GENERAL NOTES

- THESE CONSTRUCTION DOCUMENTS ARE DIAGRAMMATIC ONLY. IT IS NOT THE INTENT OF THESE DOCUMENTS TO SHOW EVERY DETAIL OF CONSTRUCTION. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL FURNISH AND INSTALL ALL ITEMS NECESSARY FOR COMPLETION AS INDICATED ON THESE DRAWINGS
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE FAMILIAR WITH THE CONSTRUCTION DOCUMENTS PRIOR TO SUBMITTING BIDS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION
- CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK.
- ALL DIMENSIONS, SPECIFICATIONS AND NOTES PROVIDED HEREIN SHALL BE VERIFIED BY EACH CONTRACTOR PRIOR TO PERFORMANCE OF THE WORK, ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE
- WHEN TWO OR MORE REQUIREMENTS OR STANDARDS ARE SPECIFIED ESTABLISHING DIFFERENT OR CONFLICTING LEVELS OF QUALITY, THE MOST STRINGENT REQUIREMENT IS INTENDED AND WILL BE ENFORCED.
- CONTRACTOR SHALL MAKE NO CHANGES OR SUBSTITUTIONS WITHOUT WRITTEN APPROVAL BY ADDENDUM FROM
- CONTRACTOR SHALL MEET WITH THE BUILDING OWNER OR MANAGER PRIOR TO THE BID IN ORDER TO OBTAIN A COPY OF THE BUILDING STANDARD GUIDELINES AND TO DISCUSS THE BUILDING MANAGEMENTS REQUIREMENTS FOR PROTECTION OF PUBLIC SPACES, DAILY CLEANING, CONSTRUCTION, STAGING, MATERIAL, DELIVERIES, LOCATION OF CONSTRUCTION DUMPSTERS, PARKING, ETC. THE COST TO MEET THESE REQUIREMENTS SHALL BE INCLUDED IN BID.
- REPLIES TO ALL REQUESTS FOR CLARIFICATION WILL BE ISSUED TO ALL PRIME BIDDERS, AS ADDENDA TO THE DRAWINGS AND SPECIFICATIONS, AND WILL BECOME PART OF THE CONTRACT. THE ARCHITECT AND OWNER WILL NOT BE RESPONSIBLE FOR ORAL CLARIFICATION.
- ALL WORK SHALL CONFORM TO THE LATEST REQUIREMENTS OF APPLICABLE LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.
- IO. CONTRACT FOR CONSTRUCTION SHALL BE AIA DOCUMENT AIOI, STANDARD FORM FOR AGREEMENT BETWEEN OWNER AND CONTRACTOR, STIPULATED SUM - 1997 EDITION AND SHALL INCORPORATE THE 1997 EDITION OF
- GENERAL CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE TO THE ARCHITECT AND OWNER FOR REVIEW
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL COORDINATE AND OBTAIN ALL PERMITS REQUIRED TO COMPLETE THE CONSTRUCTION OF THE WORK AS INDICATED ON THE DRAWINGS AND SPECIFICATIONS.
- 13. GENERAL CONTRACTOR SHALL INCLUDE IN THE BASE BID ALL FEES ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT, INCLUDING BUT NOT LIMITED TO PERMIT FEES AND ALL SUBCONTRACTOR PERMIT FEES.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY COORDINATING ALL ASPECTS OF THE CONSTRUCTION INCLUDING CROSS REFERENCING ALL OBVIOUSLY RELATED DOCUMENTS AND DRAWINGS. SHOULD PROBLEMS ARISE OUT OF A LACK OF COORDINATION IN AREAS THAT COULD HAVE REASONABLY BEEN FORESEEN, NO ADDITIONAL PAYMENT SHALL BE WARRANTED OR APPROVED BY THE OWNER OR THE ARCHITECT. SHOULD THE SERVICES OF THE ARCHITECT AND/OR HIS CONSULTANTS BE REQUIRED TO REMEDY OR REVISE THE CONSTRUCTION DUE TO ERRORS AND/OR OMISSIONS BY THE CONTRACTOR, COMPENSATION FOR THESE SERVICES SHALL BE MADE BY THE GENERAL CONTRACTOR THROUGH THE CHANGE ORDER PROCESS OR BY SEPARATE AGREEMENT WITH THE
- 15. ALL WORK DETAILED IN THESE CONSTRUCTION DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR WHO SHALL SUBCONTRACT AND/OR ASSIGN PORTIONS OF THE WORK TO THE MOST QUALIFIED TRADE, FAILURE BY ANY SUBCONTRACTOR TO INCLUDE CERTAIN WORK REQUIRED SHALL NOT RELIEVE THE GENERAL CONTRACTOR OF HIS RESPONSIBILITY AS PART OF THE CONTRACT FOR CONSTRUCTION TO PROVIDE A
- . CONTRACTOR IS TO COORDINATE AND ORGANIZE THE CONSTRUCTION PROCESS AND COMPLETE SAME IN A MANNER WHICH LEAST IMPACTS THE ADJOINING COMMON AREAS. IN ORDER TO MINIMIZE INCONVENIENCE TO THE
- . THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO EMPLOY THOSE CONTROL MEASURES NECESSARY TO ENSURE THAT THE BUILDING COMMONS AREAS AS WELL AS EXISTING TENANT SPACES ARE NOT IMPACTED BY AIRBORNE CONTAMINANTS CAUSED BY THE CONSTRUCTION OF THE TENANT SPACE. THE METHODS EMPLOYED SHALL COMPLY WITH THE INDOOR AIR QUALITY (IAQ) GUIDELINES FOR OCCUPIED BUILDINGS UNDER CONSTRUCTION IST EDITION, PUBLISHED BY SMACNA. QUALITY CONTROL METHODS USED TO MONITOR AIR QUALITY, I.E. TESTING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- s. GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW. SHOP DRAWINGS SHALL BE OF SUFFICIENT DETAIL AND SCALE TO DETERMINE COMPLIANCE WITH THE INTENT OF THE SPECIFIED QUALITY STANDARDS. INCOMPLETE SHOP DRAWINGS WILL BE RETURNED TO THE GENERAL CONTRACTOR WITHOUT REVIEW. THE GENERAL CONTRACTOR SHALL SUBMIT A SHOP DRAWING SCHEDULE INDICATING THE TYPE AND CRITICAL RETURN DATES TO THE ARCHITECT FOR REVIEW. THE RETURN OF SHOP DRAWINGS TO THE GENERAL CONTRACTOR, WITH OR WITHOUT COMMENT, DOES NO RELIEVE THE GENERAL CONTRACTOR AND THEIR SUB CONTRACTORS OF THE RESPONSIBILITY TO CONSTRUCT THE BUILDING PER THE PLANS AND SPECIFICATIONS, EVEN THOUGH THE SHOP DRAWINGS MAY INCORRECTLY DEVIATE FROM THE CONSTRUCTION DOCUMENTS. IN ADDITION, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DEVIATION FROM THE CONTRACT DOCUMENTS CONTAINED IN THE SHOP DRAWINGS. TH ARCHITECT, THEIR CONSULTANTS OR THE OWNER ARE NOT RESPONSIBLE FOR ANY CORRECTIVE CONSTRUCTION RESULTING FROM SHOP DRAWINGS THAT DEVIATE FROM THE CONTRACT DOCUMENTS.
- 19. A 'PUNCH LIST' SHALL BE PREPARED BY THE CONTRACTOR LISTING ALL ITEMS WHICH NEED TO BE COMPLETED, MODIFIED, CORRECTED OR REPLACED AND SUBMITTED TO ARCHITECT/OWNER. THE ARCHITECT SHALL THEN VISIT THE SITE TO REVIEW AND, IF THE LIST IS NOT REASONABLY COMPLETE, SHALL DIRECT THE CONTRACTOR TO COMPLETE THE LIST, THE FINAL PUNCH LIST SUBMITTED BY THE CONTRACTOR SHALL BE REVIEWED AND SUPPLEMENTED BY THE ARCHITECT/OWNER.
- 20. CONTRACTOR SHALL DELIVER TO OWNER PRIOR TO FINAL PAYMENT ALL GUARANTIES, WARRANTIES AND TWO COPIES OF ALL MANUALS AND OPERATING INSTRUCTIONS AND ARRANGE TO GIVE PHYSICAL DEMONSTRATION OF ALL EQUIPMENT TO OWNER OR HIS REPRESENTATIVE.
- 21. ALL LABOR AND MATERIALS SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION, EXCEPT LONGER AS REQUIRED IN THE DRAWINGS AND/OR SPECIFICATIONS.
- 22. ALL NEW CONSTRUCTION MUST MEET FEDERAL AND STATE BARRIER FREE REQUIREMENTS.
- 23. MATERIAL OR SYSTEMS SHALL BE INSTALLED ACCORDING TO EXACT MANUFACTURER'S INSTALLATION
- 24. ALL MATERIALS USED DURING CONSTRUCTION SHALL BE NEW AND FREE FROM BLEMISHES, NO USED MATERIALS WILL BE ALLOWED, EXCEPT AS NOTED HEREIN. COORDINATE WITH ARCHITECT AND OWNER/REPRESENTATIVE IN
- 25. DELIVERY AND STORAGE OF ALL MATERIAL SHALL BE ACCEPTABLE TO MANUFACTURER'S PRODUCT, REVIEW BY THE ARCHITECT AND SHALL PROVIDE COMPLETE PROTECTION OF PRODUCT.
- 26. GENERAL CONTRACTOR SHALL COORDINATE DIRECTLY WITH OWNER/TENANT ALL WORK BY "OWNER" OR "TENANT" AS INDICATED ON PLANS AND ANY ATTACHED SPECIFICATIONS.
- 27. GENERAL CONTRACTOR SHALL VERIFY FINAL SELECTION OF ALL FINISHES WITH ARCHITECT AND OWNER/TENANT. SUBMIT SAMPLES FOR REVIEW.
- 28, FIRE EXTINGUISHERS SHALL BE PROVIDED BY GENERAL CONTRACTOR AND LOCATED AS REQUIRED BY CODE
- DURING CONSTRUCTION.

STAINLESS STEEL, COPPER, MONEL.

- 29. CONCRETE SLABS SHALL BE LEVELED AND PREPARED TO RECEIVE FLOOR FINISH PER FINISH SCHEDULE. 30. WHEREVER DISSIMILAR METALS CONTACT EACH OTHER, AND ARE SEPARATED FURTHER ON THE BELOW SCALE THAN BY A SINGLE INTERMEDIATE METAL, THE CONTACTING SURFACES SHALL BE INSULATED FROM EACH OTHER BY A BITUMINOUS COATING, 15# ASPHALT SATURATED FELT OR OTHER ARCHITECT APPROVED MEANS, METALS ARRANGED IN ORDER OF GALVANIC ACTIVITY: ALUMINUM, ZINC, GALVANIZED IRON, TIN ON STEEL, LEAD (HARD),
- I. GENERAL CONTRACTOR SHALL COORDINATE AND INSTALL ALL NECESSARY BACKING SUPPORTS FOR CABINETRY, SHELVING, TOILET ACCESSORIES, PLUMBING/LIGHTING FIXTURES, ETC.
- 32. ALL WOOD FRAMING AND BLOCKING LOCATED WITHIN CONCEALED SPACES, SUCH AS PARTITIONS ABOVE CEILINGS, ETC., SHALL BE FIRE RETARDANT.
- 33. ALL GYPSUM BOARD SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE UNITED STATES GYPSUM "GYPSUM CONSTRUCTION HANDBOOK".
- 34. ALL GYPSUM BOARD SHALL RECEIVE A SLICK FINISH. (LEVEL 4, SMOOTH TEXTURE), UNLESS OTHERWISE NOTED.
- 35. AT WALLS SCHEDULED TO RECEIVE WALLCOVERING SHALL BE PREPARED TO RECEIVE WALLCOVERING BY APPLYING A FLAT OIL BASE PRIMER TO PROVIDE FULL COVERAGE TO PROHIBIT 'TELEGRAPHING' THROUGH THE
- 36. GENERAL CONTRACTOR AND THE APPROPRIATE SUBCONTRACTORS SHALL COORDINATE THE LOCATION OF OUTLETS, SWITCHES, THERMOSTATS, ETC. WITH THE FURNITURE LAYOUT AND WITH CONSIDERATION GIVEN TO THE PLACEMENT OF ART, PICTURES, PLAQUES, ETC. THIS SHALL BE REVIEWED WITH THE ARCHITECT AND TENANT.
- 37. CONTRACTOR SHALL ADJUST EXISTING FIRE SPRINKLER SYSTEM AS REQUIRED BY CODE. ALL SPRINKLER HEADS SHALL BE FLUSH, FULLY CONCEALED TYPE. FIRE SPRINKLER SUB-CONTRACTOR SHALL PREPARE AND SUBMIT SHOP DRAWINGS TO BUILDING DEPARTMENT AS REQUIRED.
- 38. PRIOR TO FINAL COMPLETION, CONTRACTOR SHALL THOROUGHLY CLEAN ALL SURFACES.
- 39. DIVERT DEMOLITION DEBRIS FROM DISPOSAL IN LANDFILLS AND INCINERATION FACILITIES. REDIRECT RECOVERED RESOURCES BACK TO THE MANUFACTURING PROCESS AND REUSABLE MATERIALS TO APPROPRIATE SITES. CONTRACTOR SHALL PROVIDE DOCUMENTATION TO IDENTIFY THE MATERIALS TO BE DIVERTED FROM DISPOSAL AND CALCULATIONS IN WEIGHT OR VOLUME OF PERCENTAGE OF DEBRIS TO BE RECYCLED OR SALVAGED. CONTRACTOR TO ACHIEVE A MINIMUM OF 75% RECYCLED OR SALVAGED DEBRIS OR MORE.

