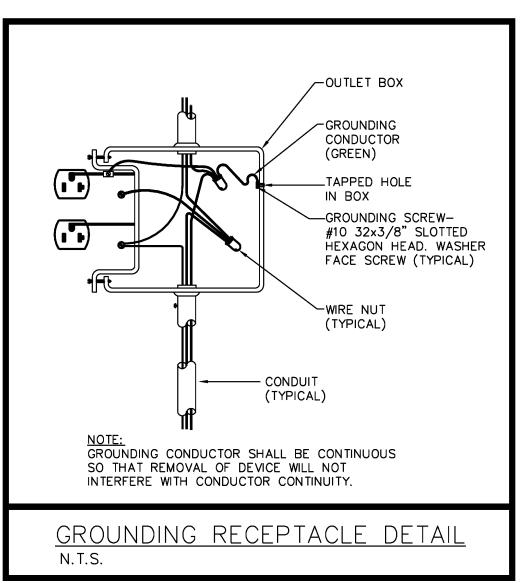
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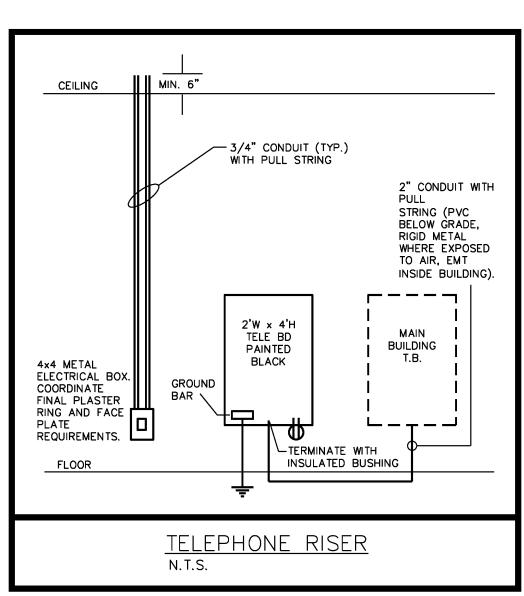
OF.

| PAI | ٧E | L | B1 | | | 20 | ΟA | M | CB | 3ø4W 1 | 20/ | 20 | 8V |
|------|----|-----|-------|------|-----------------|------|-----|-------|------|-------------|-------|----|---------------|
| Wire | Ø | No. | Poles | Trip | Description | Load | No. | Poles | Trip | Description | Load | Ø | Wire |
| 12 | Α | 01 | 1 | 20 | RECEP IVEST | 1080 | 02 | 1 | 20 | LOBBY | 540 | Α | 12 |
| 12 | В | 03 | 1 | 20 | RECEP ATTY 1 | 720 | 04 | 1 | 20 | WORK RM | 900 | В | 12 |
| 12 | С | 05 | 1 | 20 | RECEP PARALL 1 | 720 | 06 | 1 | 20 | COPIER | 1200 | С | 12 |
| 12 | Α | 07 | 1 | 20 | RECEP PARTNER 1 | 900 | 08 | 1 | 20 | WORK RM | 900 | Α | 12 |
| 12 | В | 09 | 1 | 20 | RECEP PARTNER 2 | 1080 | 10 | 1 | 20 | WORK RM | 900 | В | 12 |
| 12 | С | 11 | 1 | 20 | FURN | 540 | 12 | 1 | 20 | FURNITURE | 540 | С | 12 |
| 12 | Α | 13 | 1 | 20 | ATTY 3 | 1080 | 14 | 1 | 20 | FURNITURE | 540 | Α | 12 |
| 12 | В | 15 | 1 | 20 | ATTY 4 | 720 | 16 | 1 | 20 | FURNITURE | 540 | В | 12 |
| 12 | С | 17 | 1 | 20 | ATTY 2 | 1080 | 18 | 1 | 20 | RECEP | 720 | С | Ε |
| 12 | Α | 19 | 1 | 20 | CONF 1 | 720 | 20 | 1 | 20 | RECEP | 720 | Α | Е |
| 12 | В | 21 | 1 | 20 | PARALL 2 | 1080 | 22 | 1 | 20 | RECEP | 720 | В | Ε |
| 12 | С | 23 | 1 | 20 | OFF MRG | 720 | 24 | 1 | 20 | RECEP | 720 | С | Ε |
| 12 | Α | 25 | 1 | 20 | FURNITURE | 360 | 26 | 1 | 20 | RECEP | 720 | Α | Ε |
| 12 | В | 27 | 1 | 20 | LOBBY | 540 | 28 | 1 | 20 | RECEP | 720 | В | Ε |
| 12 | С | 29 | 1 | 20 | PRINTER | 600 | 30 | 1 | 20 | RECEP | 720 | С | Ε |
| 12 | Α | 31 | 1 | 20 | APP | 1000 | 32 | 1 | 20 | RECEP | 720 | Α | E |
| 12 | В | 33 | 1 | 20 | APP | 1000 | 34 | 1 | 20 | RECEP | 720 | В | Ε |
| 12 | С | 35 | 1 | 20 | DW | 900 | 36 | 1 | 20 | RECEP | 720 | С | Е |
| 12 | Α | 37 | 1 | 20 | MW | 1000 | 38 | 3 | 100 | PNL B2 | 28360 | Α | Е |
| 12 | В | 39 | 1 | 20 | APP | 1000 | 40 | - | - | _ | ı | В | Ε |
| 12 | С | 41 | 1 | 20 | TV | 900 | 42 | _ | 1 | _ | _ | С | Ε |
| | | | | | | | | | | PANEL LOAD | | 5 | 9360W 165A |









ELECTRICAL NOTES:

- 1. ALL WORK TO BE DONE ACCORDING TO F.B.C. 2007 W/2009 AMENDMENTS, 2002 NFPA-72, 2006 NFPA-101, 2006 NFPA-1,
- 2. CONTRACTOR TO VISIT SITE AND VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS. NOTIFY ENGINEER OF ANY DISCREPANCIES AT ONCE. FAILURE TO DO SO AND CONTRACTOR PROCEEDS AT HIS OWN RISK.
- MAINTAIN AS-BUILTS ON A DAILY BASIS. SUBMIT 3 COPIES TO ARCHITECT AND OWNER 3 DAYS PRIOR TO ANY REQUIRED INSPECTIONS.
- 4. ALL CONDUIT TO BE METAL EMT INSIDE AND RIGID ON THE EXTERIOR. P.V.C. WILL BE ACCEPTED PROVIDED THAT THE CORRECT GROUND AS PER N.E.C. TABLE 250-66,122 IS INCLUDED WHEN ALLOWED BY CODE. NO PVC WILL BE ALLOWED IN R.A. PLENUMS OR FIRE RATED ASSEMBLIES. ALL MATERIALS IN R.A. PLENUMS TO BE PLENUM RATED.
- 5. CONDUCTOR TO BE COPPER THWN OR THHN. MORE THAN THREE CURRENT CARRYING CONDUCTORS IN A CONDUIT TO BE INSTALLED PER NEC 310.15(B)(2)
- 6. ALL EXTERIOR EQUIPMENT TO NEMA 3R RATED.
- 7. ALL FUSES TO BE BUSSMAN CURRENT LIMITING AT SERVICE ENTRANCE. ALL OTHERS FUSES ACCORDING TO MANU. SPECIF.
- 8. PROVIDE 6 SETS OF SHOP DRAWINGS FOR APPROVAL. NO EQUIPMENT TO BE ORDERED BEFORE SHOP DRAWINGS ARE APPROVED.
- 9. VERIFY ALL NAMEPLATE DATA OF EQUIPMENT FOR PROPER PROTECTION AND LOADS
- PRIOR TO INSTALL OR WIRING.

 10. MAINTAIN A MINIMUM OF 36" IN FRONT OF ALL ELECTRICAL EQUIPMENT. PRIOR
- TO INSTALLING ANY EQUIPMENT COORDINATE WITH OTHER TRADES TO INSURE THAT CLEARANCES ARE MAINTAINED.

 11. CONTRACTOR TO REMOVE ALL TRASH/UNUSED MATERIALS AT THE END OF DAY.
- 12. ALL CONDUITS, FIXTURES, DEVICES TO HAVE GROUND EXTEND AS PER TABLE 250–122 N.E.C.
- 13. POWER TO BE ON CONTINUOUSLY 5 WEEK PRIOR TO COMPLETING PROJECT.
- 14. ALL LOW VOLTAGE CABLING AND SYSTEM ARE THE RESPONSIBILITY OF THE VENDOR
- THAT IS PROVIDING THE SYSTEM INCLUDING PERMITTING.
- 15. CONTRACTOR TO LAMP/RELAMP ALL FIXTURES.16. CONTRACTOR TO VERIFY QUANTITIES OF EXISTING AND NEW DEVICES AND FIXTURES
- REQUIRED TO COMPLETE PROJECT PRIOR TO SUBMITTING BID.

 17. CONTRACTOR TO VERIFY EXISTING CIRCUITS AND MUST PROVIDE NEW PANEL
- SCHEDULES IDENTIFYING ALL CIRCUITS IN PANEL.

 18. NEUTRALS NOT TO BE SHARED. PROVIDE #8 NEUTRAL TO ALL FURNITURE SYSTEMS,
- IF APPLICABLE.
- 19. ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL ALL EQUIPMENT MENTIONED OR NOT TO POWER, DATA AND VOICE TO ALL EQUIPMENT AND SYSTEMS INSTALLED.
- 20. ALL DEVICES TO MATCH BUILDING STANDARD OR BE DECORA SERIES.
- 21. TYPICAL LIGHT SWITCHES TO BE @ 48" A.F.F. ON CENTER. TYPICAL RECEPTACLE TO BE 18" A.F.F. ON CENTER. ALL SWITCHES TO BE GANGED WITH CONTINUOUS FACEPLATES. ALL DEVICES THAT ARE ADJACENT TO BE SPACED 6" ON CENTER.
- 22. ALL ELECTRICAL ELEMENTS TO BE THOROUGHLY PROTECTED FROM DAMAGE AFTER INSTALLATION AND SHALL HAVE TRIM INSTALLED AFTER ADJOINING FINISH MATERIALS ARE INSTALLED.
- 23. AT THE COMPLETION OF THE PROJECT ALL EQUIPMENT, DEVICES AND FIXTURES TO BE CLEANED.
- 24. ALL EMERGENCY AND EXIT LIGHTS ARE TO HAVE A MINIMUM 90 MINUTE BATTERY
- 25. CONTRACTOR IS TO PROVIDE STEP DOWN TRANSFORMERS FOR ALL FANS WHEN REQUIRED.
- 26. NO ALUMINUM CONDUCTOR BUSS WILL BE ALLOWED ALL MUST BE COPPER.

 27. ALL DATA, TEL., TV BOXES TO BE 4x4x2 DOUBLE GANG BOXES. STUB ALL CONDUITS
- WITH LAY IN CEILINGS TO 6" ABOVE CEILING. ALL CONCEALED OR EXPOSED APPLICATIONS TO BE HOME RUN TO MAIN DISTRIBUTION LOCATION.
- 28. CONTRACTOR TO PROVIDE TEMPORARY POWER FOR ALL TRADES.
- 29. NEW ELECTRICAL PANELS TO HAVE BOLT ON BREAKERS.
- 30. NO ELECTRICAL CIRCUITS OR WIRING FROM ADJACENT SPACES TO BE USED IN THIS PROJECT.
- 31. ALL INTERIOR LIGHTING TO HAVE SWITCHES WITH OCCUPANCY SENSORS IN THEM CAPABLE OF STAYING ON NO MORE THAN 30 MINUTES. CIRCUITS WHICH HAVE MOTION SENSORS ON THEM MAY USE STANDARD SWITCHES.