Tenant Improvements for: MILLER, KAGAN, RODRIGUEZ & SILVER

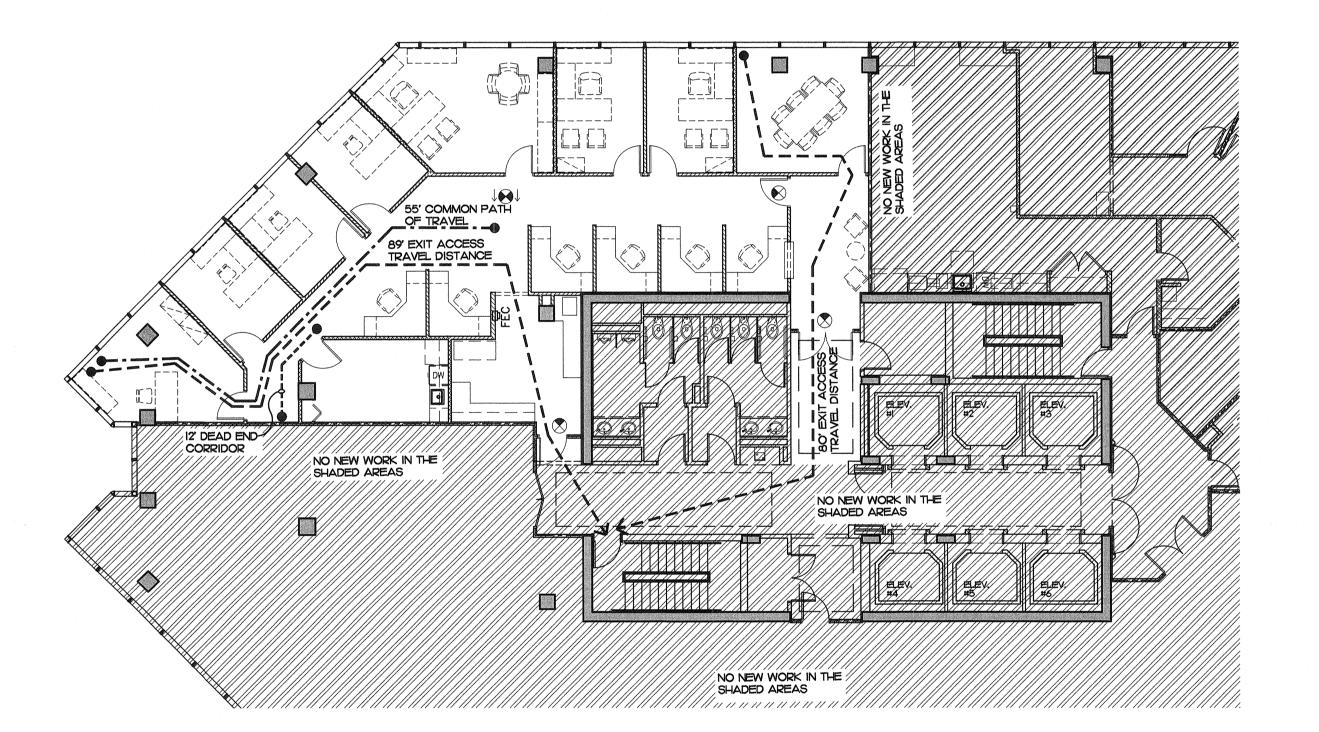
515 N. Flagler Drive Suite 1425 West Palm Beach, Florida

Glidden Spina & Partners Architects & Interior Design

1401 FORUM WAY, SUITE 100 WEST PALM BEACH, FLORIDA 33401 561.684.6844

FAE Consulting MEP Engineer

1640 NW 2ND AVENUE BOCA RATON, FLORIDA 33432 TEL. 561.391.9292



SCOPE OF WORK

THE SCOPE OF THE PROJECT INVOLVES THE INTERIOR TENANT IMPROVEMENTS OF TENANT SPACE #1425 AT 2,650 S.F. + 115 S.F

INDEX OF DRAWINGS

ARCHITECTURAL

LIFE SAFETY PLANS

FLOOR PLAN & REFLECTED CEILING PLAN FINISH FLOOR PLAN & INT. ELEVATIONS

MECHANICAL

MECHANICAL PLAN MECHANICAL DATA & SPECS PLUMBING P I.I PLUMBING NOTES ELECTRICAL

POWER PLAN

LIGHTING PLAN

RISER PLAN & SPECS FIRE ALARM FA I.I FIRE ALARM PLAN

LIFE SAFETY LEGEND

TRAVEL DISTANCE

COMMON PATH OF TRAVEL

FIRE EXTINGUISHER CABINETS SHALL BE EQUAL TO LARSEN "ARCHITECTURAL SERIES MODEL NO. 2409 R2 RECESSED MOUNTED, SOLID DOOR STYLE, BLACK

MEANS OF EGRESS ICHAP. 10 FBCI

	ALLOWABLE	PROVIDED
SUITE 1425 - 2,650 S.F.		
BUSINESS - 1/100 SF		
OCCUPANT LOAD		
TOTAL OCCUPANT LOAD	2,650 / 100 = 27	27
REQUIRED MEANS OF EGRESS - 14TH	1	2
	100	
MINIMUM CLEAR OPENING OF EXIT DOORS (SECTION 1008,I.)	32 IN.	34 IN.
COMMON PATH OF EGRESS TRAVEL (SPRINKLERED)	100 FT.	55 FT.
EXIT ACCESS TRAVEL DISTANCE (SPRINKLERED)	300 FT.	89 FT.
DEAD ENDS (SPRINKLERED)	50 FT.	12 FT.

ARRANGEMENT OF EXITS:

TABLE AIO.2.2

LEVEL TRAVEL: O.2 INCHES PER PERSON TRAVEL BY STAIRS: 0.3 INCHES PER PERSON

300' MAX. TRAVEL DISTANCE (NFPA IOI, 38.2 & FBC TABLE

004) MAX. DEAD END: 50' (NFPA & FBC) COMMON PATH OF TRAVEL: IOO' MAX. (NFPA(IOO' MAX. (FBC) AREA OF REFUGE: NOT REQUIRED PER FBC 11-4.1.3 (9) FOR FULLY SPRINKLERED BUILDINGS

CODE RESEARCH

2007 FLORIDA BUILDING CODE / WITH 2009 REVISIONS/ SUPPLEMENTS FLORIDA ACCESSIBILITY CODE

NFPA IOI, LIFE SAFETY CODE 2006 EDITION -NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION. ALTERATION, AND DEMOLITION OPERATIONS 2005 NFPA-70 2005 EDITION - NATIONAL ELECTRIC CODE

2002 NFPA-72 2002 EDITION 2002 NFPA-13 2002 EDITION CLASSIFICATION OF WORK:

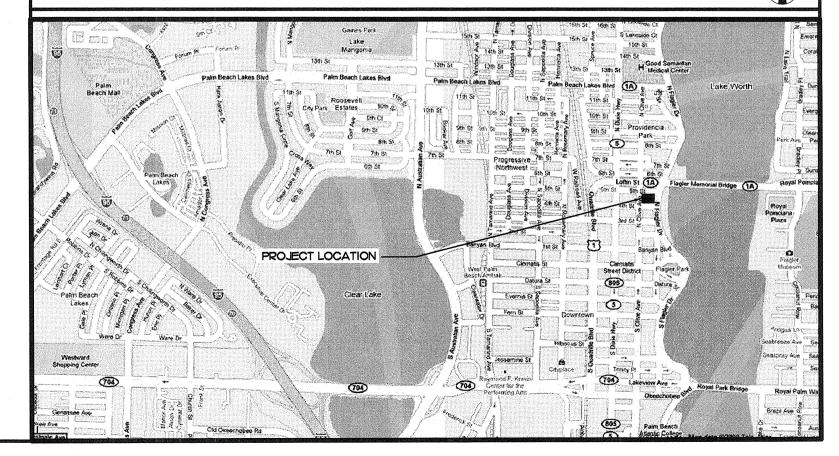
2007 FLORIDA EXISTING BUILDING CODE W/ 2009 AMENDMENTS SECTION 404 - ALTERATION = LEVEL 2

CLASSIFICATION (TYPE) GROUP B (BUSINESS) LOAD (SEE OCCUPANT LOAD CALCULATIONSON LS-I) 27 OCCUPANTS CONSTRUCTION TYPE I-A (SPRINKLERED)

FBC TABLE 803.5 - FOR TYPE 'B' OCCUPANCY, FULLY SPRINKLERED, CLASS 'C' IS ALLOWABLE. NFPA 101 SEC. 10.2.8.1 & 39.3.3.2.1 &

'HE BUILDING HAS EXISTING AUTOMATIC FIRE SPRINKLER SYSTEM. S.C. TO SUBMIT FOR SEPARATE PERMIT FOR ANY CHANGES TO EXISTING FIRE SPRINKLER SYSTEM AND FIRE ALARM SYSTEM.

LOCATION MAP



ARTNERS

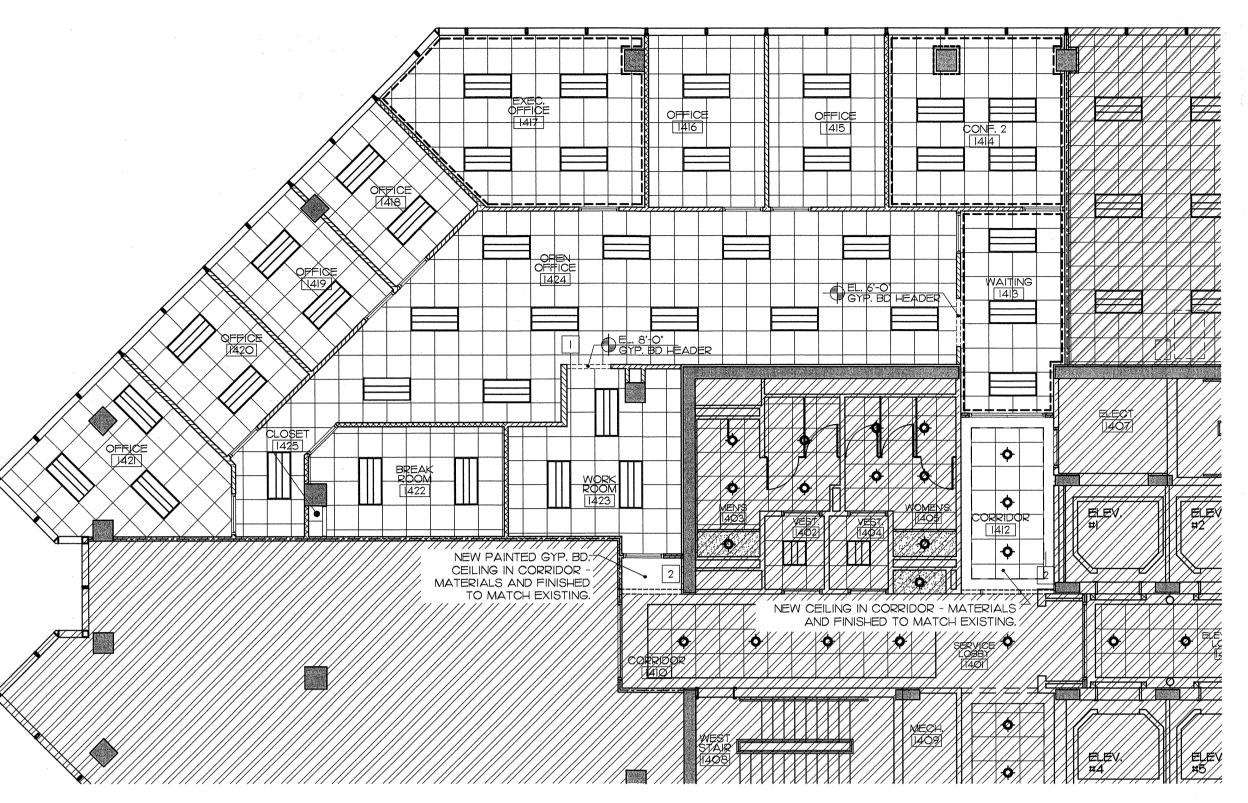
SPIN

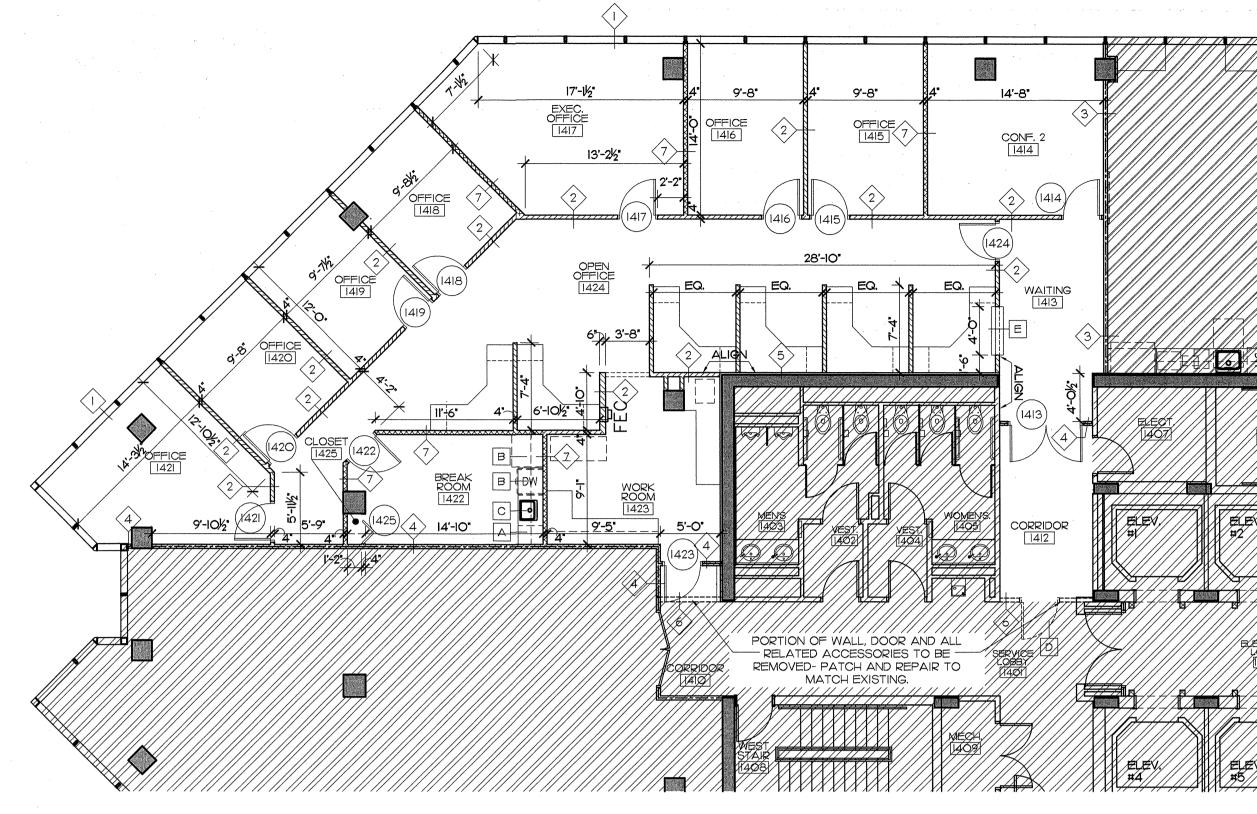
LIDDEN

EMENTS FOR: 0

THESE DRAWINGS ARE FOR THE LUSIVE USE OF GLIDDEN SPIN & PARTNERS, INC. AND MAY NOT DUPLICATED, REPRODUCED OR USE IN ANY MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF

LIDDEN SPINA & PARTNERS, INC LL RIGHTS RESERVED.





2 REF. CLG. PLAN
SCALE: 1/8"-1"-0"

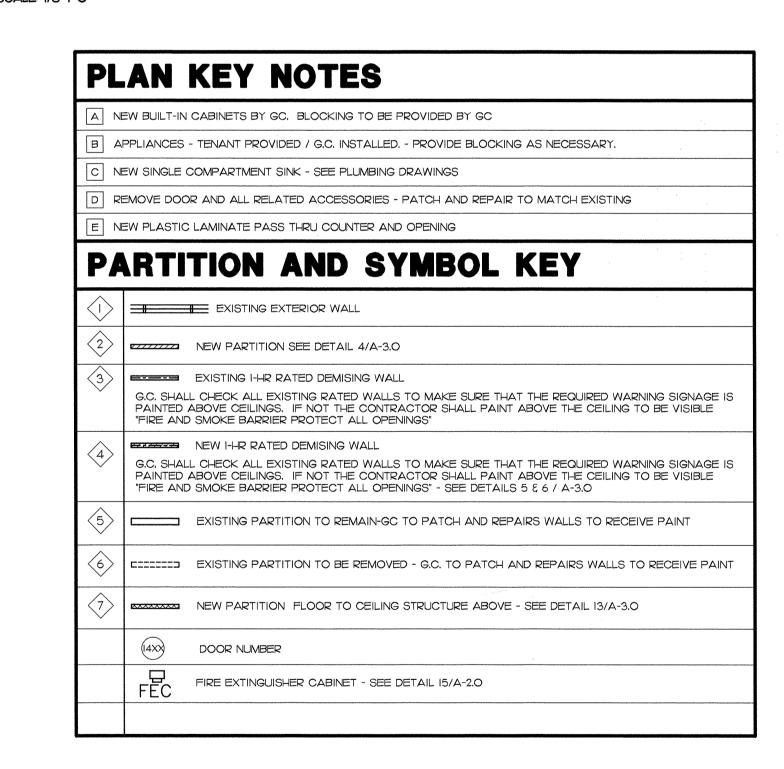
FLOOR PLAN
SCALE: 1/8"-1'-0"

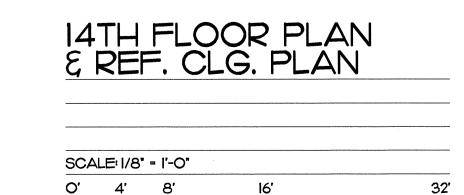
REFLECTED CEILING LEGEND NEW 24"X24" SUSPENDED ACOUSTICAL CEILING SYSTEM - SEE FINISH NOTES SHEET A-I.I FOR SPECIFICATION. 2'X4' FLUORESCENT INDIRECT LIGHT FIXTURE DOWNLIGHT NEW CEILING MOUNTED EXIT LIGHTS AS REQ'D - SEE ELECTRICAL DRAWINGS ---- DENOTES CROWN MOLDING IN RM. #1413, #1414, #1417 - SEE DTL. B/A-1.1 CEILING HEIGHT - ALL CEILING TO BE 8'-6" UNLESS OTHERWISE NOTED I. ALL EMERGENCY LIGHT FIXTURES SHALL HAVE THE TEST BUTTONS MOUNTED INSIDE THE FIXTURE **CEILING KEY NOTES**

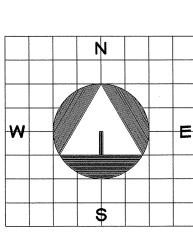
I NEW PAINTED GYPSUM BOARD HEADER.