 32. CONTRACTOR TO REMOVE ALL ARANDONED OR LINUSED WRING CONDUIT AND BOXES.
- 32. CONTRACTOR TO REMOVE ALL ABANDONED OR UNUSED WIRING, CONDUIT AND BOXES.
 33. PROVIDE 2" RIGID CONDUIT FROM BUILDINGS MAIN TELEPHONE ROOM COMMUNICATION CENTER AS REQUIRED. COORDINATE CABLE, TV, VOICE AND DATA REQUIREMENTS WITH OWNER TO MEET THEIR REQUIREMENTS.
- 34. VERIFY EXISTING FIRE ALARM HAS SUFFICIENT ROOM FOR EXPANSION AND EQUIPMENT IS STILL READILY AVAILABLE. CONTRACTOR TO PROVIDE COMPLETE SHOP DWGS INCLUDING RISER, CUT SHEETS, BATTERY CALCULATIONS AND ALL OTHER NECESSARY INFORMATION.
- 35. LABEL ALL OUTLETS AND JUNCTION BOXES WITH PANEL AND CIRCUIT NUMBER.
 36. ANY ELECTRICAL EQUIPMENT POTENTIALLY NEEDING ADJUSTMENT, SERVICING, OR
- MAINTENANCE WHILE ENERGIZED MUST BE PLACARED IN ACCORDANCE WITH N.E.C. 110.16.

 37. ALL NIGHT LIGHTS AND EMERGENCY LIGHTS TO BE CONNECTED AHEAD OF ANY CONTROL
- 38. ALL TRANSFORMERS ARE TO HAVE A MINIMUM K-RATING OF K-13. KVA SIZING OF TRANSFORMER IS SHOWN ON THE ELECTRICAL RISER DRAWING.
- 39. ALL CIRCUIT BREAKERS SERVING FURNITURE SYSTEMS MUST BE HANDLE TIED AS PER
- 40. PROVIDE 90 MIN. BATTERY BACK UP FOR NEW AND EXISTING EMERGENCY/NIGHT LIGHTS
- PLEASE REFER LEGEND.

 41. PROVIDE MEAN OF DISCONNECTION FOR ALL LIGHTING FIXTURES AS PER NEC 410.130(G)

DATE: 10-18-10

DRAWN: TA

REVISIONS:

CHECKED:

- INTERIOR DESIGN BEACH, FL. 33408

1907 NE 4TH ST. #1, DEERFIELD BE
PHONE: 954-480-6191 AR # 11849

MUSCARA & ASSOCIATES - INTI

CHASE BLDG - 3RD FLOOR

999 PGA Blvd.Palm Beach Gardens 334

ISSUE FOR CONSTRUCTION

SHEET NO

loucks engineering inc.

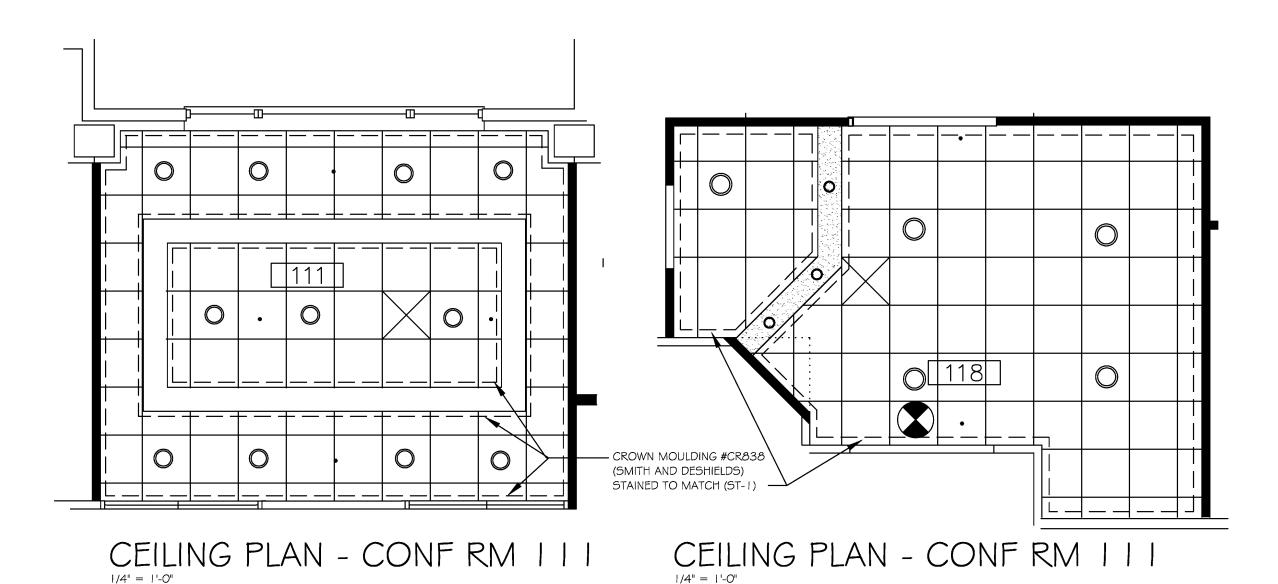
consulting engineers

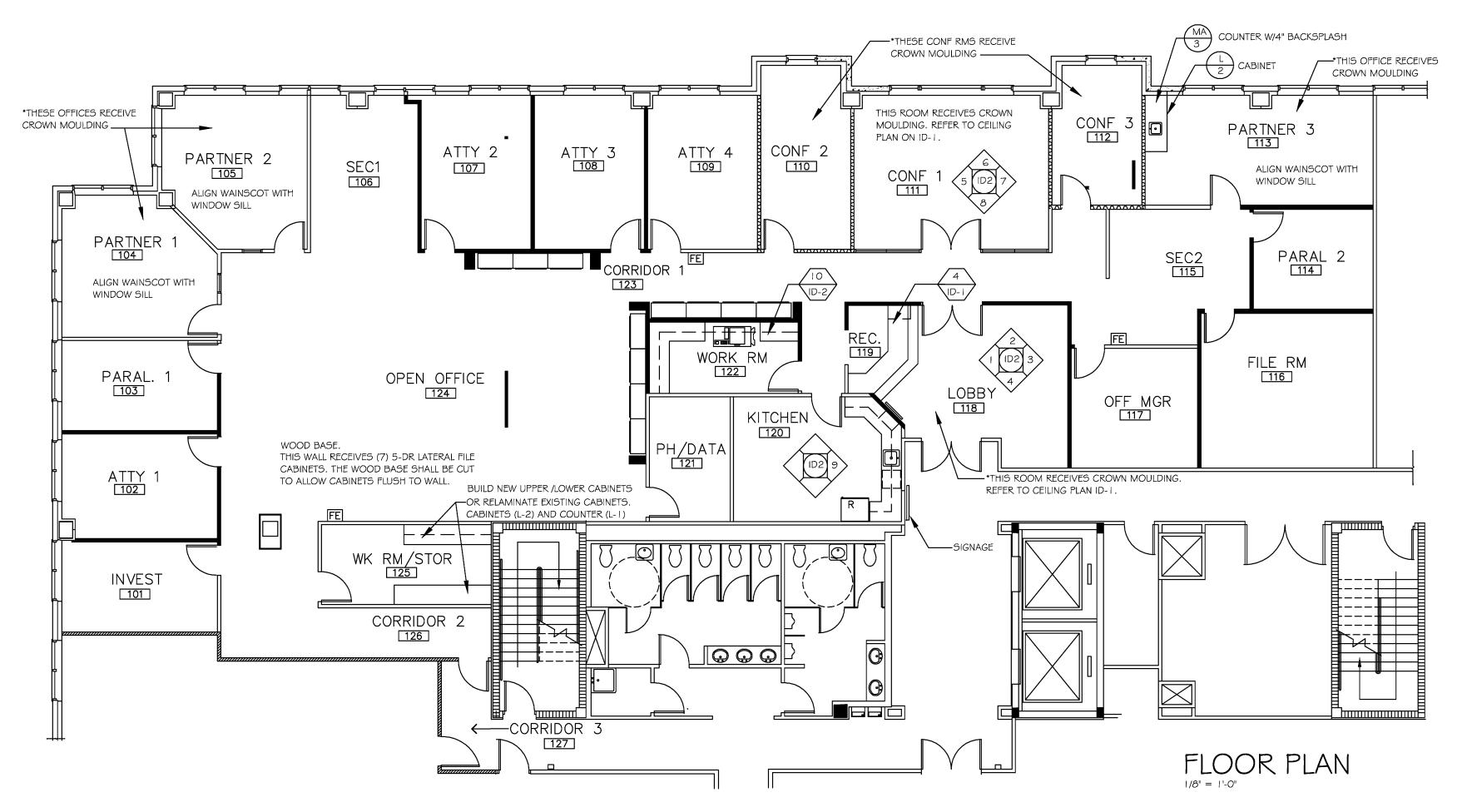
4520 ne. 18th ave. ste. 200, flauderdale, fl. 33334 TEL. (954) 938-1881 FLA. REG. +E8-0003306

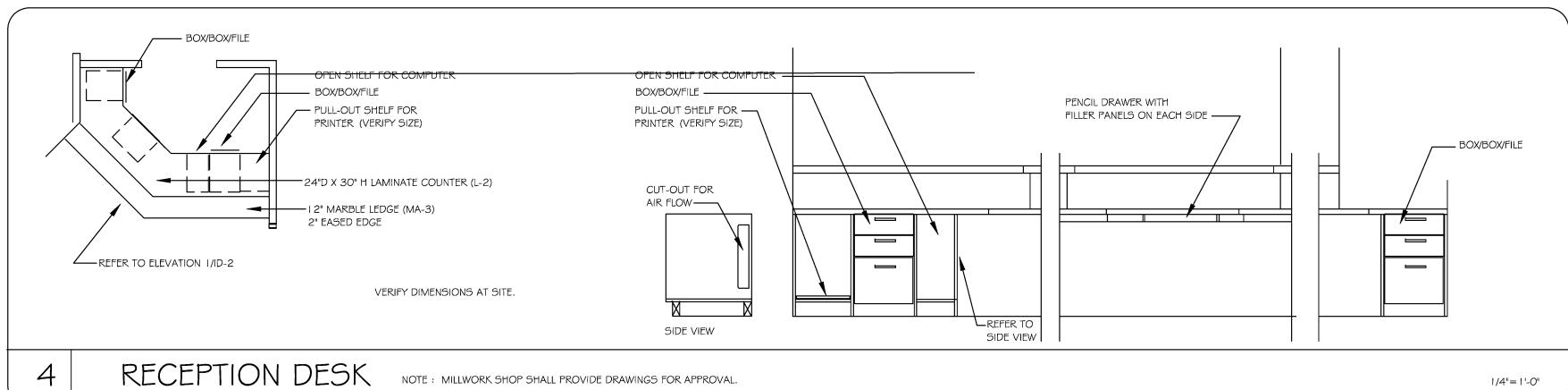
E. PILHUJ P.E. FL REG 49832 F. DESNOR P.E. FL REG 62459 E3

OF.

ELECTRICAL DETAILS AND NOTES
SCALE: N.T.S.