2 NEW PAINTED GYPSUM BOARD SOFFIT.

				DOC	DR .		FRAME					
			SIZE				FR/	AIVIE	FIRE	HWR		
OOR NUMBER	DOOR TYPE	l	HGT	THK	MAT'L	FINISH	MAT'L	FINISH	RATING LABEL	GRP	NOTES	
1413	В	6'-0"	8'-0"	1 3/4"	WOOD	STN'D	H.M.	PAINTED	45 MIN	В		
1414	<u> </u>	3'-0"	8'-0"	1 3/4"	WOOD	STN'D	H.M.	PAINTED		<u>A</u>		
1415 1416	A A	3'-O" 3'-O"	8'-0" 8'-0"	1 3/4"	WOOD	STN'D STN'D	Н.М. Н.М.	PAINTED		ВВ	## *##	
1417	A	3'-0"	8'-0"	1 3/4"	WOOD	STN'D	H.M.	PAINTED				
1418	Â	3'-0"	8'-0"	1 3/4"	WOOD	STN'D	H.M.	PAINTED		B		
1419	A	3'-0"	8'-0"	1 3/4"	WOOD	STN'D	H.M.	PAINTED		В		
1420	Α	3'-0"	8'-0"	1 3/4"	WOOD	STN'D	H.M.	PAINTED		В		
1421	A	3'-0"	8'-0"	1 3/4"	WOOD	STN'D	H.M.	PAINTED	ene mu	В		
1422	<u>A</u>	3'-0"	8'-0"	1 3/4"	WOOD	STN'D	H.M.	PAINTED		D		
1423	Č	3'-0"	8'-0"	1 3/4"	WOOD	STN'D	H.M.	PAINTED	45 MIN.	B	no su	
1424 1425	A D	3'-0" 2'-5"	8'-0" 8'-0"	1 3/4"	WOOD	STN'D	H.M.	PAINTED		A		
1425		2-0	0-0	13/4	VVOOD	STN'D					MA AA	
. ALL STAINED WOO 2. MARSHFIELD DOC 3. ALL ACCESS-CON	RS TO BE THE ENV	ANNER MARSHF IROMEN	TELD DO	OR SYST DELS -G	TEMS, WOO C TO SUBI	OD SPECIES MIT CUT SHE	CHERRY, FEETS FOR	PLAIN SLICE APPROVAL	ED, FINISH TO) MATCH	INTERIOR DESIGNER SAMPL	
I. ALL STAINED WOO 2. MARSHFIELD DOC 3. ALL ACCESS-CON HARDWARE SETS: A: LEVER: PASSAG	OD DOORS TO BE NORS TO BE NORS TO BE THE ENVIOLED EGRESS IN BEIGHT BEIGH	ANNER MARSHF IROMEN DOORS LEVER HINGE SILEN	THAT W FIELD DO NTAL MO MUST C	OOR SYS DELS -G OMPLY V OFFICE 2" - BB127	FEMS, WOO C TO SUBI WITH FLOR - W5II	OD SPECIES MIT CUT SHE PIDA FIRE PR C: LEVE HINGI SILEN	CHERRY, F EETS FOR REVENTION	PLAIN SLICE APPROVAL CODE SEC DFFICE - W! - BBI279	ED, FINISH TO TION 7.2.I.6.2 D:	LEVER: HINGES SILENC	PASSAGE SET - WIOI 5: 4½"X4½" - BB1279 ER: 307D STOP: 410-S	
II. ALL STAINED WOO 12. MARSHFIELD DOC 13. ALL ACCESS-CON HARDWARE SETS: A: LEVER: PASSAG HINGES: 4½"X4½" SILENCER: 3071	OD DOORS TO BE NORS TO BE NORS TO BE THE ENVITED EGRESS IN BETT - WIOI - BBI279 OOW	ANNER MARSHF IROMEN DOORS LEVER HINGE SILEN	THAT W FIELD DO NTAL MO MUST C S: ENTRY: S: 4½"X4! CER: 30° STOP: 2	OOR SYSTODELS -G COMPLY V OFFICE 1 - BB127 7D 3OW	FEMS, WOO C TO SUBI WITH FLOR - W5II	OD SPECIES MIT CUT SHE PIDA FIRE PR C: LEVE HINGI SILEN	CHERRY, FETS FOR REVENTION R: ENTRY/CES: 4½"X4½" NCER: 3070	PLAIN SLICE APPROVAL CODE SEC DFFICE - W! - BBI279	ED, FINISH TO TION 7.2.I.6.2 D:	LEVER: HINGES SILENC	PASSAGE SET - WIOI 5: 4½"X4½" - BBI279 DER: 307D	



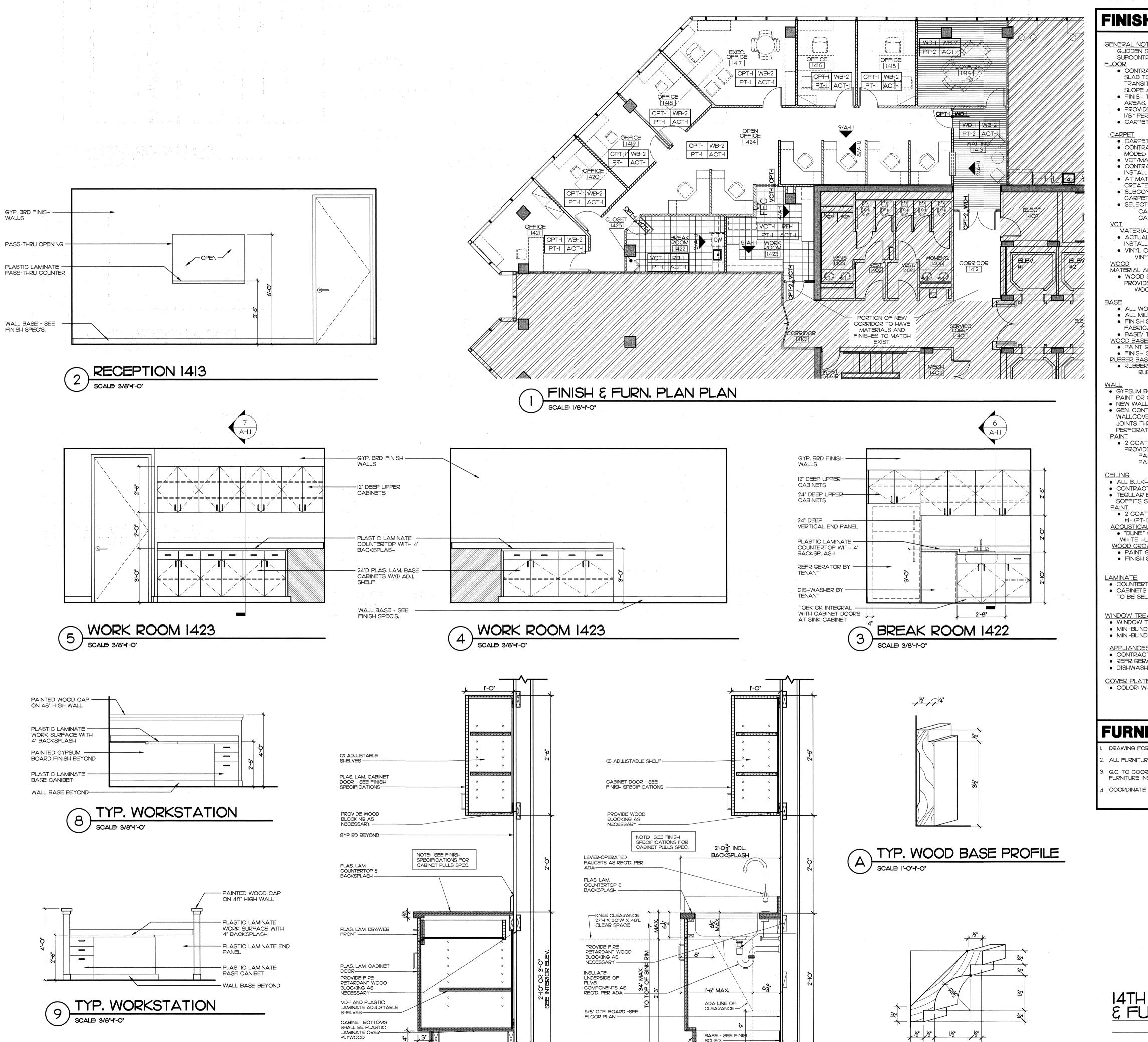




TENANT IMPROVEMENTS FOR:

MILLER, KAGAN, RODRIGUEZ &
AT NORTHBRIDGE CENTER
515 N. FLAGLER DR., SUITE 1425
WPB, FLORIDA

THESE DRAWINGS ARE FOR THE EXCLUSIVE USE OF GLIDDEN SPINA & PARTNERS, INC. AND MAY NOT BE DUPLICATED, REPRODUCED OR USED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF GLIDDEN SPINA & PARTNERS, INC. ALL RIGHTS RESERVED.



6 SINK AND COUNTERTOP

BASE / UPPER CABINETS

FINISH SPECIFICATIONS

GENERAL NOTE:
GLIDDEN SPINA AND PARTNERS SHALL QUALIFY GENERAL CONTRACTORS AND SUBCONTRACTORS FOR WALLCOVERING, CARPET AND TILE FINISHES.

- OOR

 CONTRACTOR SHALL REMOVE EXISTING FLOOR COVERING, AND PREPARE CONCRETE SLAB TO ACCEPT FLOOR FINISHES AS PER FINISH SCHEDULE. AT MATERIAL TRANSITIONS, CONTRACTOR TO PROVIDE LEVELING TO EXTEND 2' TO CREATE GRADUAL SLOPE AND TRANSITIONS SHALL NOT BE GREATER THAN 1/2".
- FINISH TO BE WITHIN ½" IN IO' UNLESS OTHERWISE APPROVED IN NON-CIRCULATION
- PROVIDE SLAB FLASHING AT TRANSITION BETWEEN WOOD / TILE AND CARPET WITH 1/8" PER FOOT MAX. SLOPE

 • CARPET TO BE SUPPLIED AND INSTALLED BY G.C.

<u>CARPET</u>

MANUFACTURER:

CARPET SHALL BE INSTALLED WITH ATTACHED TREAD MOR PAD

- CARPET SHALL BE INSTALLED WITH ATTACHED TREAD MOR PAD
 CONTRACTOR SHALL PROVIDE TRANSITION STRIPS AS MANUFACTURED BY SCHLUTER, MODEL: TO BE SELECTED, FINISH: TO BE SELECTED.
 VCT/MARMOLEUM TO CARPET VINYL TRANSITION STRIP, COLOR: TO BE SELECTED
 CONTRACTOR SHALL TOUCH-UP WOOD BASE, DOORS, AND CASING AFTER CARPET IS

ARTNERS
- - e I GN, INC.

GLIDDEN

SIL

8

425

ENTER SUITE

SEC PR.

THBRID(LAGLER ORIDA

EMENTS FOR:

EMENTS

0

TENANT

A

KAG

MILLER,

THESE DRAWINGS ARE FOR THE EXCLUSIVE USE OF GLIDDEN SPINA & PARTNERS, INC. AND MAY NOT BE DUPLICATED, REPRODUCED OR USED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF GLIDDEN SPINA & PARTNERS, INC. ALL RIGHTS RESERVED.

- AT MATERIAL TRANSITIONS, SUBCONTRACTOR TO PROVIDE LEVELING TO EXTEND 6' TO CREATE A GRADUAL SLOPE AND TRANSITIONS SHALL NOT BE GREATER THAN 1/2"
- SUBCONTRACTOR SHALL P ROVIDE SEAMING DIAGRAM TO DESIGNER FOR APPROVAL, CARPET SHALL BE TREATED WITH A STAIN GUARD, AS REQUIRED.
 SELECTED CARPET TO BE 30 OZ. OR MORE

CARPET I - (CPT-I) TO BE SELECTED CARPET 2 - (CPT-2) TO MATCH EXIST. COMMON AREA CORRIDOR

- MATERIAL AND INSTALLATION BY G.C. MANUFACTURER: ARMSTRONG ACTUAL MATERIAL SHALL BE APPROVED BY TENANT/DESIGNER PRIOR TO

• VINYL COMPOSITION-12" X 12", STANDARD EXCELON COLOR: TO BE SELECTED BY VINYL COMP. TILE - (VCT-I) TO BE SELECTED

 WOOD SPECIES, PATTERN AND STAIN FINISH TO BE APPROVED BY INTERIOR DESIGNER.
PROVIDE CORK UNDERLAYMENT AS NEEDED.
WOOD FLOOP - (WD.): TO BE OF STAIN. MATERIAL AND INSTALLATION BY G.C. WOOD FLOOR - (WD-I) TO BE SELECTED

• ALL WOOD SHALL BE FINISHED BY A QUALITY AWI WORKSHOP.

- ALL MILLWORK SHALL BE FACTORY FINISH • FINISH SAMPLE SHALL BE SUBMITTED TO INTERIOR DESIGNER FOR APPROVAL PRIOR TO FABRICATION.
- BASE/ TRIM SHALL BE TOUCHED UP AFTER CARPET IS INSTALLED
 WOOD BASE SEE DTL A/AI.I

 PAINT GRADE WOOD, PAINT: TO BE SELECTED. FINISH: SEMI-GLOSS
- FINISH SHALL MATCH INTERIOR DESIGNER'S SAMPLE RUBBER BASE - (RB-I) COLOR: TO BE SELECTED

 MANUFACTURER: ARMSTRONG
 RUBBER BASE I - (RB-I) COLOR: TO BE SELECTED

WALL

• GYPSUM BOARD- SMOOTH SLICK FINISH (LEVEL 4, SMOOTH TEXTURE) READY TO RECEIVE PAINT OR SMOOTH FINISH READY TO RECEIVE WALLPAPER

- NEW WALL FINISH TO LEVEL TO MATCH EXISTING WALL
 GEN. CONTR. SHALL PRIME WITH FLAT OIL BASED PRIMER ON GYPSUM BOARD TO RECEIVE WALLCOVERING TO PROVIDE FULL COVERAGE TO PROHIBIT "TELEGRAPHING" OF TAPE JOINTS THROUGH THE WALLCOVERING. (EXTERIOR WALLS TO ONLY RECEIVE TEXTILE OR PERFORATED VINYL WHEN WALLCOVERING IS SPECIFIED.)
- PAINT

 2 COATS OF PAINT- SEE SCHEDULE AND INTERIOR ELEVATIONS FOR LOCATIONS

 PROVIDE WALL SAMPLE FOR DESIGNER APPROVAL PAINT #1- (PT-1) FINISH WASHABLE EGG-SHELL. COLOR: TO BE SELECTED. PAINT #2- (PT-2) FINISH WASHABLE EGG-SHELL. COLOR: TO BE SELECTED.

ALL BULKHEADS OR SOFFITS SHALL BE PAINTED

- CONTRACTOR TO LAYOUT CEILING GRID AS SHOWN ON PLAN
 TEGULAR EDGES IN ANY VISIBLE AREAS CONTAINING LINEAR AIR BARS, LIGHTS AND SOFFITS SHALL BE FACTORY PAINTED.
- 2 COATS OF WALL PAINT ON ALL GYPSUM BOARD CEILINGS AS NOTED ON PLAN, PAINT #I- (PT-I) COLOR: TO BE SELECTED.
- ACOUSTICAL CEILING

 "DUNE" #1774, 2X2 BEVELED TEGULAR EDGE- WHITE W/ 15/16" PRELUDE XL GRID, COLOR: WHITE HUMIGARD PLUS, BIOBLOCK, NRC .50, 15 YR. WARRANTY WOOD CROWN MOULDING - SEE DTL B/AI.I
- PAINT GRADE WOOD, PAINT: TO BE SELECTED, FINISH: SEMI-GLOSS FINISH SHALL MATCH INTERIOR DESIGNER'S SAMPLE

LAMINATE

• COUNTERTOPS- MANUF:_____ COLOR: TO BE SELECTED BY INTERIOR DESIGNER
• CABINETS (FACE TO BE SOLID COLOR MATTE FINISH OR EQUAL)- MANUF:_____ COLOR: TO BE SELECTED BY INTERIOR DESIGNER

WINDOW TREATMENT

• WINDOW TREATMENTS- MATERIAL AND INSTALLATION BY G.C.

 MINI-BLINDS SHALL BE PER BUILDING STANDARD, COLOR:
 MINI-BLINDS TO BE INSIDE MOUNT WHERE POSSIBLE. WITH VALANCE.

MANUFACTURER:

CONTRACTOR TO PROVIDE ARCHITECT WITH CUT SHEETS FOR APPLIANCE APPROVAL

REFRIGERATOR - TENANT PROVIDED AND G.C. INSTALLED

DISHWASHER - TENANT PROVIDED AND G.C. INSTALLED

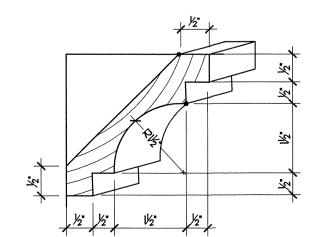
• COLOR: WHITE

FURNITURE NOTES

- ALL FURNITURE SHALL BE PROVIDED AND INSTALLED BY TENANT.
- G.C. TO COORDINATE ALL POWER AND JUNCTION BOXES LOCATED BEHIND FURNITURE WITH FURNITURE INSTALLER PRIOR TO ROUGH ELEC.
- COORDINATE EXACT LOCATIONS OF FURNITURE WITH INSTALLER.



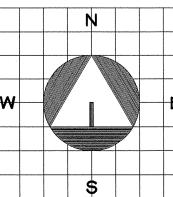
DRAWING FOR REFERENCE ONLY.

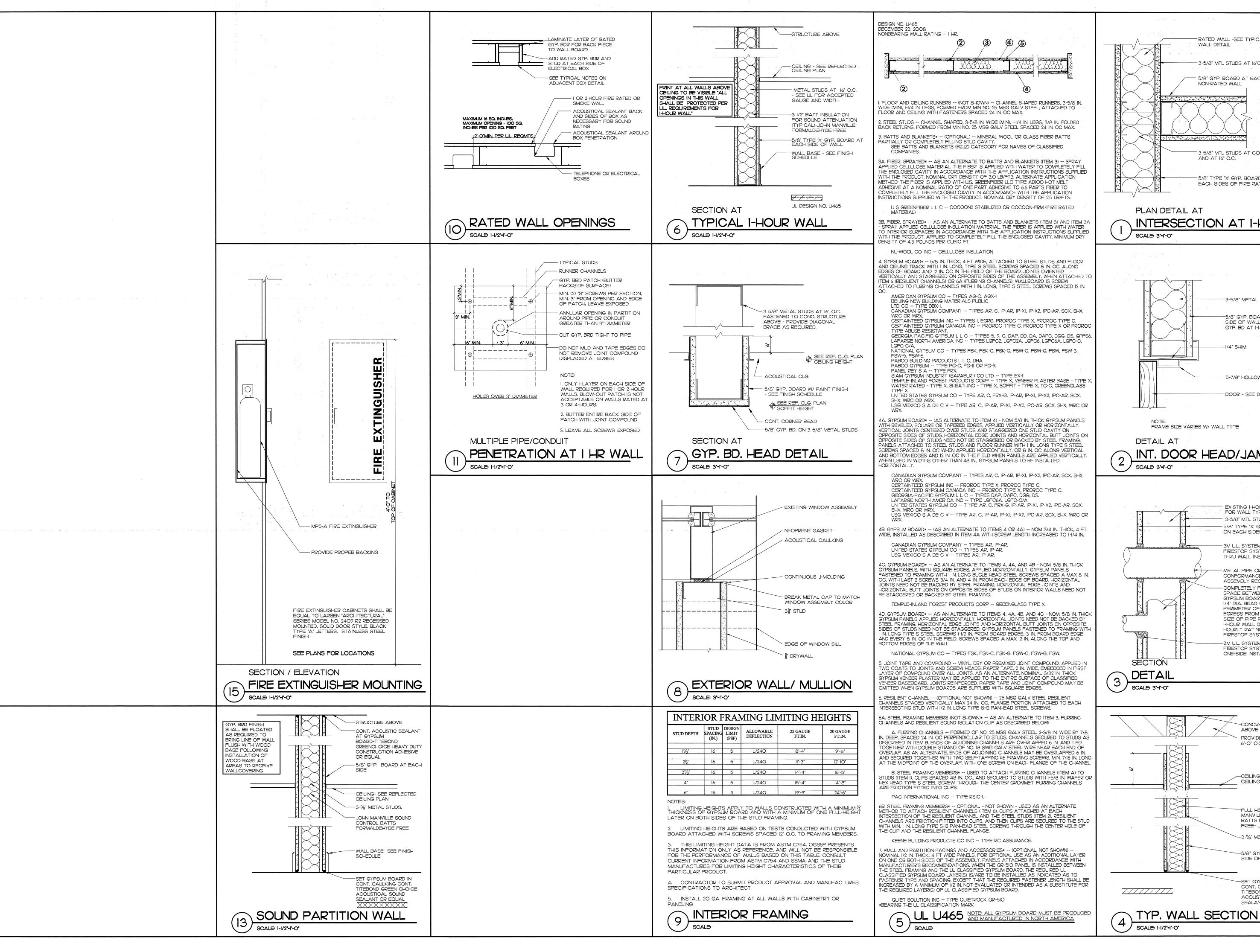


TYP. CROWN MOULDING PROFILE SCALE: 1'-0"-1'-0"

14TH FLOOR - FINISH & FURNITURE PLAN

SCALE: 1/4" = 1'-0"





-RATED WALL -SEE TYPICAL RATED WALL DETAIL -3-5/8" MTL STUDS AT 16"C.C. 5/8" GYP. BOARD AT EACH SIDE OF NON-RATED WALL 3-5/8" MTL STUDS AT CORNERS AND AT 16" O.C. - 5/8" TYPE "X' GYP, BOARD CONT, ON EACH SIDES OF FIRE RATED WALL

RTNERS

4

SPIN

GLIDDEN

S

RODRIG

BRID(GLERRIDA

5 N. PB, F

SE DRAWINGS ARE FOR THE

_USIVE_USE_OF_GLIDDEN SPIN

PARTNERS, INC. AND MAY NOT

JPLICATED, REPRODUCED OR USE

XPRESS WRITTEN CONSENT OF

LL RIGHTS RESERVED.

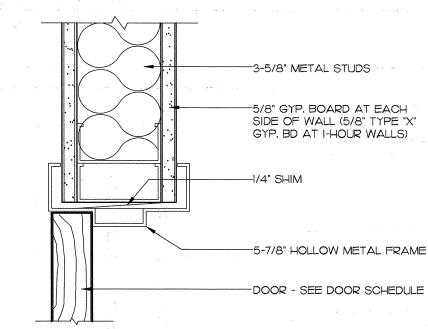
0

L

Σ

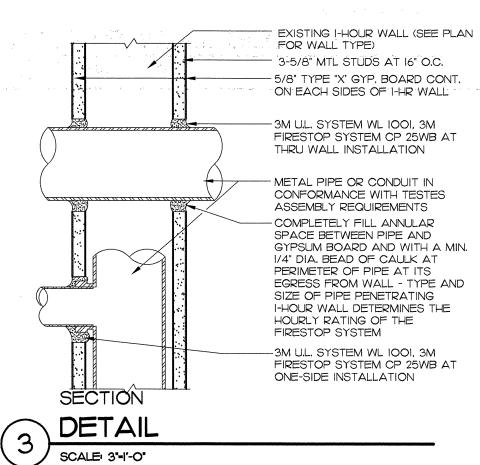
0

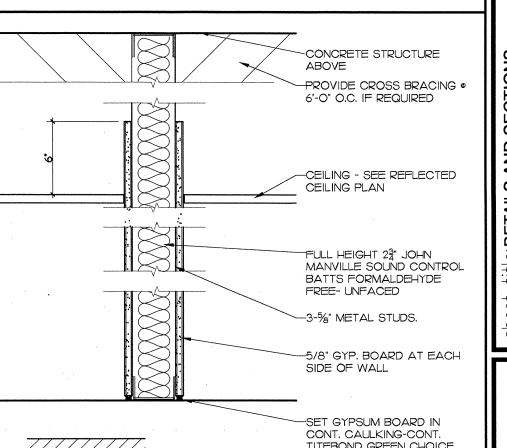
INTERSECTION AT I-HR WALL



FRAME SIZE VARIES W/ WALL TYPE

INT. DOOR HEAD/JAMB





FITEBOND GREEN CHOICE ACOUSTICAL SOUND SEALANT OR EQUAL

MECHANICAL PLAN

NOTE TO CONTRACTOR

1. CONTRACTOR TO COORDINATE ALL MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL AND FIRE SPRINKLER WITH EXISTING CONDITIONS.

DUCTS UP AND OVER EACH OTHER AS REQUIRED.

2. REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR FINAL LOCATION OF ALL DEVICES. 3. COORDINATE IN FIELD ALL DUCT CROSSINGS. TURN

4. ALL FIRE DAMPERS AND FIRE SMOKE DAMPERS SHALL BE INSTALLED PER MANUFACTURERS INSTRUCTIONS.

5. THERMOSTATS TO BE MOUNTED 42" A.F.F. COORDINATE EXACT LOCATIONS WITH SWITCH LOCATIONS ON WALL PRIOR TO ROUGH IN. 6. ALL NEW FLEX DUCTS SHALL NOT EXCEED 6' IN

LENGTH. CONTRACTOR TO VERIFY IN FIELD EXACT LENGTH AND LOCATIONS FOR DUCT EXTENSIONS TO

KEEP FLEX DUCT AT A 6' MAXIMUM.

CEILING MOUNT REMOTE ALARM TEST STATION. CENTER IN CEILING TILE. NUMBER WITH CORRESPONDING FHP # FOR IDENTIFICATION.

AND ROUTING IN FIELD.

NOTE: CEILING SPACE IS A COMMON PLENUM NO COMBUSTIBLE MATERIALS ALLOWED.

KEY NOTES:

NEW 10" Ø O/A DUCT FROM EXISTING O/A DUCT ABOVE RESTROOMS. VERIFY EXACT LOCATION

NOTE TO CONTRACTOR

CONTRACTOR TO COORDINATE ALL MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL AND FIRE SPRINKLER WITH EXISTING CONDITIONS.

REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR FINAL LOCATION OF ALL DEVICES.

FIRE DAMPER FIRE/SMOKE DAMPER (F.D.) THERMOSTAT RETURN AIR GRILLE **€** □ **EXHAUST FAN** REMOTE ALARM TEST STATION SMOKE DUCT DETECTOR AUTOMATED VOLUME DAMPER FLORIDA HEAT PUMP (FHP) __<u>CWR</u>__ CONDENSER WATER RETURN CWS CONDENSER WATER SUPPLY POINT OF CONNECTION **ABBREVIATIONS** A.F.F. ABOVE FINISHED FLOOR R.A. RETURN AIR R.C. ROOF CAP W.C. WALL CAP O/A OUTSIDE AIR S.A.D. SUPPLY AIR DUCT R.A.D. RETURN AIR DUCT R.A.G. RETURN AIR GRILLE E.A.G. EXHAUST AIR GRILLE T.E.D TOILET EXHAUST DUCT AVD AUTOMATED VOLUME DAMPER FHP FLORIDA HEAT PUMP AHU AIR HANDLER UNIT CU CONDENSING UNIT WAHU WALL MOUNTED AIR HANDLER UNIT CAHU CEILING MOUNTED AIR HANDLER UNIT (E) EXISTING TO REMAIN (D) EXISTING TO BE DEMOLISH (RE) EXISTING TO BE RELOCATED (RP) EXISTING TO BE REPLACED □ UP □ DN SUPPLY DUCT (UP & DOWN) UP [] DN RETURN DUCT (UP & DOWN) □ UP □ DN EXHAUST DUCT (UP & DOWN) UP 🔀 DN O/A DUCT (UP & DOWN) NEW DUCT - WIDTH x DEPTH

👇 EXISTING DUCT – WIDTH x DEPTH

NEW FLEX DUCT - DIAMETER

A/C LEGEND

4W - DIFFUSER 2W - DIFFUSER TRANSITION

MANUAL VOLUME DAMPER (M.V.D.)

PARTNERS

GLIDDEN

S FOR:
RODRIGUEZ &

L Z Z

LNANT IMPROVE

MILLER, I

MILLER, I

I NORTHBRIDGE CENTE!

I5 N. FLAGLER DR., SUIT!

PB, FLORIDA

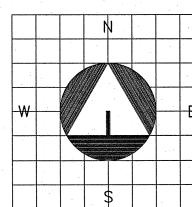
THESE DRAWINGS ARE FOR THE EXCLUSIVE USE OF GLIDDEN SPINA & PARTNERS, INC. AND MAY NOT BE DUPLICATED, REPRODUCED OR USED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF GLIDDEN SPINA & PARTNERS, INC.

ALL RIGHTS RESERVED.

PERMIT_SET: _12/13/11

1640 N.W. BOGA RATON BLVD. BOCA RATON, FL 33432 TEL: (561) 391-9292 FAX: (561) 391-9898 CERTIFICATE OF AUTHORIZATION NO. 28107 HAROLD R. TUSSLER, P.E. LICENSE #19315 URSULA IAFRATE, P.E. LICENSE #73122 MARTIN WHITELOCKE, P.E. LICENSE #53899

SCALE: 1/8" = 1'-0"



PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.

E-MAIL: INFO@FAECONSULTING.COM

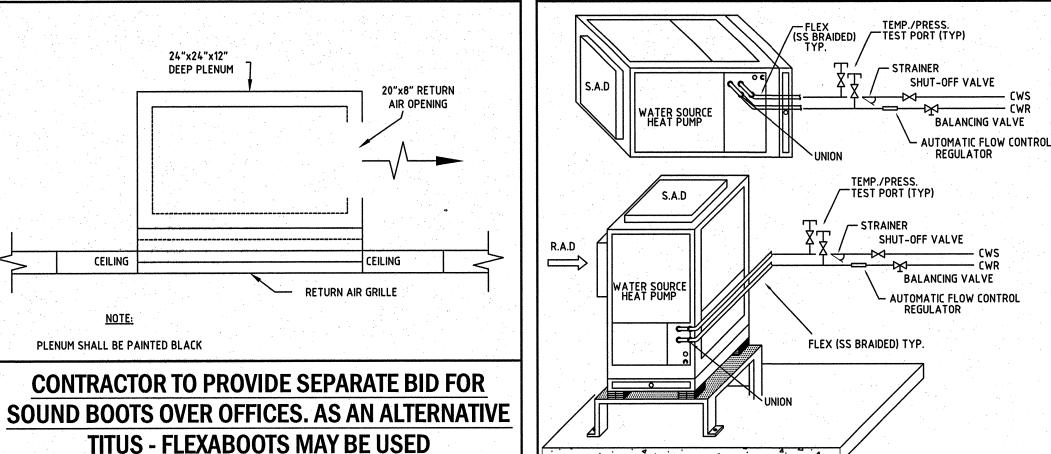
32'

1. SMOKE DUCT DETECTOR REQUIRED FOR UNITS WITH 2,000 CFM OR GREATER. LOCATE SMOKE DUCT DETECTOR IN SUPPLY DUCT AT UNIT. SEE FLOOR PLAN FOR EXACT LOCATION.