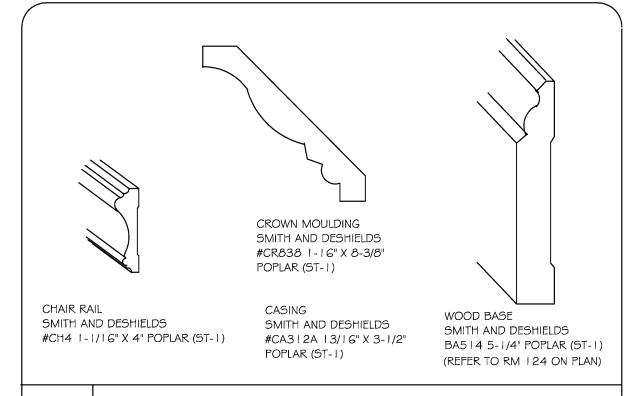






ROOM FINISH SCHEDULE | FLR |BASE | WALL ROOM REMARKS 101 INVESTIGATOR CA-I WD-I 102 ATTORNEY I WD-I 103 | PARALEGAL I CA-I WD-I WAINSCOTING PERIMETER OF RM REFER TO (4 / ID-1) 104 PARTNER I CA-I WD-I PT-1/WD WAINSCOTING PERIMETER OF RM REFER TO (4 / ID-1) 105 PARTNER 2 WD-1 CA-I WD-I 106 SECRETARY CA-I WD-I 107 ATTORNEY 2 108 ATTORNEY 3 CA-I WD-I 109 ATTORNEY 4 CA-I WD-I WAINSCOTING PERIMETER OF RM REFER TO FLOORING PLAN CONFERENCE 2 PT-1/WD WC-2 WAINSCOTING PERIMETER OF RM CONFERENCE ! REFER TO FLOORING PLAN WAINSCOTING PERIMETER OF RM 112 | CONFERENCE 3 MA-I WD-I PT-1/WD REFER TO FLOORING PLAN PT-1/WD WAINSCOTING PERIMETER OF RM REFER TO (4 / ID-1) 113 PARTNER 3 CA-I WD-I 114 PARALEGAL 2 CA-I WD-I 115 SECRETARY 2 CA-I WD-I 116 FILE ROOM VT-I WL-I CA-I WD-I 117 OFFICE MANAGER REFER TO FLOORING PLAN PT-1/WD 118 LOBBY 119 RECEPTIONIST CA-I WD-I VT-1/ VT-2 VYL-1 120 KITCHEN REFER TO FLOORING PLAN VT-I VYL-I 121 | PHONE / DATA WORK ROOM VT-I VYL-I 123 CORRIDOR CA-I WD-I 124 OPEN OFFICE CA-I WD-I VT-I VYL-I 125 WORK RM / STORAGE CA-I WD-I 126 | CORRIDOR 2 127 CORRIDOR 3 CA-3 WD-2 WC-1 ARREVIATIONS

| AT | ACOUSTICAL TILE | М | MIRROR | VYL | VINYL BASE |
|----|-----------------|----|----------------|-----|--------------|
| CA | CARPET | МА | MARBLE | VT | VINYL TILE |
| L | LAMINATE | ST | STAIN | WD | WOOD |
| PT | PAINT | Т | TILE (CERAMIC) | wc | WALLCOVERING |
| | | | • | • | |



MILLWORK DETAILS

LOCATION

CHASE BUILDING

3399 PGA BLVD. SUITE 300 PALM BEACH GARDENS, FLORIDA

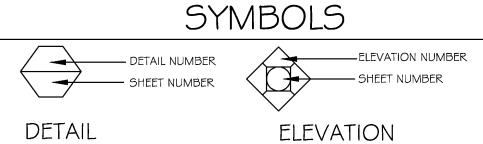
GENERAL NOTES

CONTRACTORS SHALL HAVE VISITED THE SITE AND VERIFIED CONDITIONS PRIOR TO BIDDING. NO ALLOWANCE SHALL BE MADE.

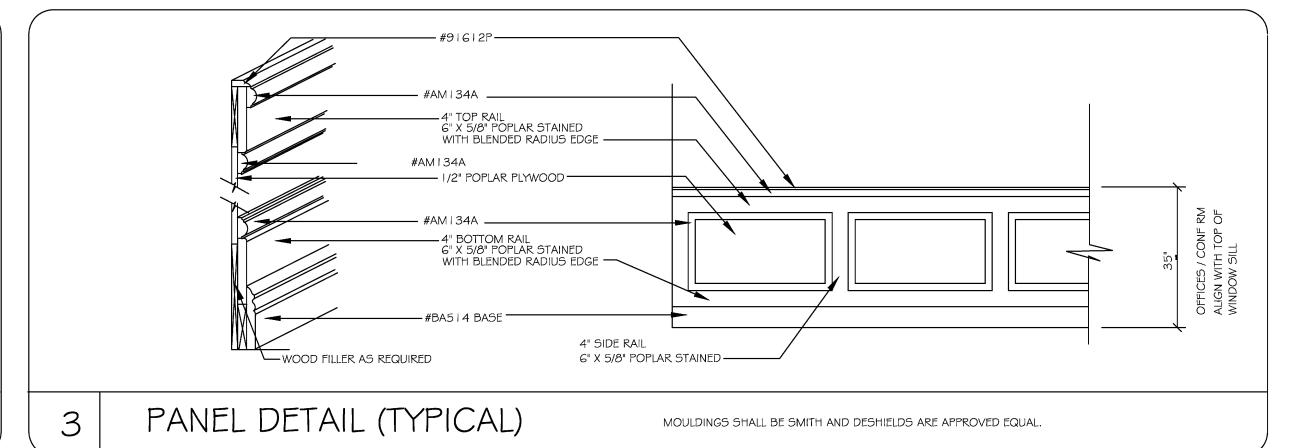
- 2. WORK SHALL BE COMPLETED IN A NEAT AND WORKMANLIKE MANNER.
- 3. CONTRACTOR SHALL VERIFY DIMENSIONS AND SITE CONDITIONS AND NOTIFY DESIGNER OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- 4. CONTRACTOR SHALL BECOME FAMILIAR WITH ALL OF THE CONSTRUCTION POLICIES AND PROCEDURES ESTABLISHED BY THE LANDLORD, AND SHALL COORDINATE HIS ACTIVITIES WITH THE OWNERS REPRESENTATIVE.
- 5. DRAWINGS SHALL NOT BE SCALED.
- 6. ALL SURFACES SHALL BE PROPERLY PREPARED TO RECEIVE SPECIFIED FINISHES PER MANUFACTURERS WRITTEN SPECIFICATIONS.
- 7. CONTRACTOR SHALL REMOVE DEBRIS AND RUBBISH DAILY, LEAVE JOB CLEAN UPON COMPLETION OF WORK, INCLUDING CLEANING OF FIXTURES, HARDWARE, AND GLASS, REMOVING OF STAINS, DIRT, DUST AND PAINT, AND POLISHING OF ALL FINISHED FLOORS AND CABINETRY.

| | FIN | IISH SCHEDULE |
|--------|-------------------------------|---|
| TAG | DESCRIPT. | SPECIFICATION |
| CA-I | CARPET | PATCRAFT: SWEET #10049-493 2 SWEET WINE ECO SOLUTION Q NYLON SOLUTION DYED |
| CA-2 | CARPET | PATCRAFT: URBAN LEGENDS #10 28-288 5 GAS PUMP BOYCOTT 100% SOLUTION DYED CUT / LOOP |
| CA-3 | CARPET (PUBLIC CORR) | BIGELOW #UFFIZI BC 49-7836 RAPHAEL (VERIFY WITH MANAGEMENT) |
| L-I | LAMINATE | FORMICA: #3526-77 TRAVERTINE (HONED FINISH) |
| L-2 | LAMINATE | FORMICA: #7759-43 SELECT CHERRY |
| MA-I | MARBLE/GRANITE | CREME MARFIL 24" X 24" INSTALLED PER MFG. RECOMMENDATIONS. |
| MA-2 | MARBLE/GRANITE | TRAVERTINE DARK WALNUT |
| МА-З | MARBLE/GRANITE | GIALLO TOPAZIO (SOLID PIECE FOR LEDGE) |
| PT-1 | PAINT | BM #OC-10 WHITE SAND - FLAT FINISH |
| PT-2 | PAINT | BM #HC-11 NANTUCKET GRAY - EGSHEL FINISH |
| | | |
| ST-1 | STAIN | CHERRY - FIDDLESTONE (SAMPLE PROVIDED) |
| VT-I | VINYL TILE | AMERICAN TILE: NOVA SERIES #527 (OR APPROVED EQUAL) 12" X 12" 1/8 GA. |
| VT-2 | VINYL TILE | AMERICAN TILE: NOVA SERIES #533 (OR APPROVED EQUAL) 12" X 12" 1/8 GA. |
| VYL- I | VINYL BASE | JOHNSONITE #49 BEIGE (OR APPROVED EQUAL) |
| WC-I | WALLCOVERING (PUBLIC CORR) | EYKON : CIRQA SELECTION III #G3 -206 - TYPE 20 OZ. (VERIFY WITH MANAGEMENT) |
| WC-2 | WALLCOVERING | EYKON: IMPROMPTU #AZ5 820 M HOPSACK |
| WD-1 | WOOD BASE | REFER TO DETAIL WOOD BASE DETAIL - (ST-1) |
| WD-2 | WOOD BASE | 6" WOOD FACTORY FINISHED CHERRY WOOD TO MATCH EXISTING |
| WINDOW | BLINDS : EXISTING SHALL BE | REMOVED AND LABELED, PUT IN STORAGE, THEN RE-INSTALLED. |

*NOTE: ALL FLOORING SHALL HAVE PROPER TRANSITION FROM ONE FINISH TO ANOTHER. CARPET MARBLE AND CARPET TO VINYL TILE.



WOOD BLINDS: TRENDS FAUXWOOD BY PLASTIBEC (OR APPROVED EQUAL)