2. PROVIDE ACCESS PANEL FOR DETECTOR INSPECTION/REPAIR.

3. CONNECT DUCT DETECTOR TO BUILDINGS FIRE ALARM SYSTEM IN ACCORDANCE WITH FBC-M 606.4.1

DETAIL SMOKE DUCT DETECTOR NOT TO SCALE **MOUNTING DETAIL**



LOCK WASHER

ANCHORS (TYP OF 8)

PLUMBING DRAWING FOR LOCATION

NO. 2

DETAIL

1/2" THREADED ROD (TYP OF 4)

- 1/2"Ø THREADED ROD

---- CONCRETE SLAB

- DRAIN PAN UNDER ANGLE IRON BAR W/ FLOAT SWITCH

FHP MOUNTING DETAIL

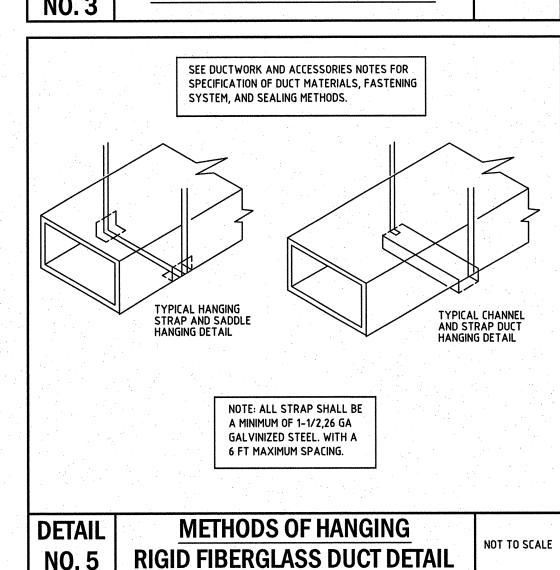
ISOLATORS (TYP OF

ANGLE IRON BAR (TYP OF 2)

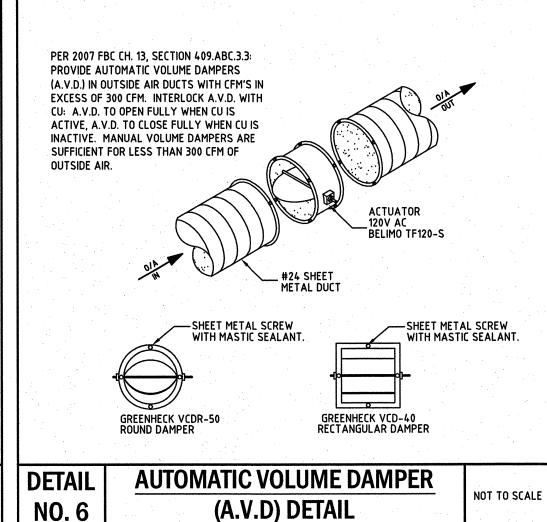
NOT TO SCALE

NOT TO SCALE

BALANCING VALVE



RETURN AIR PLENUM DETAIL



HEAT PUMP

PIPING DETAIL

OUTSIDE AIR SCHEDULE per ASHRAE 62.1-2004

SPACE	NET OCCUPIED AREA	OCCUPANCY DENSITY PER 1000 SQFT	ESTIMATED OCCUPANCY	ACTUAL OCCUPANCY	VENTILATION RATE CFM PER PERSON + SQFT	VENTILATION REQUIRED	VENTILATION PROVIDED	NOTES
OFFICE	565	5	3	-	5 + 0.06	15 + 34 = 49	125	FHP-1
CONFERENCE	220	50	11	-	5 + 0.06	55 + 14 = 69	123	1111-1

1) OCCUPANT DENSITIES & VENTILATION RATES ARE BASED ON ASHRAE STANDARD 62.1, 2004 & 2006 SUPPLEMENT, PER SECTION 403, SUBSECTION 403.4 OF FLORIDA BUILDING 2) ACTUAL OCCUPANCY IS BASED ON EITHER SEATING ARRANGEMENT OR INFORMATION PROVIDED BY OWNER AND OR ARCHITECT.

		OU	TSIDE A	ir schei	DULE per ASHRAE 62.1	-2004		
SPACE	NET OCCUPIED AREA	OCCUPANCY DENSITY PER 1000 SQFT	ESTIMATED OCCUPANCY	ACTUAL OCCUPANCY	VENTILATION RATE CFM PER PERSON + SQFT	VENTILATION REQUIRED	VENTILATION PROVIDED	NOTES
OFFICE	985	5	5	-	5 + 0.06	25 + 60 = 85		
BREAK ROOM	150	30	5	-	7.5 + 0.18	38 + 27 = 65	200	FHP-2
RECEPTION	155	30	5	- ,	5 + 0.06	25 + 10 = 35		

1) OCCUPANT DENSITIES & VENTILATION RATES ARE BASED ON ASHRAE STANDARD 62.1, 2004 & 2006 SUPPLEMENT, PER SECTION 403, SUBSECTION 403.4 OF FLORIDA BUILDING 2) ACTUAL OCCUPANCY IS BASED ON EITHER SEATING ARRANGEMENT OR INFORMATION PROVIDED BY OWNER AND OR ARCHITECT

	•	OU	TSIDE A	IR SCHE	DULE per ASHRAE 62.1	I-2004		
SPACE	NET OCCUPIED AREA	OCCUPANCY DENSITY PER 1000 SQFT	ESTIMATED OCCUPANCY	ACTUAL OCCUPANCY	VENTILATION RATE CFM PER PERSON + SQFT	VENTILATION REQUIRED	VENTILATION PROVIDED	NOTES
OFFICE	570	5	3	-	5 + 0.06	15 + 35 = 50	75	FHP-3
NOTES.		***************************************	Managara and Antonia and A					

1) OCCUPANT DENSITIES & VENTILATION RATES ARE BASED ON ASHRAE STANDARD 62.1, 2004 & 2006 SUPPLEMENT, PER SECTION 403, SUBSECTION 403.4 OF FLORIDA BUILDING **CODE MECHANICAL 2007** 2) ACTUAL OCCUPANCY IS BASED ON EITHER SEATING ARRANGEMENT OR INFORMATION PROVIDED BY OWNER AND OR ARCHITECT

THAT ARE TO REMAIN IF NOT SPECIFIED THERMOSTAT). T-STATS TO BE MOUNTED 42"A.F.F.

5) PROVIDE SMOKE DUCT DETECTORS WITHIN 5' OF THE UNITS.

2) ALL DIFFUSUER TYPES MIGHT NOT BE USED.

				٧	VATER S	OURCE	HEA	ΓPU	MP I	DATA				
0.TV	UNIT NO	MCC	MODEL NO	TOTAL	CENCIDI E	HEAT	FAN S	ECTION	***	CDM/DD /CT)	EED/COD	WATER	TEMP.	CWS & CWR
QTY.	UNIT NO.	MFG.	MODEL NO.	TOTAL	SENSIBLE	REJECT.	CFM	E.S.P.	0/A	GPM/P.D. (FT)	EER/COP	ENT.	LVG.	CONNECTION
1	FHP-1	FHP	EC036 HORIZ.	36,050	27,590		1,250	0.4	125	9.0/9.1	13.8/4.5	85	95	3/4"
1	FHP-2	FHP	EC042 HORIZ.	42,810	32,910		1,425	0.4	200	10.0/11.0	13.0/4.2	85	95	3/4"
1	FHP-3	FHP	EC042 HORIZ.	42,810	32,910		1,325	0.4	75	10.0/11.0	13.0/4.2	85	95	3/4"

6) PROVIDE HIGH AND LOW PRESSURE SWITCHES, FREEZESTAT AND TVX VALVE 1) VERIFY ALL A/C ELECTRICAL REQUIREMENTS WITH MANUFACTURERS SPEC. PRIOR TO INSTALLATION. 7) PROVIDE STAINLESS STEEL AUXILIARY DRAIN PAN WITH AUTOMATIC SHUTOFF FLOAT 2) PROVIDE R-410A REFRIGERANT 3) PROVIDE VENSTAR T2800 THERMOSTATS FOR ALL HEAT PUMPS 7-DAY/24-HR DIGITAL FULLY

8) PROVIDE SOUND REDUCTION PACKAGE PROGRAMMABLE, 24V W/ BACKLIGHT AND KEYPAD LOCKOUT (REPLACE EXISTING T-STATS FOR UNITS 9) MOTOR STARTERS, DISCONNECTS AND ALL EQUIPMENT POWER WIRING BY ELECTRICAL CONTRACTOR. COORDINATE PRIOR TO ANY WORK AND PURCHASING. 4) PROVIDE HOSE KITS WITH 'CIRCUIT SETTER' FLOW CONTROL AND FIRE RATED HOSES (SS BRAIDED) 10) ALL UNITS ARE TO BE TIED INTO FIRE ALARM SYSTEM AND HAVE GLOBAL SHUT DOWN. COORDINATE WITH BUILDING ENGINEER.

					WSH	P ELE	CTRICAL	DATA			
UNIT NO.	COMPRESSOR				IF	М	HEATING	ELECTRIC	AIR HANDLER UNIT		
UNIT NU.	V/P/Hz	QTY	FLA	LRA	HP	FLA	TEATING	HEAT	MIN. CAPACITY	MAX FUSE	
FHP-1	208/3/60	. 1	10.0	78.0	1/2	3.9	46,000		16.4	25	
FHP-2	208/3/60	1	10.6	78.0	1/2	3.9	53,000	-	17.2	25	
FHP-3	208/3/60	1	10.6	78.0	1/2	3.9	53,000	-	17.2	25	

			AIR TERMINAL	SCHEDULE (TITU:	S)	
SERVICE	SYSTEM	LOCATION	ACCESSORIES	MANUFACTURE	MODEL	DESCRIPTION
A	SUPPLY	CEILING		TITUS	MODEL NO: TDC-AA	12" x 12" 4-WAY
В	SUPPLY	CEILING	- · · ·	TITUS	MODEL NO: TDC-AA	9" x 9" 4-WAY
RA	RETURN	CEILING	- ·	TITUS	MODEL NO: 350FL	24" x 24" Unless otherwise noted
AIR TERMINAL NO 1) STANDARD FINI	<u>TES:</u> Sh to be white for a	LL DEVICES.				

PER 2007 FBC CH. 13, SECTION 409.1.ABC.3.3: PROVIDE MOTORIZED SHUTOFF CONTROL DAMPERS ON RTU'S/AHU'S WITH CFM'S IN EXCESS OF 300 CFM. **GRAVITY DAMPERS ARE SUFFICIENT FOR LESS THAN 30** CFM OF OUTSIDE AIR.

THIS PROJECT: PROVIDE MOTORIZED DAMPERS IN ALL OUTSIDE AIR

AIR CONDITIONING SPECIFICATION

MATERIALS, ELEVATIONS AND COUNTS AS SHOWN AND/OR NOTED ON THE DRAWINGS AND INCLUDE IN THE BID ANY AND ALL FABRICATION REQUIRED PRIOR TO INSTALLATION. THE CONTRACTOR SHALL VERIFY SIZE, ELEVATION, AND PRESENT STATE OF ALL

2. THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF ANY AND ALL EXISTING FIELD CONDITIONS WHICH DEVIATE FROM WHAT WAS SHOWN ON THE PLANS. CONTRACTOR IS RESPONSIBLE TO PROVIDE PRICING FOR A COMPLETE INSTALLATION INCLUDING ANY COSTS

B. IT SHALL BE THE RESPONSIBILITY OF THE AIR CONDITIONING CONTRACTOR FOR THE ADVANCED ORDERING OF LONG LEAD ITEMS SO THAT DELIVERY WILL NOT INTERFERE WITH THE PRODUCTION OF OTHER TRADES RESULTING IN ANY DOWN OR LAG TIME.

. IT SHALL BE THE RESPONSIBILITY OF THE AIR CONDITIONING CONTRACTOR TO PROVIDE ALL LABOR, MATERIALS, AND SUPERVISION NECESSARY TO ACCOMPLISH THE WORK SHOWN AND/OR NOTED ON THE DRAWINGS. THE DRAWINGS ARE DIAGRAMMATIC: DO NOT SCALE FOR EXACT LOCATIONS. THE AIR CONDITIONING CONTRACTOR SHALL INSTALL ALL NECESSARY OFFSETS, BENDS, AND TRANSITIONS AS REQUIRED TO PROVIDE A COMPLETE AND FULLY OPERATIVE SYSTEM. ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS. CONTRACTOR SHALL NOTIFY ENGINEER IF DUCT SIZE CHANGES ARE REQUIRED BECAUSE OF EXISTING CONDITIONS.

5. CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS, TESTS, AND ALL REQUIRED INSURANCE FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.

5. AFTER BID SELECTION AND PRIOR TO COMMENCEMENT OF WORK, THE AIR CONDITIONING CONTRACTOR SHALL SUBMIT (6 COPIES) OI EQUIPMENT CUTS FOR ALL DUCT WORK, EXHAUST FANS, AIR DEVICES, AND EQUIPMENT AS STATED ON SCHEDULES AND OR NOTES. IF THE CONTRACTOR PROPOSES TO USE ANY ARTICLE, DEVICE, PRODUCT, OR MATERIAL WHICH IS NOT AS SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVE TO THE ENGINEER THAT THE PROPOSED SUBSTITUTION IS EQUAL AND WILL FIT ALLOCATED SPACE.

7. ALL WORK SHALL BE PERFORMED BY A LICENSED AIR CONDITIONING CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. ALL WORK-MANSHIP AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE NATIONAL, STATE AND LOCAL CODES AND ORDINANCES.

8. THE AIR CONDITIONING CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR TO ORIGINAL CONDITION ANY AND ALL DAMAGES TO BUILDING SURFACES, EQUIPMENT, AND FURNISHINGS CAUSED BY THE CONTRACTOR DURING THE PERFORMANCE OF WORK.

CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.

10. ALL REFRIGERANT PIPING SHALL BE TYPE "L" OR TYPE "K" COPPER WITH WROUGHT COPPER OR BRASS FITTINGS. STEEL VALVES ARE NOT PERMITTED.

11. THE AIR CONDITIONING CONTRACTOR SHALL RUN ALL CONDENSATE DRAINS PER PLUMBING SPECIFICATIONS. (SEE PLUMBING SHEETS) 12. INTERIOR CONDENSATE DRAIN PIPING AND REFRIGERANT SUCTION LINES SHALL BE INSULATED WITH 5/8" THICK IMCOLOCK OR ARMAFLEX. 13. COMBUSTIBLE PIPING IS NOT PERMITTED IN RETURN AIR PLENUMS OR CEILING SPACES USED FOR RETURN AIR.

14. LOCATION OF AIR CONDITIONING DUCTS AND AIR DEVICES MAY CHANGE. VERIFY EXACT LOCATION WITH ARCHITECT/ENGINEER PRIOR TO INSTALLATION. DRAWINGS ARE DIAGRAMMATIC, DO NOT SCALE FOR THE EXACT LOCATION OF DUCTS, DIFFUSERS, GRILLES,

REGISTERS, PIPING, EQUIPMENT, ETC. SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION OF AIR DEVICES. 15. THE AIR CONDITIONING CONTRACTOR SHALL MOUNT ALL ROOFTOP EQUIPMENT ON FACTORY FABRICATED CURBS AND ANCHORS FOR A MINIMUM OF 140 MPH WIND LOADS. WIND LOADS AT MOUNTING HEIGHTS SHALL BE AS REQUIRED BY LOCAL CODES.

16. THE AIR CONDITIONING CONTRACTOR SHALL USE VANED ELBOWS OR APPROVED 3 PIECE ELBOWS, SPLITTER DAMPERS WHERE INDICATED, VOLUME CONTROLS IN ALL BRANCH LINES AND SUPPLY AND RETURN AIR DEVICES.