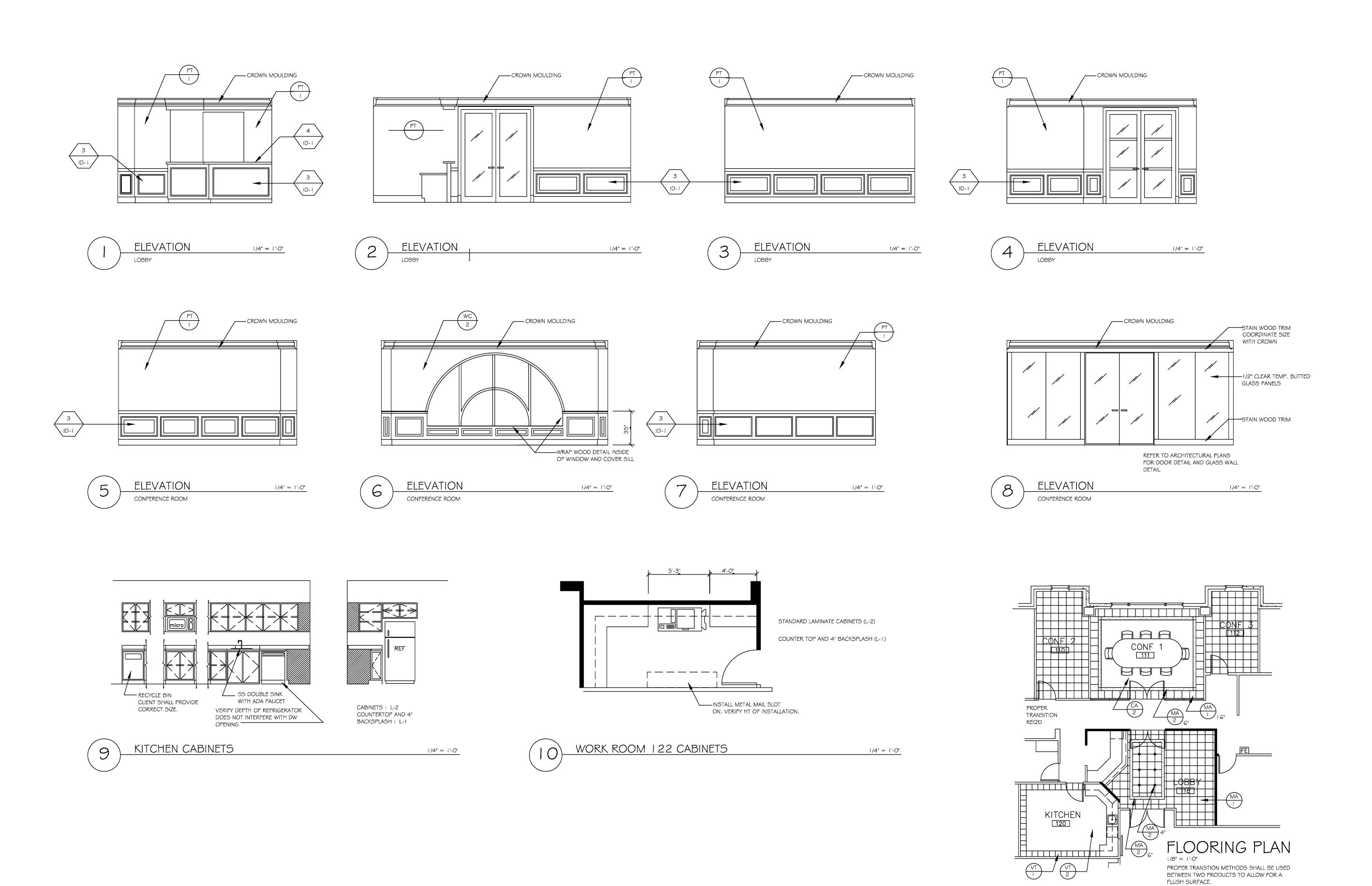
REVISIONS

SEAL

MUSCARA & ASSOCIATES, 11402 Dolphin Lane North Palm Beach, FL 33408 (561) 630-7733 / (561) 662-2 bunnymuscara@aol.com FLA LICENSE:1B 0000708

CHASE BUILDING HICKS, MOTTO & EHRLICH PALM BEACH GARDENS, FLORIDA

BMF AS NOTED 10/20/10 B NUMBER: #50110/03



REVISIONS

IN C. MUSCARA & ASSOCIATES, I 11402 Dolphin Lane North Palm Beach, FL 33408 (561) 630-7733 / (561) 662-20 bunnymuscara@aol.com FLA LICENSE:1B 0000708

CHASE BUILDING HICKS, MOTTO & EHRLICH Palm beach gardens, florida

BMF AS NOTED 10/20/10 OB NUMBER: #50110/03

ID-2

DATE: 10-18-10 DRAWN: TA CHECKED: REVISIONS:

H.V.A.C. LEGEND

NEW FIBERGLASS DUCTWORK

EXISTING FLEX TO BE REMOVED

EXISTING DIFFUSER

NEW FLEX WITH SPIN IN COLLARS/M.V.D.

NEW OR RELOCATED DIFFUSER

EXISTING RETURN AIR GRILLE

SPIN IN COLLAR W/M.V.D.

SMOKE DETECTOR THERMOSTAT FIRE DAMPER

RETURN AIR GRILLE EXHAUST FAN RELOCATED

REMOVE AND/OR REUSE

EXIST. R.A.

EXIST. R.A.F.D.

NEW/RELOCATED RETURN AIR GRILLE

DIFFUSER TO BE RELOCATED/REMOVED

RETURN TO BE REMOVED/RELOCATED

EXISTING FLEX

EXISTING FIBERGLASS DUCTWORK

===

EEB

loucks engineering inc.

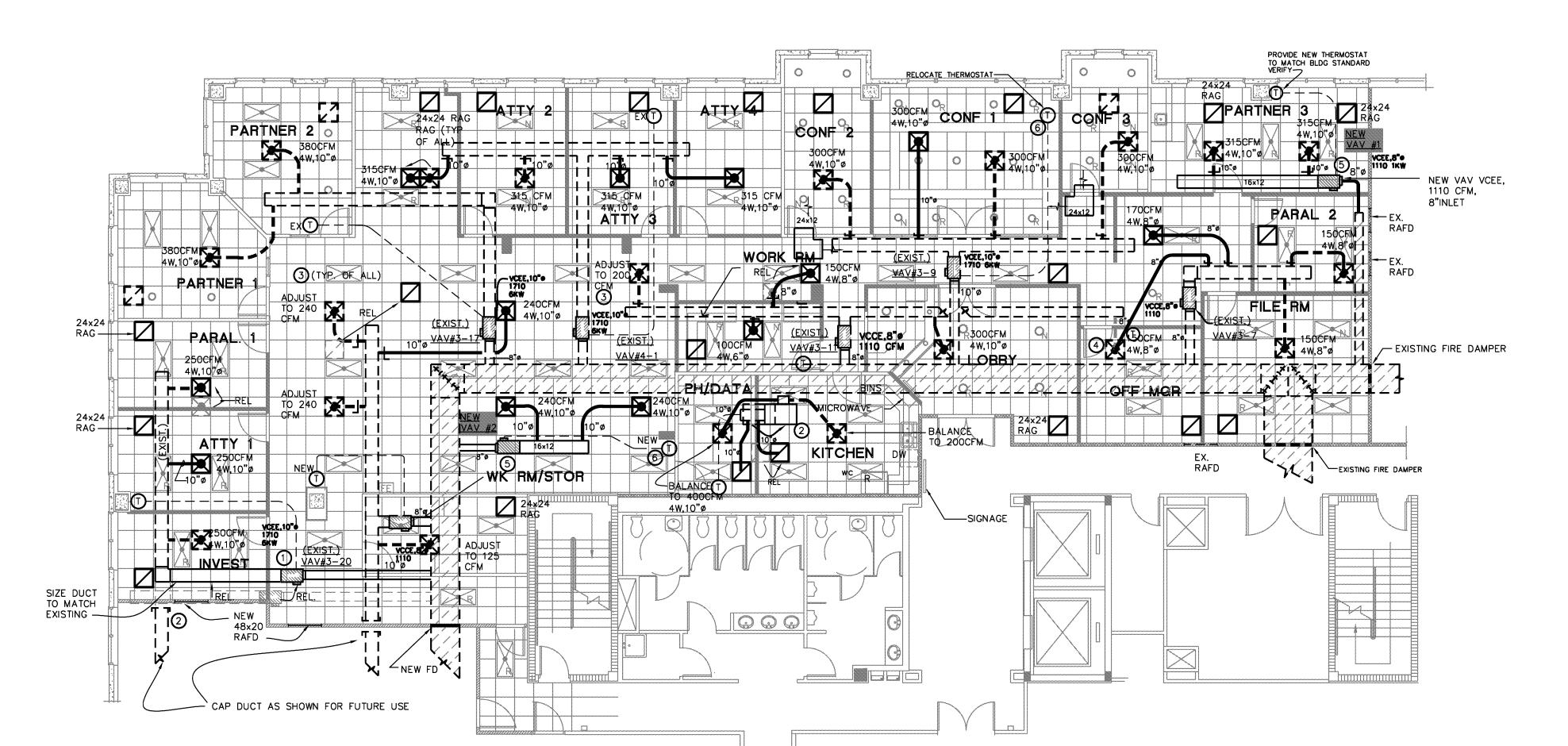
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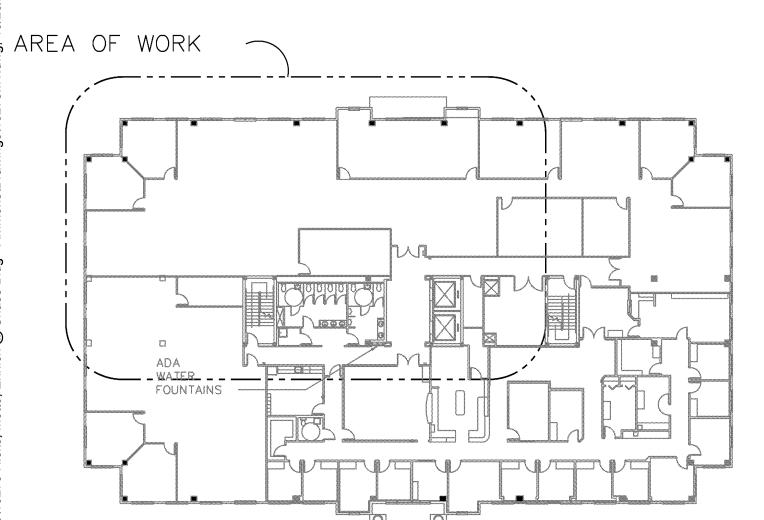
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DRAWING NOTES:

1 RELOCATE EXISTING VAV AND DUCT TO CLEAR DEMISING WALL AS SHOWN.

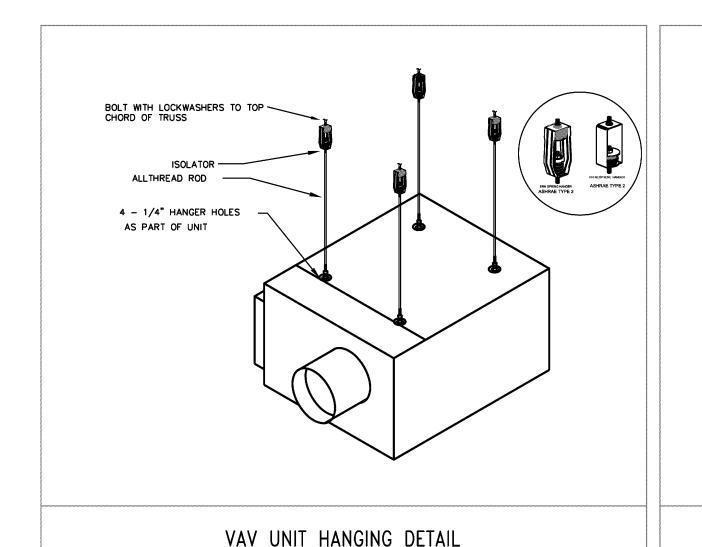
2 RELOCATED 1.5 TON MINIMATE IN KITCHEN TO CLEAR WALL BETWEEN PH/DATA AND KITCHEN

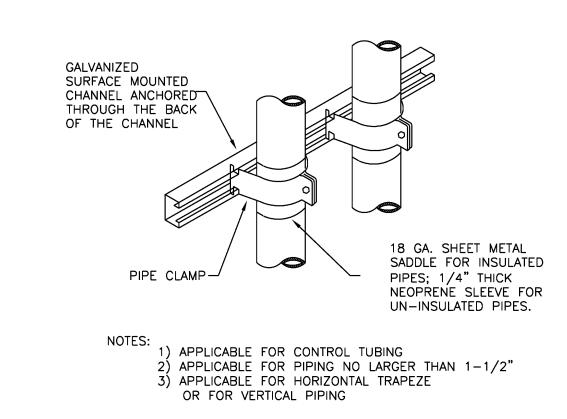
WHEN AJUSTING AIR QUANTITY IN DIFFUSERS, CHECK THE FLEXIBLE DUCT SIZE AND INCREASE DUCT SIZE ACCORDINGLY.