17. THE AIR CONDITIONING CONTRACTOR SHALL SEAL ALL DUCTS IN AN APPROVED MANNER TO INSURE AGAINST LEAKAGE.

18. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID ANY CONFLICTS IN LOCATIONS FOR DUCTS, DIFFUSERS,

GRILLES, REGISTERS, PIPING, EQUIPMENT, ETC., INORDER TO NOT INTERFERE WITH THE PROGRESS OF CONSTRUCTION.

19. THE AIR CONDITIONING CONTRACTOR SHALL PROVIDE FLEXIBLE DUCT CONNECTIONS TO ALL FANS, A/C UNITS, OR MECHANICAL

20. ALL EXHAUST AND OUTSIDE AIR DUCTS SHALL BE GALVANIZED SHEET METAL CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH ASHRAE, SMACNA, AND LOCAL CODES. ALL OUTSIDE AIR DUCTS SHALL HAVE 1" INSULATION IN AIR CONDITIONED SPACES. 21. UNLESS NOTED AS EXISTING, ALL EQUIPMENT, PIPING, DUCTS, REGISTERS, ETC., SHALL BE NEW.

22. TERMINAL AIR DISTRIBUTION DEVICES SHALL BE TITUS, METALAIRE OR NAILOR-HART OR EQUAL AS SCHEDULED:

ALL VOLUME DAMPERS SHALL BE OPPOSED BLADE TYPE WITH SCREWDRIVER ADJUSTMENT. 3. ALL SUPPLY AND RETURN FIBERGLASS AIR DUCTWORK SHALL BE JOHNS MANVILLE FIBERGLASS (1.5" THICK). TYPE 475 OR 800 OR SHEET METAL WITH MINIMUM R-6 EXTERIOR FOILBACK INSULATION, UNLESS OTHERWISE NOTED ON PLANS ALL DUCTS SHALL BE SUPPORTED IN AS STRAIGHT AND LEVEL AS FASHION AS POSSIBLE. THE ENTIRE

INSTALLATION SHALL BE INSTALLED IN ACCORDANCE WITH ASHRAE, SMACNA, AND LOCAL CODES. FLEXIBLE DUCTS SHALL BE UL-181 RATED, NONMETALLIC, CLASS 1, R-6 - INSTALLED IN ACCORDANCE WITH FBC-M 304.1 FLEXIBLE DUCTS SHALL NOT BE LIMITED IN LENGTH PER FBC-M 603.5.1.1

24. THE AIR CONDITIONING CONTRACTOR SHALL PROVIDE ALL CONTACTORS, STARTERS, RELAYS, AND THERMOSTATS. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL SWITCHES, DISCONNECTS, POWER WIRING AND CONTROL WIRING.

25. THE AIR CONDITIONING CONTRACTOR SHALL PROVIDE 1" THICK FARR 30/30 (THROW-AWAY TYPE) FILTERS WITH EACH A/C UNIT.

26. ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND SHALL BEAR UNDERWRITERS LABEL WHERE APPLICABLE.

27. ALL PENETRATIONS OF FIRE-RATED WALLS, FLOORS OR CEILINGS SHALL BE FIREPROOFED BY A SEALING METHOD AND RATING AS SPECIFIED ON THE DRAWINGS OR AS REQUIRED BY THE LOCAL OR STATE CODES.

28. AIR HANDLING DEVICES IN EXCESS OF 2000 CFM WILL HAVE A DUCT SMOKE DETECTOR TO STOP THE FAN AND ACTIVATE A HORN AND STROBE LIGHT. ALL EQUIPMENT SHALL BE INTERLOCKED AS REQUIRED BY LOCAL CODES OR FIRE SAFETY OFFICIALS

29. ALL WORK SHALL COMPLY WITH BASE BUILDING LIFE SAFETY/SMOKE CONTROL SYSTEM REQUIREMENTS, PROVIDE ALL NECESSARY WIRING, CONTACTORS, RELAYS, ETC., AS REQUIRED FOR INTERFACE WITH BASE BUILDING SYSTEM.

30. THE AIR CONDITIONING CONTRACTOR SHALL KEEP ALL AREAS IN WHICH WORK IS BEING PERFORMED, FREE FROM DEBRIS AT ALL TIMES

AND SAID AREAS SHALL BE LEFT BROOM CLEAN AT THE END OF EACH WORKING DAY 31. THE AIRCONDITIONING CONTRACTOR SHALL PROVIDE A COMPLETE SET OF AS BUILT DRAWINGS TO THE ENGINEER UPON COMPLETION OF

INSTALLATION, IF FIELD CHANGES ARE MADE WHICH DEVIATE FROM ENGINEERING DRAWINGS TO THE EXTENT THAT THE BUILDING

DEPARTMENT REQUIRES THESE CHANGES BE INCORPORATED PRIOR TO INSPECTION, THE CONTRACTOR SHALL PROVIDE SKETCHES TO THE ENGINEER FOR INCORPORATION INTO THE BUILDING PLANS. ENGINEERING EXPENSES THAT ARE INCURRED DUE TO REVISIONS OR SUBSTITUTIONS REQUESTED BY THE CONTRACTOR SHALL BE PAID FOR BY THAT CONTRACTOR. 32. THE AIR CONDITIONING CONTRACTOR SHALL PROVIDE A TEST AND BALANCE REPORT PER FBC 2007, CH 13, 410.1.ABCD.4

FOR ALL MECHANICAL EQUIPMENT, AIR DEVICES, DAMPERS, AHU'S AND FANS FOR ALL PROJECTS. THE T & B REPORT SHALL BE IN ACCORDANCE WITH AIR BALANCE COUNCIL STANDARDS AND SHALL INCLUDE AIR QUANTITIES FOR ALL SUPPLY GRILLES, RETURN GRILLES, AND EXHAUST GRILLES AND THE LEAVING AND ENTERING AIR TEMP (*F) FROM SUPPLY GRILLES AND EVAPORATORS. IF THE OWNER EXPERIENCES UNCOMFORTABLE CONDITIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF AIR FLOW TO WITHIN PLUS OR MINUS 10% FROM AIR QUANTITIES

33. AIR CONDITIONING CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP TO BE FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN (1) YEAR FROM DATE OF ACCEPTANCE, AND ALL GUARANTEES AND WARRANTIES SHALL BE DELIVERED TO THE OWNER. COMPRESSORS SHALL HAVE EXTENDED FIVE YEAR WARRANTIES.

I. EXISTING CONDITIONS 34. IF THE NATURE OF THIS CONTRACT INVOLVES EXTENSIVE REMODELING OF THE EXISTING BUILDING. THE AIR CONDITIONING CONTRACTOR, PRIOR TO BID, SHALL INSPECT THE EXISTING CONDITIONS AT THE JOB SITE AND ACQUAINT HIMSELF WITH THE CONDITIONS THAT

35. PRIOR TO INSTALLATION, THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION OF ALL EQUIPMENT WITH THE OWNER'S REPRESENTATIVE AND THE ACTUAL EQUIPMENT BEING FURNISHED. 36. PRESENT AIR CONDITIONING EQUIPMENT WHERE INDICATED ON THE DRAWINGS IS FOR INFORMATION ONLY AND THE CONTRACTOR SHALL

INCLUDE THE INSTALLATION OF CONDUIT AND WIRE AS REQUIRED. THE INSTALLATION OF NEW EQUIPMENT THAT INTERFERES WITH EXISTING SHALL BE REMOVED. RELOCATED. OR RE-ROUTED TO PERMIT COMPLETION OF SUCH WORK 37. SALVAGED MATERIALS, EQUIPMENT, AND DIFFUSERS SHALL BE DELIVERED TO THE OWNER AT HIS PROPERTY AND STORED WITHIN THE BUILDING WHERE DIRECTED. ANY REMOVED MATERIALS OR EQUIPMENT WHICH THE OWNER DOES NOT WISH TO KEEP SHALL BE DISPOSED

OF BY THE CONTRACTOR, WITHOUT ADDITIONAL COST TO THE OWNER. 38. ALL PRESENT DUCTWORK AND PIPING IN EXISTING AREAS TO BE ALTERED, WHICH WILL HAVE NO USE UPON COMPLETION OF THE ALTERATIONS SHALL BE REMOVED. WHENEVER DUCTS OR PIPING ARE OR WILL BECOME EXPOSED TO VIEW, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER,

39. THE AIR CONDITIONING CONTRACTOR SHALL DETERMINE THE EXTENT TO WHICH EXISTING DUCTWORK AND PIPING WILL HAVE TO BE RE-ROUTED, RELOCATED, OR RECONNECTED, AND THE AMOUNT OF ADDITIONAL WORK WHICH MAY BE REQUIRED DUE TO THE PHYSICAL

40. INTERRUPTION OF EXISTING FACILITIES OR SERVICES SHALL BE KEPT TO A MINIMUM AND THE CONTRACTOR SHALL FURNISH ALL. MATERIALS AND LABOR REQUIRED WHENEVER TEMPORARY CONDITIONS ARE NECESSARY TO MAINTAIN CONTINUITY OF SERVICE. INTERRUPTION OF SERVICES, THE INSTALLATION OF TEMPORARY FACILITIES, AND THE WORK OF MAKING FINAL CONNECTIONS TO NEW WORK SHALL BE DONE ONLY AT SUCH TIMES AS PERMITTED AND SCHEDULED BY THE OWNER WITHOUT ADDITIONAL COST. THE AIR CONDI TIONING CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE SERVICE INTERRUPTIONS WITH THE OWNER & GENERAL CONTRACTOR.

PERMIT SET: 12/13/11



BOCA RATON, FL 33432 TEL: (561) 391-9292 FAX: (561) 391-9898 CERTIFICATE OF AUTHORIZATION NO. 28107 HAROLD R. TUSSLER, P.E. LICENSE #19315 URSULA IAFRATE, P.E. LICENSE #73122 MARTIN WHITELOCKE, P.E. LICENSE #53899 E-MAIL: INFO@FAECONSULTING.COM

SCALE: N.T.S.

PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.

1640 N.W. BOCA RATON BLVD.

HESE DRAWINGS ARE FOR THE EXCLUSIVE US

IY MANNER WITHOUT THE EXPRESS WRITTEN

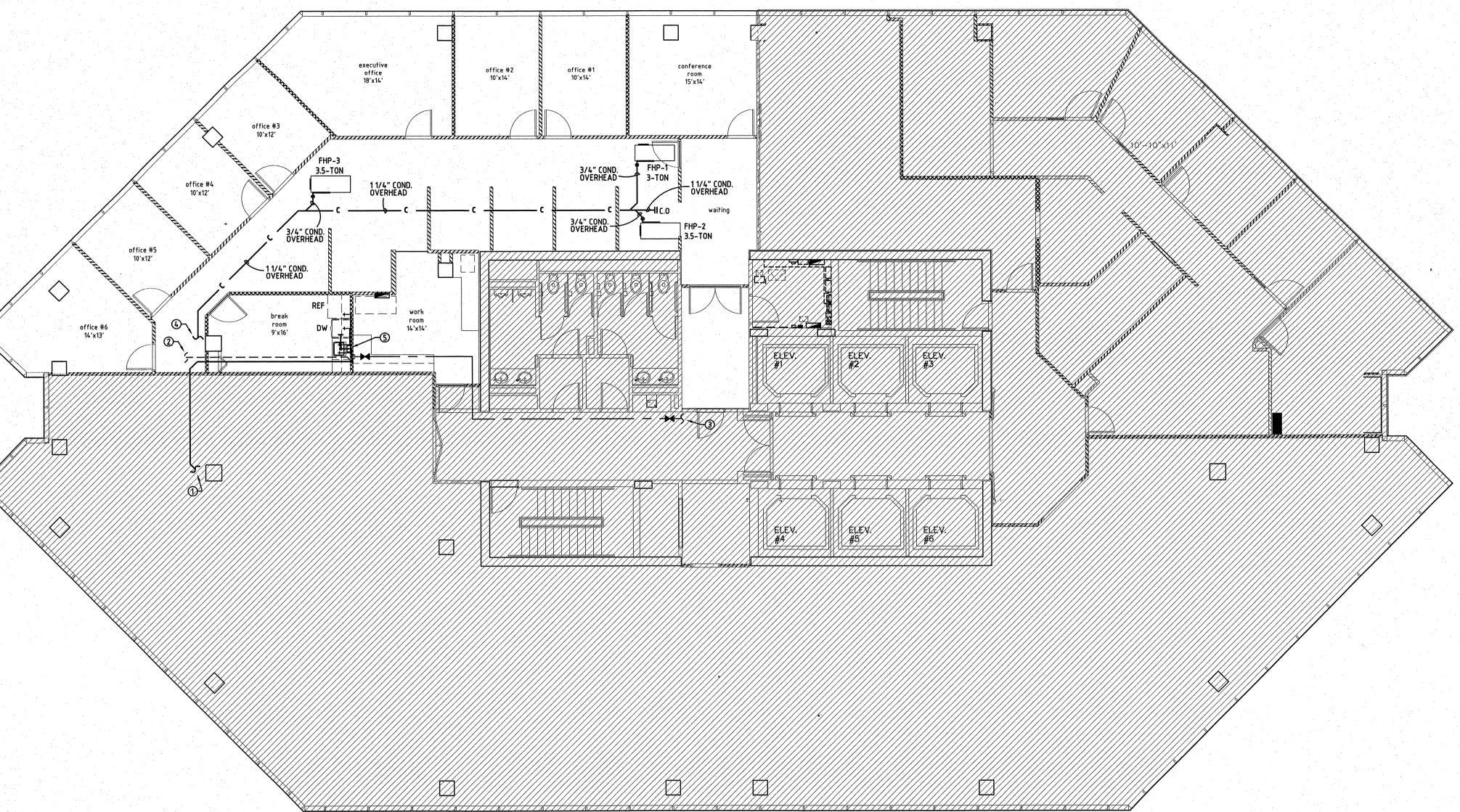
CONSENT OF GLIDDEN SPINA & PARTNERS, INC.

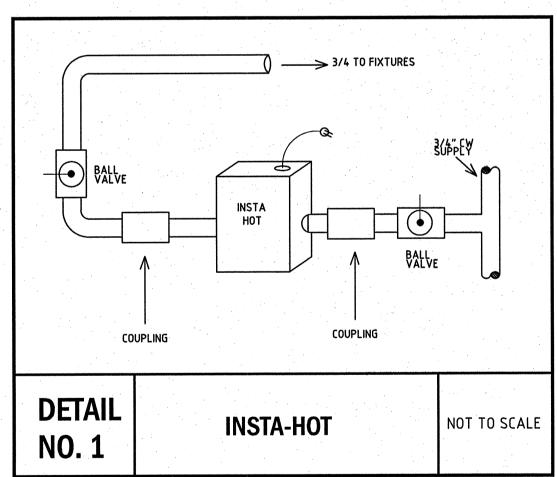
OF GLIDDEN SPINA & PARTNERS, INC. AND MAY NOT BE DUPLICATED, REPRODUCED OR USED IN

TNERS

GLIDDEN

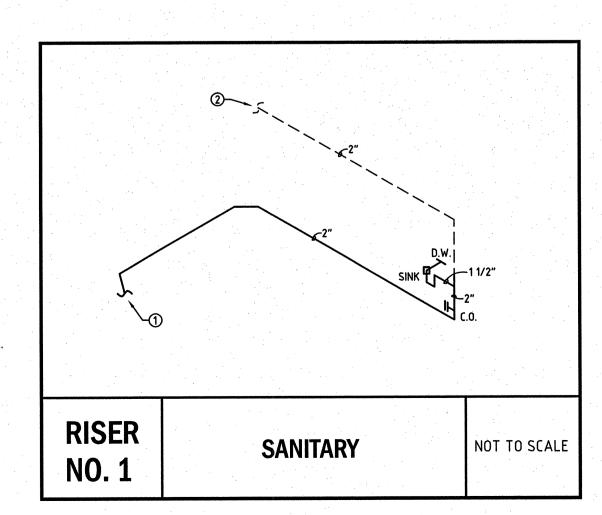
DRI

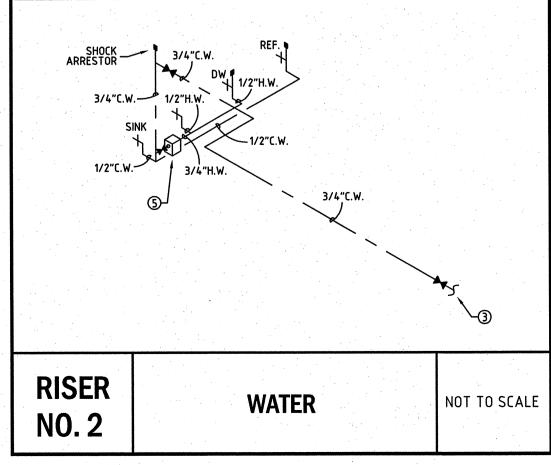




NOTES:

- FLOOR SLABS ARE POST TENSIONED & MUST BE XRAYED PRIOR TO CORE DRILLING OR OTHER PENETRATIONS. CONTRACTOR SHALL OBTAINED THE BUILDING OWNER'S PERMISSION PRIOR TO COMMENCING ANY SLAB PENETRATIONS.
- ALL PIPING ROUTED BELOW FLOOR OF TENANT'S SPACE TO BE COORDINATED WITH EXISTING UTILITIES AND LANDLORD PRIOR TO CONSTRUCTION. PIPING TO BE ROUTED TIGHT TO SLAB WHERE EVER POSSIBLE.
- CEILING SPACE IS A COMMON PLENUM NO COMBUSTIBLE MATERIALS ALLOWED.