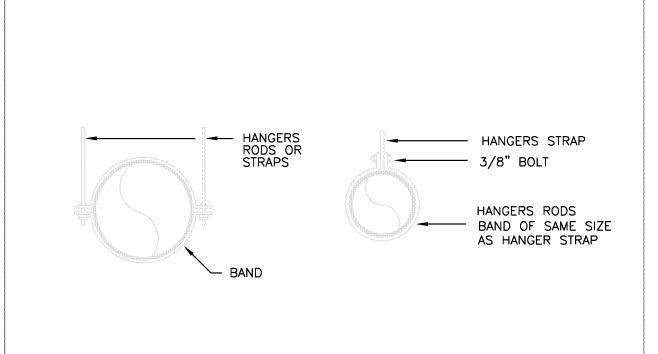
OFFICE MANAGER: DISCONNECT SUPPLY DIFFUSER IN FROM VAV 3-9 AND TIE IT TO VAV3-7 BY FILE

5 NEW VAV'S FOR PARTNER 3 & OPEN AREA BY WK RM/STOR:

6 PROVIDE NEW THERMOSTAT TO MATCH BUILDING

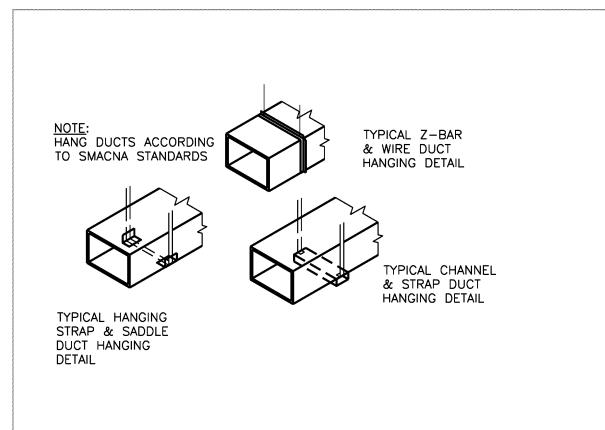


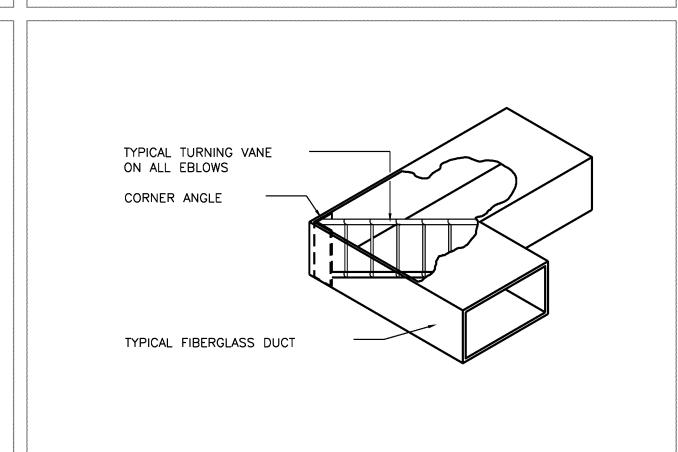


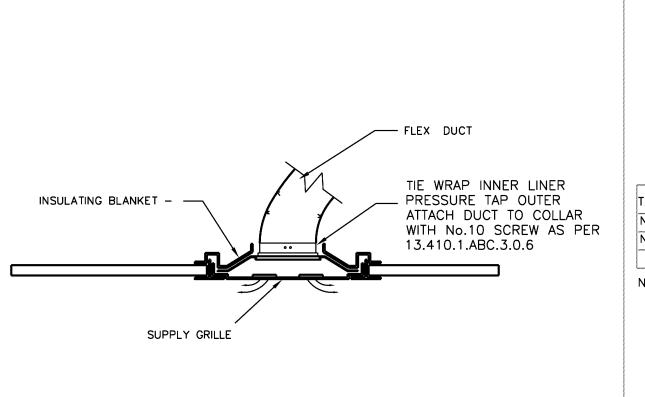


PIPE, TUPE SUPPORT - DETAIL

DUCT HANGERS / SUPPORTS - DETAIL



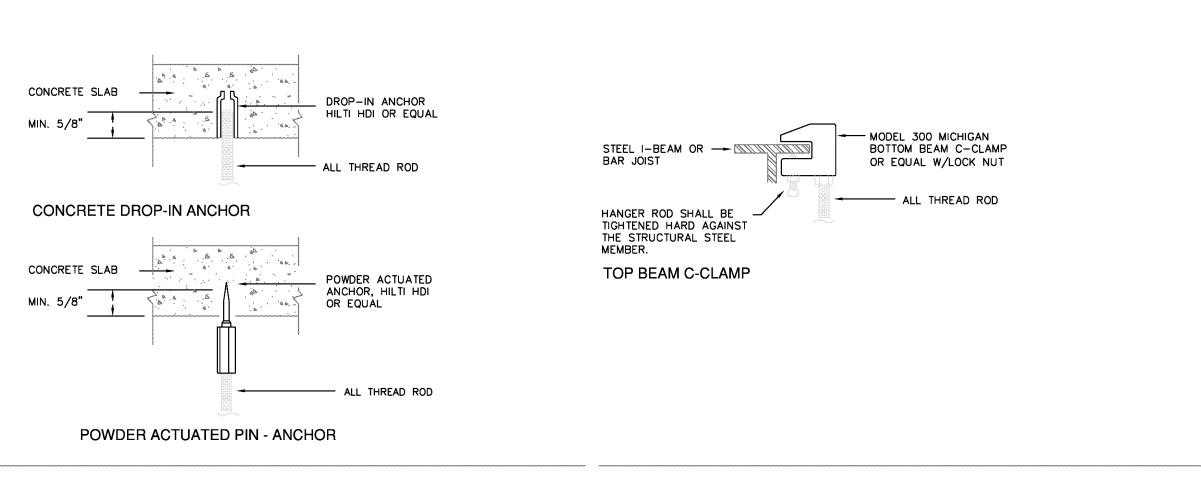


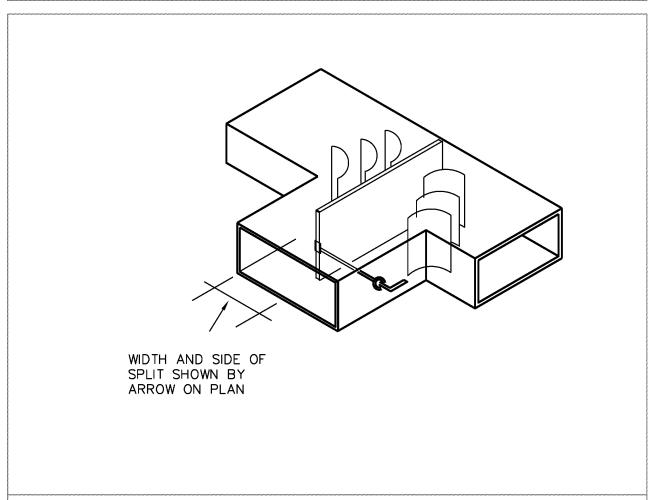


DUCT HANGING DETAIL

ELBOW TURNING VANE DETAIL

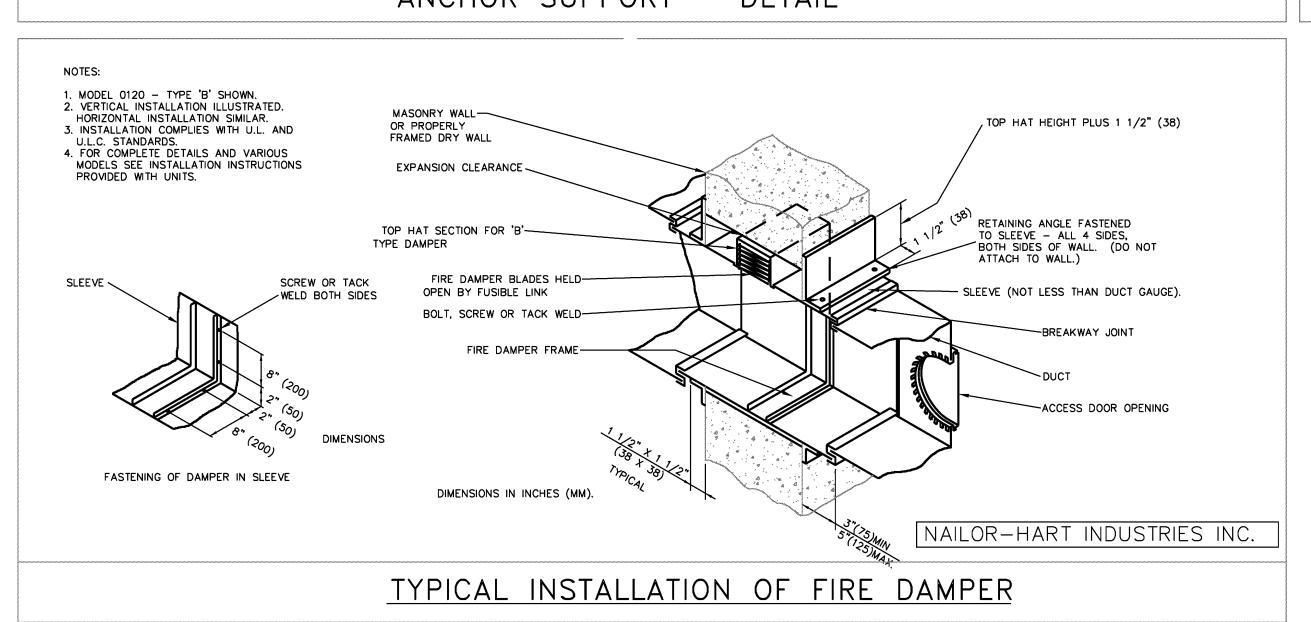
AIR GRILLE DETIAL





ANCHOR SUPPORT - DETAIL

TYPICAL VANED SPLIT NTS



H.V.A.C. NOTES:

AC SYTEM:

EXISTING VAV SYSTEM PLUS (2) NEW VAV'S, ONE IS LOCATED IN OFFICE PARTNER #3 AND THE OTHER IN OPEN AREA BY WK RM/ STOR. FOR SPECIFICATION SEE BELOW.

OFF'S.

<u>DUCTWORK:</u>
S.M.A.C.N.A. MEDIUM PRESSURE GALVANIZED DUCT, PROVIDE 1.5" R=6 INNER LINER. 48" O.C. ALL TURNS AND TRANSITIONS MASTIC SEAL ALL SEAMS AND JOINTS.

RIGID - FOIL FACED BACKED FIBERGLASS R=6 AT 1.5", SUPPORTED 48" O.C., AT ALL TURNS, TURNS AND

TRANSITIONS. TAPED AND MASTIC SEALED ALL SEAMS.

FLEX- U.L. CLASS ONE AIR DUCT. R6 SUPPORT 48" O.C.. PROVIDE SPIN IN COLLARS WITH M.V.D. WHEN ACCESSIBLE OR WITH SCOOP WHEN NOT ACCESSIBLE. TIE WRAP INNER LINER TWICE AND TAPE AND MASTIC SEAL OUTER LINER TAKING CARE NOT TO COMPRESS INSULATION.

TYPICAL SUPPLY BRANCH WITH CONICAL TAP, ROUND TO RECTANGULAR TRANSITION TO RECTANGULAR DIFFUSER.