____ COLD WATER LINE __ _ _ _ VENT LINE CONDENSATE LINE ► SHUT-OFF VALVE (E) EXISTING TO REMAIN

PLUMBING KEY NOTES ELKAY "LUSTERTONE" - SINGLE BOWL SINK. MODEL # LRADQ1517 COLOR STAINLESS STEEL 6" DEPTH (3) HOLES (PLUMBER TO VERIFY MOUNTING SYSTEM.) FAUCET ELKAY COLOR CHROME MODEL

① CONNECT NEW 2" SANITARY LINE TO EXISTING SANITARY RISER IN WET COLUMN. VERIFY EXACT LOCATION, SIZE & CONNECTION POINT IN FIELD PRIOR TO CONSTRUCTION.

PLUMBING LEGEND

- CONNECT NEW 2" VENT LINE TO EXISTING VENT LINE OVERHEAD. VERIFY EXACT LOCATION, SIZE, & CONNECTION POINT IN FIELD PRIOR TO CONSTRUCTION. IF DEVELOPED LENGTH OF VENT PIPE EXCEEDS 40 FEET, THE VENT PIPE SHALL BE INCREASED BY ONE NOMINAL PIPE SIZE FOR THE ENTIRE DEVELOPED LENGTH OF THE
- (3) CONNECT NEW 3/4" COLD WATER LINE TO EXISTING COLD WATER LINE ABOVE CEILING IN SEPERATE TENANT SPACE. PROVIDE NEW TAP WITH S.O.V. AT POINT OF CONNECTION. VERIFY EXACT LOCATION, SIZE & CONNECTION POINT IN FIELD PRIOR TO CONSTRUCTION.
- (4) CONNECT NEW 1 1/4" CONDENSATE LINE TO EXISTING CONDENSATE RISER IN WET COLUMN. VERIFY EXACT LOCATION, SIZE & CONNECTION POINT IN FIELD PRIOR TO CONSTRUCTION.
- (5) NEW ELECTRIC INSTA-HOT, MOD # SR-30, LOCATED BELOW BREAK ROOM SINK. REFER TO MFG SPECS FOR REQUIREMENTS AND INSTALLATION.

PLUMBING SPECIFICATIONS

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2007 EDITION PLUMBING SECTION, WITH 2009 AMENDMENTS, AND SHALL COMPLY WITH ALL LOCAL RULES

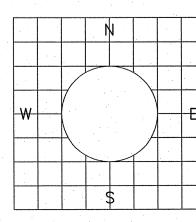
- 1. ALL WORKMANSHIP & MATERIALS SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE NATIONAL, STATE, LOCAL CODES, RULES & ORDINANCES.
- 2. CONTRACTOR SHALL VISIT THE JOB SITE & THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS.
- 3. ALL MATERIALS SHALL BE NEW.
- 4. ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR IN A FIRST-CLASS WORKMANLIKE MANNER. THE COMPLETE SYSTEM SHALL BE FULLY
- 5. ALL EXCAVATION & BACK FILL AS REQUIRED FOR THIS PHASE OF CONSTRUCTION SHALL BE A PART OF THIS CONTRACT.
- 6. REQUIRED INSURANCE SHALL BE PROVIDED BY THIS CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY & PROPERTY DAMAGE FOR THE DURATION OF WORK.
- CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS & TEST. SUBSTITUTIONS BY THE CONTRACTOR SHALL HAVE PRIOR APPROVAL. ANY CHANGES MADE WITHOUT APPROVAL WILL BE PAID BY THE CONTRACTOR TO RETURN TO THE ORIGINAL DESIGN.
- 8. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROCESS OF CONSTRUCTION.
- 9. THE CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR REVIEW OF THE GENERAL NOTES, SPECIFICATIONS, AND ALL OTHER DRAWINGS FOR ADDITIONAL REQUIREMENTS WHICH MAY NOT BE SPECIFICALLY CALLED OUT IN THIS PORTION OF THE CONSTRUCTION DOCUMENTS.
- DRAWINGS FOR PLUMBING WORK ARE DIAGRAMMATIC, SHOWING THE GENERAL LOCATION, TYPE, LAYOUT, AND EQUIPMENT REQUIRED. THE DRAWINGS SHALL NOT BE SCALED FOR EXACT MEASUREMENT. FIELD VERIFY FINAL LOCATIONS FOR EQUIPMENT. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND EXACT LOCATION OF PLUMBING FIXTURES. REFER TO MANUFACTURER'S STANDARD INSTALLATION DRAWINGS FOR EQUIPMENT CONNECTIONS AND INSTALLATION REQUIREMENTS.
- 11. DRAWINGS AND SPECIFICATIONS GOVERN WHERE THEY EXCEED CODE REQUIREMENTS.
- 12. VERIFY LOCATION, SIZE, TRAPS, INVERTS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ADVISE ENGINEER OF ANY DISCREPANCIES. ANY COS RESULTING FROM DISCREPANCIES NOT REPORTED AT THIS TIME SHALL BE PAID BY THE
- 13. INSTALL AIR CHAMBERS OR SHOCK ABSORBERS IN PIPING SYSTEM TO PREVENT NOISE AND DAMAGE DUE TO WATER HAMMER.
- 14. PROVIDE SHUT-OFF VALVES IN THE SUPPLY PIPING TO EVERY FIXTURE.
- 15. ALL FIXTURES MUST BE PROVIDED WITH READILY ACCESSIBLE STOPS.
- 16. IN AREAS WHERE AN EXISTING FIXTURE IS TO BE REMOVED AND THE SANITARY LINE IS TO BE CAPPED, THE LINE MUST BE CAPPED WITH-IN 2 FEET OF AN ACTIVE SANITARY LINE. NO DEAD ENDS PERMITTED.
- 17. CAP ALL PIPING OPENINGS DURING CONSTRUCTION UNTIL FINAL CONNECTIONS TO **EQUIPMENT AND ACCESSORIES ARE MADE.**
- 18. SANITARY PIPE 3" AND SMALLER SHALL BE SLOPED AT 1/4" PER FOOT. SANITARY PIPE 4" AND LARGER SHALL BE SLOPED AT 1/8" PER FOOT. CONDENSATE PIPING SHALL BE SLOPED AT A MINIMUM OF 1/4" PER FOOT.
- 19. ALL FLOOR PENETRATIONS MUST BE SLEEVED, FIRE STOPPED, GROUTED, SEALED AND MUST EXTEND A MINIMUM OF 4" A.F.F. COORDINATE ALL CONCRETE TRENCHING/CORING TO ENSURE THAT ANY UNDER SLAB UTILITIES, ETC. ARE NOT DAMAGED DURING FLOOR CUT. ANY DAMAGE TO BE REPAIRED AT CONTRACTOR EXPENSE. CUTTING AND PATCHING ACTIVITIES WHICH CREATE NOISE MUST BE PERFORMED AFTER-HOURS SO LONG AS ANY OTHER TENANTS ARE OCCUPYING THE BUILDING. PRIOR APPROVAL AND COORDINATION WITH PROPERTY MANAGEMENT IS REQUIRED FOR ALL CONCRETE CUTTING
- 20. DO NOT ROUTE ANY WET PIPING OVER ELECTRICAL EQUIPMENT.
- 21. WATER PIPING TO BE TYPE "M" OR TYPE "L" COPPER ABOVE OR BELOW GRADE.
- 22. SOIL, WASTE & VENT PIPING TO BE PVC. #40 DVW. IF CEILING SPACE BELOW IS A COMMON PLENUM PVC MUST BE WRAPPED WITH UL LISTED FIRE WRAP OR CAST IRON
- 23. HOT AND HOT WATER RETURN LINES SHALL BE INSULATED WITH 1/2" TO 1" THICK ARMAFLEX INSULATION FROM THE WATER HEATER TO THE FURTHEST FIXTURE PER FBC 2007 CHAPTER 13, (WITH 2009 SUPPLEMENTS) SECTION 13-412.AB.4(1) AND TABLE
- 24. WHERE DISSIMILAR METALS ARE TO BE JOINED, APPROVED INSULATING UNIONS SHALL
- 25. ALL PLUMBING PIPES PENETRATING FIRE RATED WALLS, CEILINGS AND/ OR FLOORS SHALL BE PROVIDED WITH U.L. APPROVED FIRE RATED ASSEMBLY. (EQUAL TO WALL FIRE RATING - SEE ARCHITECTURAL DRAWINGS).
- 26. NO PVC PIPING TO BE USED IN COMMON PLENUM AREAS.
- 27. CONDENSATE LINES TO BE COPPER. INSULATE WITH 1/2" THICK ARMAFLEX INSULATION.
- 28. CONTRACTOR SHALL GUARANTEE ALL MATERIALS & WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- 29. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BID AND INSTALLATION. INFORM THE ENGINEER OF RECORD OF ANY DISCREPANCY BETWEEN THE DOCUMENTS AND THESE CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER THE CONTRACT HAS BEEN AWARDED.
- 30. CONTRACTOR SHALL KEEP AS-ABUILTS AND SUBMIT TO THE ENGINEER OF RECORD FOR REVIEW. ALL CHANGES SHALL BE FORWARDED A MINIMUM OF (2) WEEKS PRIOR TO FINAL INSPECTION. ANY EXPENSES, SUCH AS REVISIONS OR AS-ABUILTS, NECESSARY FOR FINAL C.O. SHALL BE AT THE EXPENSE OF THE OWNER.

PERMIT SET: 12/13/11



1640 N.W. BOCA RATON BLVD. BOCA RATON, FL 33432 TEL: (561) 391-9292 FAX: (561) 391-9898 CERTIFICATE OF AUTHORIZATION NO. 28107 HAROLD R. TUSSLER, P.E. LICENSE #19315 URSULA IAFRATE, P.E. LICENSE #73122 MARTIN WHITELOCKE, P.E. LICENSE #53899 E-MAIL: INFO@FAECONSULTING.COM

1/8" = 1'-0"32'



FOR:

AT NORTHBRIDGE CE 515 N. FLAGLER DR., & WPB, FLORIDA

MILL

HESE DRAWINGS ARE FOR THE EXCLUSIVE US

NY MANNER WITHOUT THE EXPRESS WRITTEN

CONSENT OF GLIDDEN SPINA & PARTNERS, INC.

LL RIGHTS RESERVED.

OF GLIDDEN SPINA & PARTNERS, INC. AND MAY NOT BE DUPLICATED, REPRODUCED OR USED IN

PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION.

* OR APPROVED EQUAL TO BE SELECTED BY OWNER

2. PROVIDE CUT SHEETS FOR REVIEW PRIOR TO PURCHASE.

404.6.4.

NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.

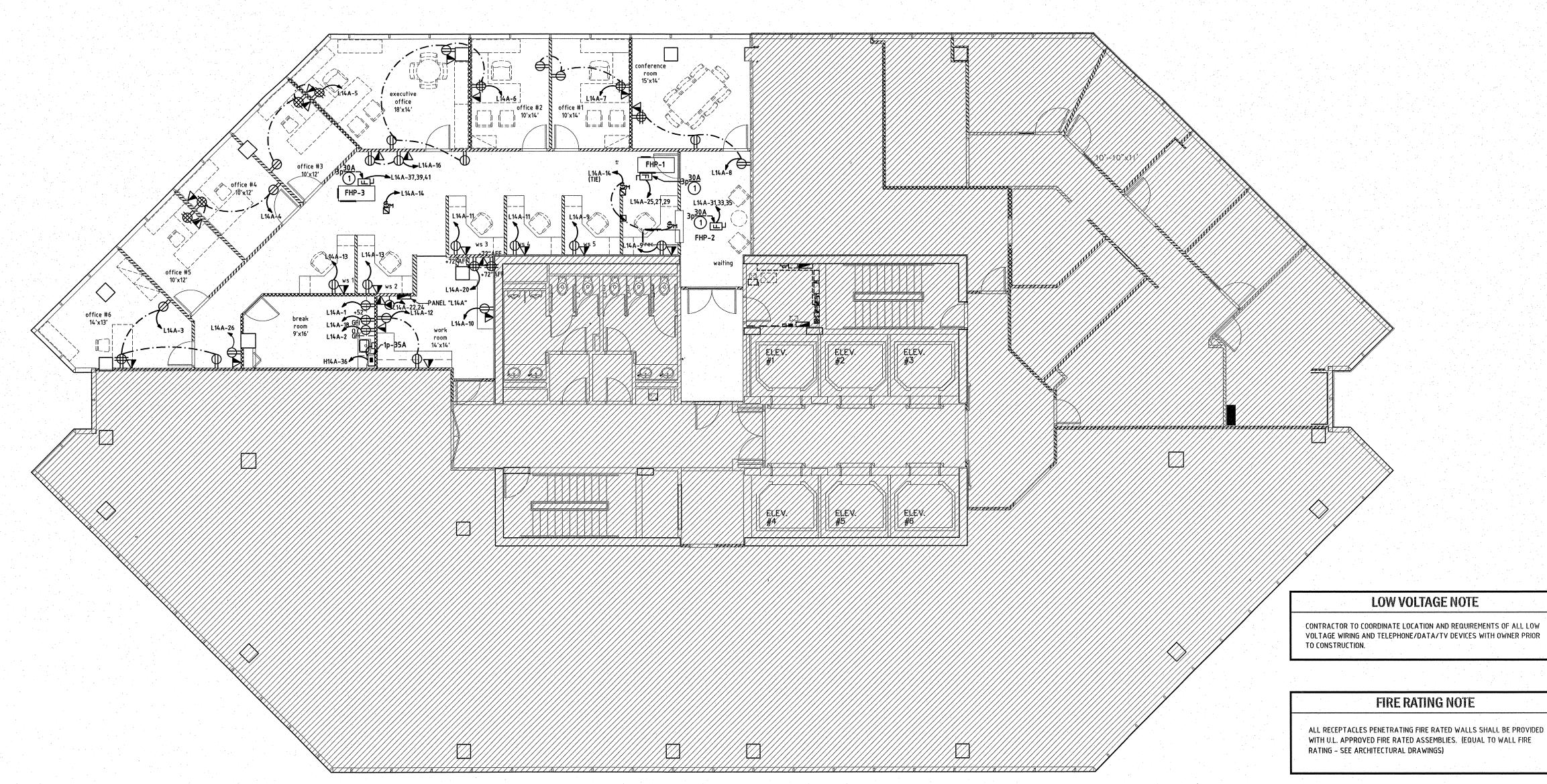
3. PLUMBING FIXTURES TO COMPLY WITH TABLE 604.4 F.B.C.