GALVANIZED RECTANGLE DUCT OR ROUND SNAP LOCK METAL DUCT WILL BE INSTALLED WITH DUCT SUPPORTS AT 48 INCHES ON CENTER, INSULATE WITH R=6 FOIL FACED INSULATION WRAP U.L. AS REQUIRED.

NOTE: ALL FRESH AIR, OUTSIDE MAKE AIR TO BE INSULATED WITH 1.5" DUCT WRAP, PROVIDE COLLARS AT BRANCH TAKE

MATCH BUILING STANDARDS. RETURN GRILLES: MATCH BLDG. STANDARD. MATCHES EXISTING EQUIPMENT FIRE DAMPER: NAILOR-HART OR EQUAL

VAV-SCHEDULE

| | | • • • • | | <u> </u> | | | | 11 OPENING AND DUCT TRAVELING THROUGH FIRE RATED WALL, TENANT |
|-----------|-------------------|----------------|-----------|-----------|----------|--------------|---------|---|
| TAG NO | LOCATION | MODEL TRANE | INLET(IN) | CFM RANGE | HEAT(KW) | CFM REQUIRED | VOLT | DEMISING WALL, MECHANICAL AND ELECTRICAL ROOM, WALL AND FLOOR PARTITION, FLOOR AND ROOF SLAB SHALL BE INSTALLED WITH "B"—FIRE |
| NEW VAV#1 | PARTNER #3 OFFICE | VCEE | 8"ø | 250-900 | 1 | 630 | 208/3PH | DAMPER. |
| NEW VAV#2 | BY WK RM/STOR | VCCE | 8"ø | 250-900 | NO HEAT | 480 | _ | 12-DIFFUSERS, SUPPLY AND RETURN GRILLES, CEILING EXHAUST FAN, INSTALLED |
| | | | | | | | _ | IN FIRE RATED CEILING SHALL BE PROVIDED WITH RADIATION DAMPER. |

NEW VAV TO BE TIED TO BUILDING AUTOMATION SYSTEM BY TRANE.

FRSH AIR CALCULATION

SATISFY THIS REQUIREMENT.

OFFFICE: 5801 SQ.FT 5801 SQ.FTx7P/1000SQ.FTx 20 CFM/P = 812 CFM TOTAL OUTSIDE AIR REQUIRED IS 812 CFM CONTRACTOR TO ADJUST THE EXISTING SYSTEM TO

GENERAL MECHANICAL NOTES

- 1- ALL WORK EXECUTED UNDER THIS OFFICIAL DOCUMENTS SHOULD BE PERFORMED BY A LICENSED AND INSURED MECHANICAL CONTRACTOR AND BE IN COMPLIANCE WITH THE LATEST FLORIDA BUILDING CODE (FBC), SHEET METAL & AIR CONDITIONING CONTRACTOR'S ASSOCIATION (SMACNA) STANDARDS, AND ALL OTHER APPLICABLE STATE AND LOCAL CODE.
- 2- ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANSHIP MANNER TO PRODUCE A COMPLETE SYSTEM THAT IS FULLY BALANCED, AND ADHERED TO ALL APPLICABLE CODE AND REGULATIONS.
- 3- MECHANICAL CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE THAT THE COMPLETE SYSTEM INSTALLED IS FREE OF DEFECTS OF MATERIALS AND WORKMANSHIP FOR A PERIOD OF A YEAR AFTER THE WORK IS COMPLETE AND TURNED TO THE OWNER.
- 4- THE MECHANICAL CONTRACTOR IS RESPONSIBLE TO OBTAIN HIS OWN PERMIT AND PAY ALL PERMIT AND INSPECTION FEES.
- 5- AT THE COMPLETION OF THE PROJECT THE CONTRACTOR IS RESPONSIBLE TO PROVIDE A SET OF PRINTS CLEARLY MARKED AND DEPICTED ALL AS-BUILT CONDITIONS TO THE ENGINEER FOR RECORD.
- 6- CONTRACTOR SHALL PAY SPECIAL ATTENTION TO OWNER EQUIPMENT, FURNITURE, AND CARPETING TO PREVENT CONTAMINATION BY COVERING AND WRAPPING FURNITURE AND EQUIPMENT. ALL WASTE AND DEBRIS SHALL BE REMOVE AT THE END OF EACH DAY TO MAINTAIN ACCEPTABLE INDOOR AIR QUALITY LEVEL DURING THE CONSTRUCTION.
- 7- ANY PORTION OF EXISTING BUILDING (FLOOR, WALL, CEILING, OR ROOF) THAT IS AFFECTED BY EITHER REMOVAL, RELOCATION OR INSTALLATION OF A NEW EQUIPMENT SHALL BE REPAIRED AND MATCHED FINISHED EXISTING CONDITIONS ACCORDING TO ARCHITECTURAL DRAWINGS OR SPECIFICATIONS.
- 8- WHEREVER DUCT RUNS THROUGH STRUCTURAL ELEMENT SUCH AS BEAM PRECAUTION SHALL BE TAKEN TO COORDINATE WITH OTHER TRADES TO RELOCATE OR TO PROVIDE NECESSARY SLEEVE BEFORE CONCRETE IS BEING
- 9- SUPPLY 6 COPIES OF SHOP DRAWINGS FOR REVIEW TO ARCHITECT. NO EQUIPMENT IS TO BE ORDERED PRIOR TO THEIR APPROVAL.
- 10-MECHANICAL CONTRACTOR TO PROVIDE TWO (2) COMFORT BALANCE VISITS
- TO SUIT THE NEEDS OF THE CLIENTS.
- _ OPENING AND DUCT TRAVELING THROUGH FIRE RATED WALL, TENANT DEMISING WALL, MECHANICAL AND ELECTRICAL ROOM, WALL AND FLOOR PARTITION, FLOOR AND ROOF SLAB SHALL BE INSTALLED WITH "B"-FIRE
- IN FIRE RATED CEILING SHALL BE PROVIDED WITH RADIATION DAMPER. SUPPLY AND RETURN DIFFUSER SHALL BE METAL*AIRE BZZU FIRE RATED.
- 13- H.V.A.C. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A FULLY OPERATIONAL AND BALANCED SYSTEM THAT ADHERES TO ALL APPLICABLE CODES AND REGULATIONS.
- 14-CONTRACTOR TO PROVIDE CERTIFIED TEST AND BALANCE OF ALL SYTEMS, INCLUDING BUT LIMITED TO HOODS SUPPLIES AND EXHAUST.

SITE VISIT

- 1- MECHANICAL CONTRACTOR IS DULY REQUIRED TO VISIT PROJECT SITE AND VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS. HE OR SHE SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY AT ONCE. FAILURE TO DO SO, THE MECHANICAL CONTRACTOR IS PROCEEDING AT HIS OWN RISK.
- 2- DESIGN THAT IS CALLED FOR NEW DUCT OR PIPING TO BE CONNECTED TO EXISTING SYSTEM REQUIRES THE CONTRACTOR TO VERIFY EXISTING DUCT & PIPING SIZE BEFORE FABRICATION AND INSTALLATION.
- 3- WHENEVER INTERFERENCE OR CONFLICT OCCURS WITH THE PROPOSED DESIGN, BEFORE PROCEEDING TO ANY CHANGE OR DEVIATION FROM THE EXISTING BID, THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR THE CHANGE INCLUDED A DETAILED DRAWING FOR APPROVAL FROM ARCHITECT/ ENGINEER.
- 4- CONTRACTOR SHALL CONSULT WITH STRUCTURAL ENGINEER WHEN CUTTING OR MAKING OPENING IN ANY BUILDING COMPONENT. CONTRACTOR SHALL VERIFY THAT STRUCTURAL INTEGRITY OF THE BUILDING IS NOT BEING COMPROMISED.
- 5- POST TENSION STRUCTURAL SLAB:
- NO CUTTING OR DRILLING SHALL BE TAKEN PLACE WITHOUT THE X-RAY OF THE SLAB OR THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER OF THE BUILDING.

EXISTING HVAC SYSTEM

- 1- MECHANICAL CONTRACTOR MUST CHANGE THE AIR FILTER IN ALL WORKING AIR CONDITIONING UNIT DURING CONSTRUCTION EVERY 21 DAYS OR LESS DEPENDING ON THE AMBIENT ENVIRONMENT TO PREVENT AIR CONTAMINATION. EQUIPMENT FAILURE SUCH AS BEARING FAILURE, DAMPER MALFUNCTION, ETC...
- 2- AFTER CONSTRUCTION MECHANICAL CONTRACTOR IS TO VACUUM THOROUGHLY THE MECHANICAL ROOM TO REMOVE ALL DUSTY PARTICLES, INSPECT AND REPLACE AIR FILTERS, BEARINGS OR BELTS FOR OPTIMAL UNIT OPERATION.
- 3- WHEN REUSE EXISTING AIR CONDITIONING THE CONTRACTOR MUST CLEAN THE COOLING AND THE CONDENSER COILS, CHECK AND ADJUST REFRIGERANT CHARGE TO ENSURE PROPER UNIT FUNCTION, VERIFY THE EXISTING CONDENSATE PIPING IS IN GOOD WORKING CONDITION, AND MAKE NECESSARY REPAIR. CONTRACTOR SHALL CHECK ALL ELECTRICAL COMPONENTS, TIGHTEN ALL ELECTRICAL CONNECTIONS FOR PROPER OPERATION.
- DETERIORATED DUCTWORK AND CEILING INSULATION SHALL BE REPLACED. 4- ALL EXISTING DUCTWORK SHALL BE THOROUGHLY INSPECTED AND REPAIRED REMOVED EQUIPMENT THAT IS NOT BEING USED SHALL BE RETURNED TO
- 5- TO ENSURE AIRTIGHT SYSTEM AND COMPLIANCE WITH SMACNA. DECAYED AND 6- ANY EQUIPMENT THAT WAS TEMPORARY DISCONNECTED WITH RESPECT TO A REMOVAL OF ANY OTHER DEVICE SHALL BE RECONNECTED TO THE
- 7- CONTRACTOR SHALL VERIFY EXISTING AIR CONDITIONING AND HEATING SYSTEM ITS PERFORMANCE RANGE WITH RESPECT TO ITS VOLUME CAPACITY.

EXISTING SYSTEM AND VERIFIED THAT IT IS FULLY OPERATED.





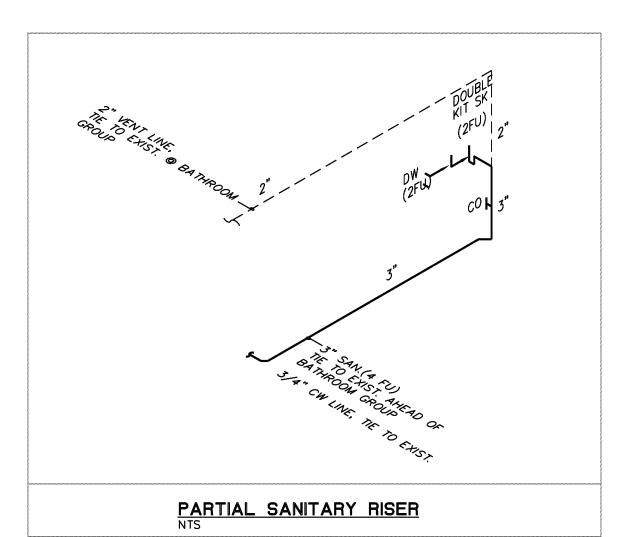
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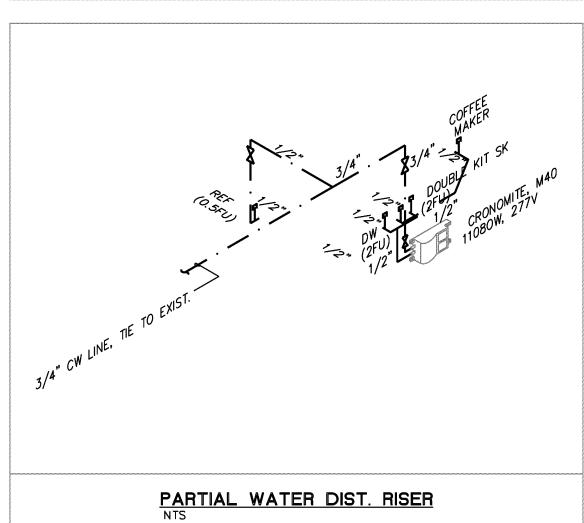
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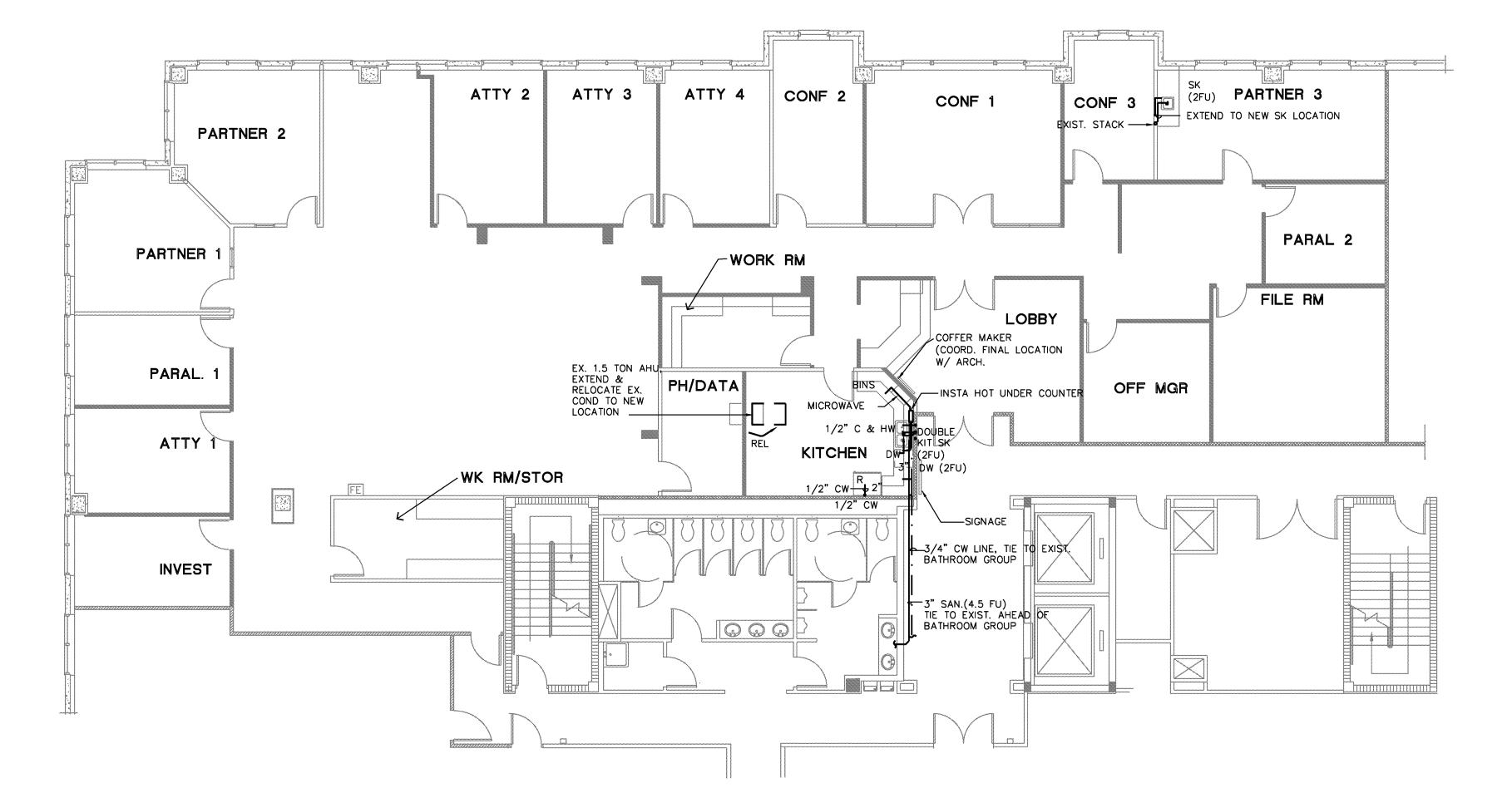
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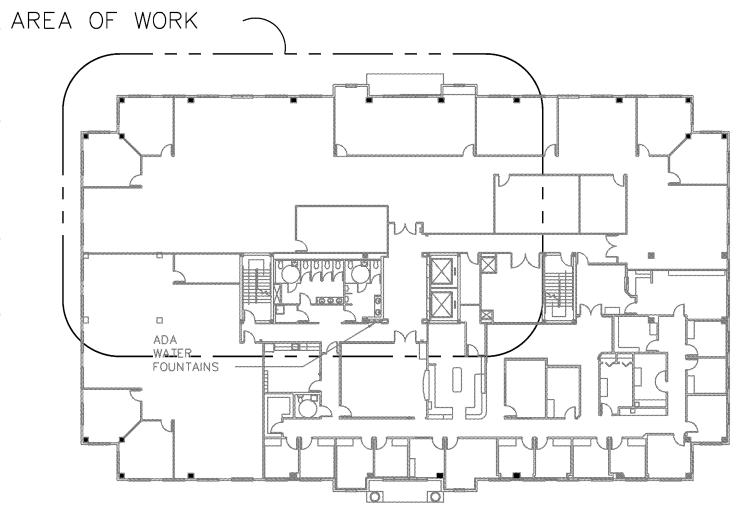
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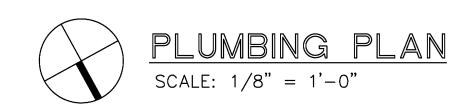
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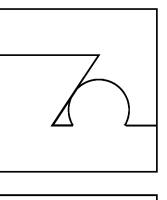












DATE: 10-18-10

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REVISIONS:

LINE LEGEND - · - · COLD WATER — · · · — · · · — HOT WATER 110°F ---- EXISTING WASTE ---- VENT

ABBREVIATIONS

CONDENSATE
WALL CLEAN OUT
COLD WATER
FIXTURE UNITS
FLUSH CLEAN OUT
FLOOR DRAIN
FLOOR SINK

FUNNEL DRAIN HUB DRAIN HOSE BIBB HOT WATER HOT WATER RECIRC
ICE MACHINE
OVERFLOW ROOF DRAIN ROOF DRAIN RAIN WATER LEADER SHUT-OFF VALVE TRAP PRIMER

VENT THRU ROOF VERIFY IN FIELD

SLOPE OF HORIZONTAL DRAINAGE PIPE MINIMUIM SLOPE (INCH PER FOOT) SIZE (INCHES) 2-1/2" OR LESS 3 TO 6" 1/8 8 OR LARGER 1/16

INSTA HOT SPECIFICATION

MANUFACTURER: CHRONOMITE OR EQUAL TEMP TEMP RISE © RISE © 1.0GPM 1.5GPM WATTS VOLTS BREAKER SETTING 76° 50° 11080 277 40 120°

EHRLICH HICKS,

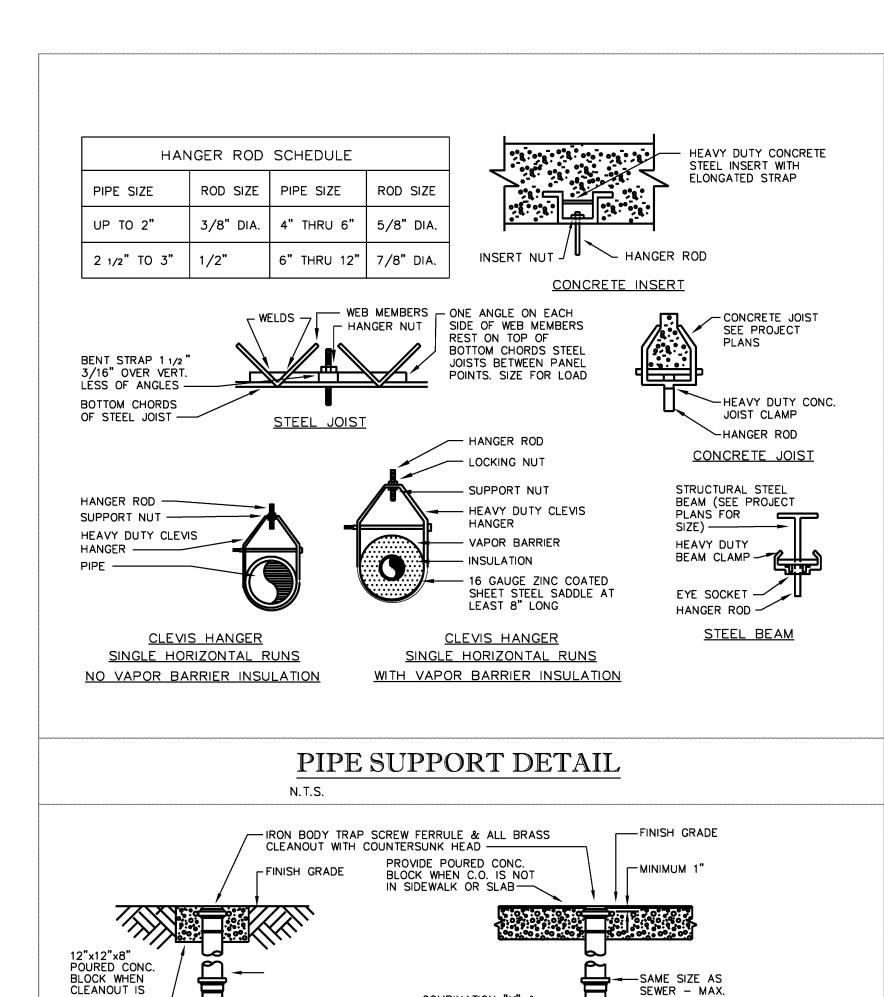
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<u>KEYPLAN</u>



COMBINATION "Y" & 1/8" BEND

C.O. IN PACED AREA

1/8" BEND-

COMBINATION "Y" &

IRON BODY TRAP SCREW FERRULE & ALL BRASS

TYPICAL CLEANOUTS DETAIL

CLEANOUT WITH COUNTERSUNK HEAD -

NOT IN PAVED AREA —

EXTERIOR

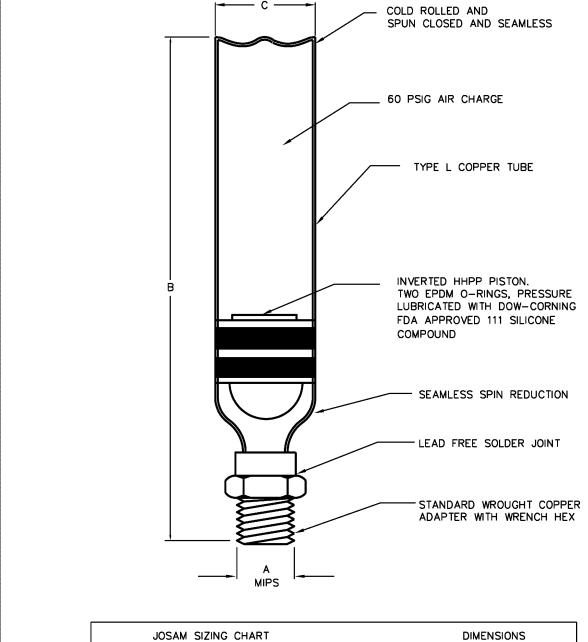
ELEVATION

WALL- TYPE

STAINLESS STEEL COVER

FACE OF WALL

SCREWED TO THREADED



COLD INLET MAIN

INSTA-HOT PIPING DETAIL - KSK SINK

-COMPRESSION FITTINGS (2)

INLINE FLOW CONTROL "I"

MOUNTING FLANGES (4)

INSTANT-FLOW HEATER

3/8" COPPER TUBING

J-BOX

WATER HAMMER ARRESTOR DETAIL

FIXT, UNITS

1 TO 11

12 TO 32

33 TO 60

61 TO 113

114 TO 154

155 TO 330

A B

1/2 6-1/2

3/4 8-3/4 1-3/8

1 | 10-1/8 | 2-1/8

1 | 15-1/8 | 2-1/8

12-5/8 2-1/8

11

1-3/8

1-3/8

PDI SYMBOLS

В

С

PLUMBING SPECIFICATIONS

- ALL MATERIALS AND WORKMANSHIP SHALL BE IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCE. ALL MATERIALS SHALL BE NEW, FREE OF DEFECTS, AND OF AMERICAN MANUFACTURE. ALL REQUIREMENTS AND MATERIALS SHALL BE AS PROVIDED FOR ORIGINAL BUILDING AND AS INDICATED IN THESE DRAWINGS AND SPECIFICATIONS.
- SANITARY, WASTE, VENT, AND STORM PIPING SHALL BE CENTRIFIGAL CAST IRON BELL AND SPIGOT BELOW GRADE AND NO-HUB SYSTEM WITH STAINLESS STEEL COUPLINGS ABOVE GRADE EXCEPT VENTS ABOVE GRADE MAY BE SCHEDULE 40 GALVANIZED IRON. WHERE ALLOWED BY LOCAL AUTHORITIES DWV PVC MAY BE USED INSTEAD OF CAST IRON AND
- CONDENSATE DRAINS ABOVE GROUND SHALL BE INSULATED COPPER TYPE "M" OR DWV BELOW GROUND AS SPECIFIED FOR SANITARY PIPING.
- POTABLE WATER PIPING BELOW GROUND SHALL BE TYPE "K" SOFT TEMPER AND HOT AND COLD WATER PIPING ABOVE GROUND SHALL BE TYPE "L" OR HARD TEMPER COPPER TUBING WITH WROUGHT COPPER FITTINGS AND SOLDER-FREE JOINTS. POTABLE WATER PIPING SHALL NOT BE INSTALLED BELOW ANY FLOOR ON GRADE OR FILL. TYPE "M" COPPER IS ACCEPTABLE.
- 5. PIPE SUPPORTS SHALL BE PROVIDED TO BE COMPATIBLE WITH PIPING, INSULATION, STRUCTURE, AND COMPENSATE FOR CONTRACTION AND EXPANSION.
- 6. THE CONTRACTOR SHALL CONNECT TO ALL EQUIPMENT FURNISHED BY THE OWNER.
- 7. EACH NEW FIXTURE AND EQUIPMENT SUPPLY SHALL BE PROVIDED WITH A SUPPLY STOP OR SHUT-OFF VALVE AS APPLICABLE.
- 8. WATER HAMMER ARRESTORS SHALL BE PROVIDE AND INSTALLED INSTALLED AS PER PDI-WH 201 & FPC 604.9. WATER HAMMER ARRESTORS MAY BE PROVIDED AT EACH
- FIXTURE SUPPLY AT CONTRACTOR'S OPTION AND AT NO ADDITIONAL COST TO OWNER. PROVIDE DIELECTRIC FITTINGS IN ALL PIPING SYSTEMS WHERE CONNECTING DISSIMILAR MATERIALS AND PROTECT AGAINST CONTACT OF DISSIMILAR THRU-OUT THE INSTALLATION.
- 10. INSULATE ALL HOT WATER, CONDENSATE DRAINS, AND WATER COOLER WASTES PROVIDED.
- 11. INSULATE HOT WATER PIPING WITH 1" ARMAFLEX INSULATION.
- 12. INSULATE ALL AIR CONDITIONING AND REFRIGERATION CONDENSATE DRAINS IN PLENUM AREAS. FINISH WHERE EXPOSED WITH 2 COATS OF WHITE LATEX PAINT ALL AS PER THE MANUFACTURER'S INSTRUCTIONS.
- 13. ALL HOSE BIBBS AND HOSE CONNECTIONS THIS PROJECT SHALL BE PROVIDED WITH VACUUM BREAKERS.
- 14. ALL WATER PIPING PROVIDED SHALL BE TESTED AT 100 PSIG MINIMUM HYDROSTATIC PRESSURE FOR A MINIMUM OF 4 HOURS AND SANITIZED AS PER FPC 610.1.
- 15. ALL SOIL, WASTE, VENT, AND STORM PIPING PROVIDED SHALL BE TESTED WITH A 10 FOOT HEAD OF WATER WATER LEVEL POINT OR HYDROSTATIC PRESSURE GAUGE, WHERE ALLOWED BY LOCAL AUTHORITIES, SHALL REMAIN UNCHANGED FOR A MINIMUM OF 4
- 16. CONTRACTOR SHALL OBTAIN APPROVED MANUFACTURER'S INSTALLATION DRAWINGS FOR ALL EQUIPMENT AND CASEWORK AND CASEWORK DIMENSIONED ROUGH-IN LAYOUT PRIOR TO PROCEEDING WITH ANY WORK.
- 17. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIXTURE, CASEWORK, AND EQUIPMENT ROUGH-IN DIMENSIONS AND CORRECT FLOOR AND WALL PENETRATION.
- 18. SUBMIT SHOP DRAWINGS OF ALL MATERIALS AND EQUIPMENT TO ARCHITECT FOR APPROVAL PRIOR TO PURCHASE.
- 19. CONTRACTOR SHALL PROVIDE ALL SYSTEMS INDICATED IN THESE SPECIFICATIONS ON THE DRAWINGS AND AS REQUIRED TO COMPLY WITH LOCAL CODES AND ORDINANCES AS APPLICABLE TO COMPLETING WORK FOR INTENDED OCCUPANCY. IT IS THE INTENT OF THESE PLANS AND SPECIFICATIONS FOR CONTRACTOR TO PROVIDE A COMPLETE AND OPERATING INSTALLATION INCLUDING ALL OBVIOUSLY NECESSARY ITEMS EVEN THOUGH ITEMS ARE NOT INCLUDED ON THE DRAWINGS OR IN THE SPECIFICATIONS.
- 20. THE CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID AND COMPLETELY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS BEFORE PROCEEDING WITH THE
- 21. PROVIDE TEMPORARY POTABLE WATER SERVICE AS REQUIRED ON SITE FOR ALL TRADES.
- 22. VERIFY ALL DIMENSIONS WITH STRUCTURE PRIOR TO ANY FABRICATION OR INSTALLATION.
- 23. CUT ALL OPENINGS AND CHASES REQUIRED TO ACCOMMODATE THE WORK BY THIS CONTRACTOR, AND REPAIR ALL FLOORS, WALLS, ETC. DAMAGED BY SUCH CUTTINGS. ALL WORK DONE UNDER THIS HEADING MUST CONFORM IN EVERY RESPECT TO LANDLORD AND STRUCTURAL REQUIREMENTS, AND FINISH AND QUALITY OF MATERIALS AND WORKMANSHIP REQUIRED OF APPLICABLE TRADES FOR THE BUILDING.
- 24. PROVIDE AN ACCURATE LAYOUT, GRADES, AND ELEVATIONS; SET SLEEVES AND OPENINGS IN AMPLE TIME; TAKE PROPER PRECAUTIONS TO PROTECT ALL WORK AND EQUIPMENT FROM DAMAGE INCLUDING EXISTING.
- 25. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCES WITH THE PROGRESS OF CONSTRUCTION AND IN STRICT COMPLIANCE WITH ALL APPLICABLE CODES AND STANDARDS.
- 26. PROVIDE FIXTURES AND WATER HEATERS AS INDICATED ON DRAWINGS.
- 27. CONTRACTOR SHALL PERFORM AND/OR PAY FOR ALL TESTS INDICATED AND REQUIRED FOR ALL SYSTEMS PROVIDED.
- 28. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, FEES, INSPECTIONS, AND TAXES REQUIRED TO INSTALL AND COMPLETE SYSTEMS INDICATED ON THE DRAWINGS AND
- 29. AT COMPLETION OF WORK REMOVE ALL RUBBISH AND DEBRIS CAUSED BY THIS WORK AND THOROUGHLY CLEAN ALL RELATED FIXTURES AND EQUIPMENT.
- 30. CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN 1 (ONE) YEAR FROM DATE OF ACCEPTANCE.
- 31. CONTRACTOR TO KEEP ACCURATE AS-BUILTS AND SHALL SUBMIT THREE (3) COPIES TO ARCHITECT/ENGINEER SEVENTY TWO (72) HOURS PRIOR TO FINAL INSPECTION.
- 32. CONTRACTOR TO NOTIFY ARCHITECT/ENGINEER IMMEDIATELY UPON ANY DISCREPANCIES, IF
- 33. ALL PLUMBING FIXTURES TO COMPLY WITH FPC TABLE 604.4
- 34. THE FIRST 8'-0" OF OUTLET PIPING FOR A CONSTANT TEMPERATURE NONRECIRCULATING STORAGE SYSTEM, AND THE INLET PIPE BETWEEN THE STORAGE TANK AND A HEAT TRAP IN A NONRECIRCULATING STORAGE SYSTEM SHALL BE INSULATED TO LEVELS SHOWN IN THE FBC TABLE 13-411.1.ABC.2
- 35. NO DEAD ENDS SHALL BE PERMITTED. THE REMOVAL OF PLUMBING FIXTURES SHALL COMPLY WITH FPC 704.5.
- 36. ALL EQUIPMENT CONNECT FOR CONSUMPTION TO HAVE BACKFLOW PREVENTER.
- 37. ALL EXPOSED PIPING UNDER LAVATORIES SHALL BE INSULATED AS PER FPC 404.6.4.
- 38. ALL VALVES SHALL BE IDENTIFIED AS PER FPC 606.4.
- 39. ALL HOSE BIBBS ARE TO BE SEPARATELY VALVED AS PER FPC 606.2.
- 40. ALL PIPING TO BE IDENTIFIED AS PER FPC 608.8.
- 41. ALL INDIRECT WASTE PIPING TO BE TRAPPED AS PER FPC 802.2.
- 42. PROVIDE CLEANOUTS AT 75'-0" ON CENTER AND AT ALL TURNS.

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PLUMBING DETAILS AND NOTES

TYPE NO.

75001-S

75002-S

75003-S

75004-S

75005-S

75006-S

SCALE: N.T.S.

SEWER - MAX.

FINISH GRADE

SEWER - MAX.

INTERIOR

ELEVATION

PAVED AREA