1. MOUNTING HEIGHT PER ADA STANDARD. INSULATE WATER AND DRAIN LINE.

4. ALL WALL HUNG PLUMBING FIXTURES SHALL COMPLY WITH F.B.C. 2517.5.1.1, 2517.5.1.2

PLUMBING FIXTURES

5. ALL EXPOSED PIPING AND SURFACES UNDER LAVATORIES SHALL COMPLY WITH FBC



SCALE: 1/8"=1'-0"

EXISTING BUSWAY /

EXISTING PANEL—

EXISTING TRANSFORMER

\ ELECTRIC ROOM

SCALE: 1/2"=1'-0"

EXISTING PANEL

EXISTING WIREWAY

EXISTING METER-

EXISTING METER-

EQUIPMENT/FEEDER REMOVAL NOTES

SALVAGED MATERIALS, EQUIPMENT, AND FEEDERS SHALL BE DELIVERED TO THE OWNER AT HIS PROPERTY AND STORED WITHIN THE BUILDING WHERE DIRECTED. ANY REMOVED MATERIALS OR EQUIPMENT WHICH THE OWNER DOES NOT WISH TO KEEP SHALL BE DISPOSED OF BY THE CONTRACTOR, WITHOUT ADDITIONAL COST TO THE OWNER.

KEY NOTES PROVIDE FUSES AS RECOMMENDED BY EQUIPMENT MANUFACTURER.

ELECTRICAL SYMBOL LEGEND 110V DUPLEX RECEPTACLE L L **FUSE DISCONNECT**

110V SWITCHED DUPLEX RECEPTACLE QUAD-PLEX RECEPTACLE WATER PROOF RECEPTACLE GROUND FAULT CIRCUIT

110V CEILING MOUNTED SWITCHED RECEPTACLE

110V FLOOR MOUNTED DUPLEX RECEPTACLE - FLUSH WITH FLOOR 110V FLOOR MOUNTED DUPLEX RECEPTACLE - FLUSH WITH FLOOR TELE/DATA PORT

AND LOCATIONS WITH OWNER TELEPHONE PORT DATA PORT

CEILING MOUNTED DATA PORT

ELECTRICAL CIRCUIT BREAKER ELECTRICAL PANEL ELECTRICAL METER THERMOSTAT SWITCH MOTOR RATED SWITCH J-B0X J-BOX MOUNTED BELOW RAISED RECESSED JUNCTION BOX FOR PROVIDE (4) CAT6 CABLES AT EACH SYSTEM FURNITURE POWER LOCATION. CONFIRM ALL REQUIREMENTS T/D RECESSED JUNCTION BOX FOR SYSTEM FIRMATION TO EDUCATE SYSTEM FURNITURE TELEPHONE/DATA

TELEVISION JACK

FLOOR MOUNTED TELE/DATA PORT FLUSH WITH FLOOR ***

TELEPHONE / CATV BOARD

NOTE: ALL SYMBOLS MAY NOT BE USED FOR THIS PROJECT ** PROVIDE 3/4"C WITH PULL WIRE, STUB ABOVE CEILING. *** PROVIDE 3/4"C WITH PULL WIRE BELOW FLOOR TO NEAREST WALL.

RECEPTACLES ARE TO BE MOUNTED AT 18" ABOVE FINISHED FLOOR, UNLESS OTHERWISE NOTED.

SWITCHES ARE TO BE MOUNTED AT 48" ABOVE FINISHED FLOOR, UNLESS OTHERWISE NOTED.

PERMIT SET: 12/13/11

PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.

1640 N.W. BOCA RATON BLVD. BOCA RATON, FL 33432

TEL: (561) 391-9292 FAX: (561) 391-9898 CERTIFICATE OF AUTHORIZATION NO. 28107 HAROLD R. TUSSLER, P.E. LICENSE #19315 URSULA IAFRATE, P.E. LICENSE #73122 MARTIN WHITELOCKE, P.E. LICENSE #53899 E-MAIL: INFO@FAECONSULTING.COM

1/8" = 1'-0" 32'

PARTNERS

GLIDDEN

S FOR:
, RODRIGUEZ &
SILVER

TENANT IMPROVI

MILLER,

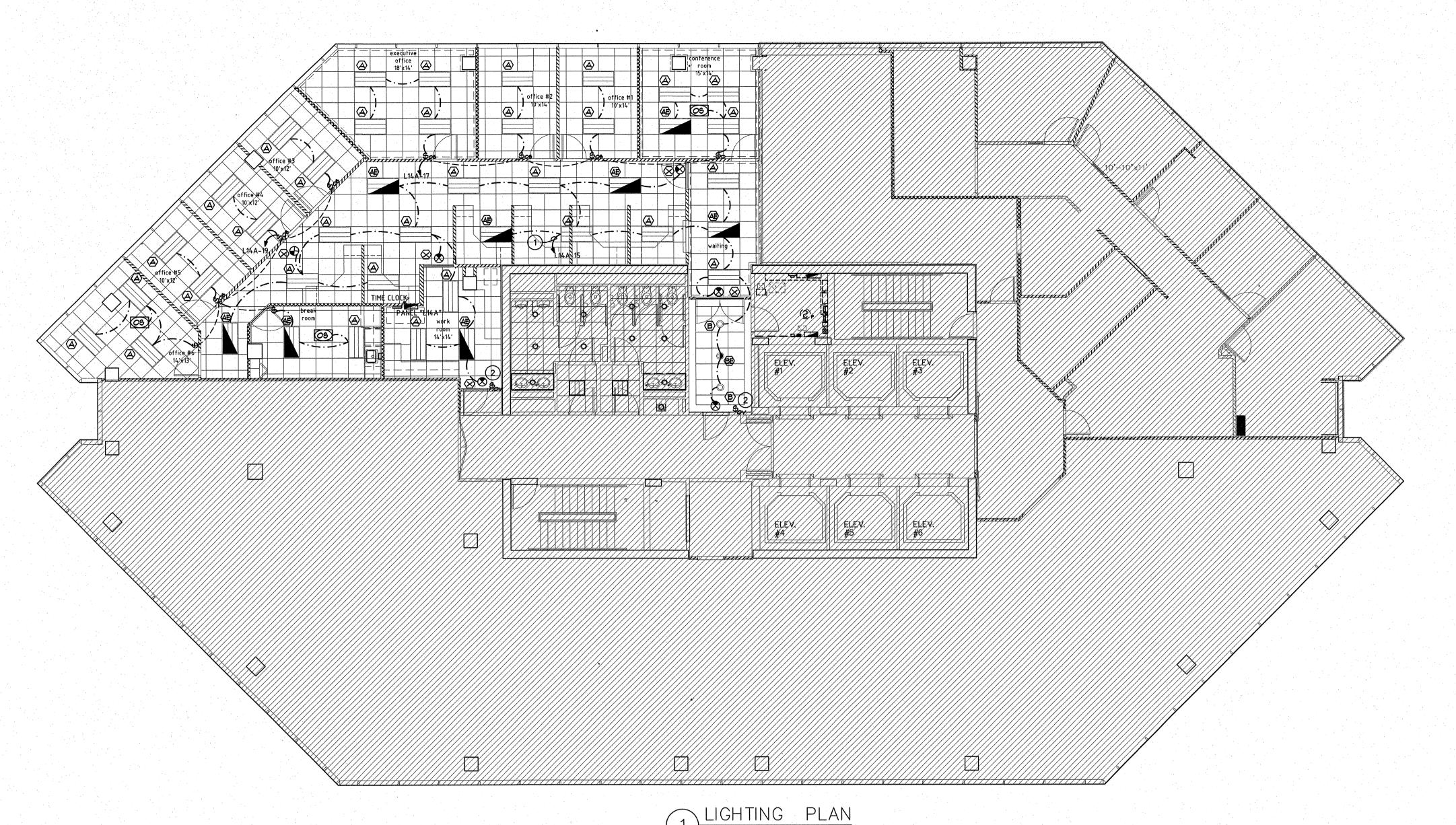
AT NORTHBRIDGE CENTE

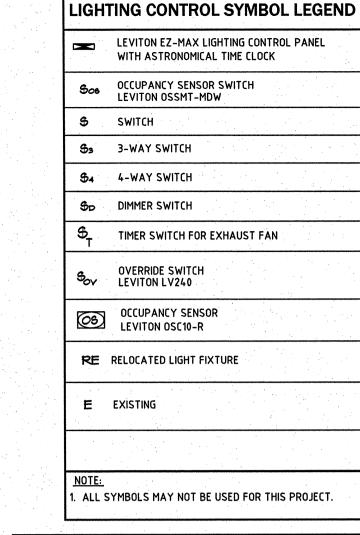
515 N. FLAGLER DR., SUIT

WPB, FLORIDA

HESE DRAWINGS ARE FOR THE EXCLUSIVE USE OF GLIDDEN SPINA & PARTNERS, INC. AND MAY NOT BE DUPLICATED, REPRODUCED OR USED IN CONSENT OF GLIDDEN SPINA & PARTNERS, INC. ALL RIGHTS RESERVED.

projedate: drawr checl





GLIDDEN

∞ €

FOR:
SODRIGUEZ 8

GENERAL LIGHTING NOTES

1. ALL EXIT, EMERGENCY, AND BATTERY PACKS IN FLUORESCENT FIXTURES TO BE WIRED AHEAD OF CONTROL SWITCH. 2. IF APPLICABLE, ALL DIMMER SWITCHES SHALL HAVE A PRESET MINIMUM RATING OF 1.0 KW.

3. ALL FIXTURE COUNTS, SELECTIONS, AND EXACT LOCATIONS MUST BE VERIFIED WITH OWNER/ARCHITECT PRIOR TO PURCHASE. 4. CONTRACTOR TO VERIFY IF ANY LOW VOLTAGE LIGHT FIXTURES REQUIRE STEP-DOWN TRANSFORMERS, QUANTITY AND LOCATION TO

BE FIELD VERIFIED PRIOR TO CONSTRUCTION. 5. ALL FIXTURES TO HAVE U.L. CERTIFICATION. 6. ALL LUMINAIRES SHALL COMPLY WITH SECTION 410.73.G OF THE

ENERGY COMPLIANCE NOTE

1. OCCUPANCY SENSORS SHALL BE THE MEANS OF AUTOMATIC LIGHTING SHUTOFF FOR NEW AREAS PER FBC 13-415.AB.1. OCCUPANCY SENSORS MUST TURN LIGHTS OFF WITHIN 30 MINUTES AFTER AN OCCUPANT LEAVES THE SPACE.

2. RECORD DRAWINGS OF INSTALLATION AND OPERATION MANUALS ARE TO BE PROVIDED TO THE OWNER WITHIN 30 DAYS AS SPECIFIED IN THE FLORIDA BUILDING CODE SECTION 13-413.1.ABC.2.

INTERMATIC TIME CLOCK WITH ASTRONOMICAL TIME SWITCH AND RESERVE POWER. PROVIDE ANY NECESSARY ACCESSORIES FOR REMOTE OVERRIDE CAPABILITIES AS REQUIRED PER MANUFACTURER.

INTERMATIC TIME SWITCH MODEL "ET70415C" SERIES

NOT TO SCALE

		· ·						
		IGHTING POWER ALLOWANCE CODE, CHAPTER 13, METHOD E	3					
	CALCULATIONS HAVE BEEN MADE TO VERIFY THAT LIGHTING LEVELS COMPLY WITH CHAPTER 13, ENERGY SECTION OF THE 2007 FLORIDA BUILDING CODE, WITH 2009 SUPPLEMENT							
LIGHTING POWER DENSITIES	S PER TABLE 13-415.	3.1						
	ALLOWED		<u>used</u>					
WAITING/LOBBY:	1.3 W/SQ FT	x 152 SQ FT = 198 WATTS	168 WATTS					
CONFERENCE RM:	1.3 W/SQ FT	x 218 SQ FT = 283 WATTS	224 WATTS					
OPEN OFFICE:	1.1 W/SQ FT	x 783 SQ FT = 861 WATTS	672 WATTS					
OFFICES/WORK ROOM:	1.1 W/SQ FT	x 1329 SQ FT = 1468 WATTS	1120 WATTS					
BREAK RM:	1.2 W/SQ FT	x 149 SQ FT = 179 WATTS	112 WATTS					
		TOTAL ALLOW TOTAL USED:	ED: 2989 WATTS 2296 WATTS					

 	· · · · · · · · · · · · · · · · · · ·			
	LIG	HTING F	IXTURE SCH	HEDULE OR EQUAL
TYPE	MFG/MOD NO	LAMP	MOUNTING	DESCRIPTION
(4)	DAYBRITE "ARIOSO SERIES" 2AVG228-PMW-UNV-EB10R	2-28T5	RECESSED	2'x4' FLUORESCENT DIRECT/INDIRECT
Æ	DAYBRITE "ARIOSO SERIES" 2AVG228-PMW-UNV-EB10R-E7	2-28T5	RECESSED	2'x4' FLUORESCENT DIRECT/INDIRECT W/ 90 MIN. BATTERY PACK
 ₿	LITON "LVH41 SERIES" CLEAR TRIM AND SPECULAR LOW IRRIDESCENT FINISH	QUAD 32W	RECESSED	4" APERATURE DOWNLIGHT. PROVIDE DIMMING COMPATIBLE WITH EXISTING SYSTEM
(BE)	LITON "LVH41 SERIES" CLEAR TRIM AND SPECULAR LOW IRRIDESCENT FINISH	QUAD 32W	RECESSED	4" APERATURE DOWNLIGHT. PROVIDE 90 MIN. BATTERY/BALLAST. PROVIDE DIMMING COMPATIBLE WITH EXISTING SYSTEM.
⊗	MCPHILBEN (SHALL MATCH 14th FLOOR) COLOR RED	INCLUDED	EXIT LIGHT	LED EXIT LIGHT - COLOR RED W/ 90 MIN. BATTERY PACK
<u>NO</u> 1. 2.	OTES: PROVIDE ELECTRONIC BALLAST FOR ALL FLUORESCENT LAMP COLOR TEMPERATUR	,		5

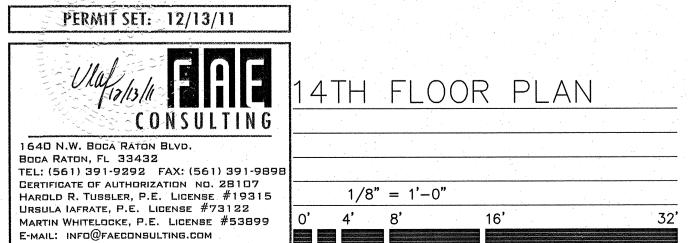
- 1. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR THE FINAL LOCATION OF ALL FIXTURES, DEVICES, ETC. 2. VERIFY LIGHTING REQUIREMENTS WITH OWNER/VENDOR PRIOR TO BID & CONSTRUCTION. 3. ALL SWITCHES AND THERMOSTATS SHALL BE MOUNTED @ 42" A.F.F. COORDINATE EXACT LOCATIONS ON WALL IN
- FIELD WITH ARCHITECT PRIOR TO ROUGH IN. 4. ALL SWITCH AND OUTLET PLATES SHALL MATCH THE COLOR OF SWITCH AND OUTLET PLATES ON 20TH FLOOR.

SEE LIGHTING PLAN FOR EXIT SIGN CHEVRON REQUIREMENTS AND NUMBER OF FACES. COORDINATE ALL LIGHTING FIXTURE TYPES WITH ARCHITECT PRIOR TO BID/PURCHASE. ALL EMERGENCY LIGHTING TEST BUTTONS TO BE MOUNTED INSIDE LIGHT FIXTURE.

	LIGHTING KEY NOTES		_
1	WIRE CIRCUIT THROUGH ELECTRONIC TIME CLOCK "TC-1 SEE THIS SHEET FOR DETAILS.	*.	
2	PROVIDE DIGITAL MOMENTARY SWITCH TO		

PROVIDE DIGITAL MOMENTARY SWITCH TO OVER-RIDE TIME "OFF" FOR CIRCUIT "L14A-15"

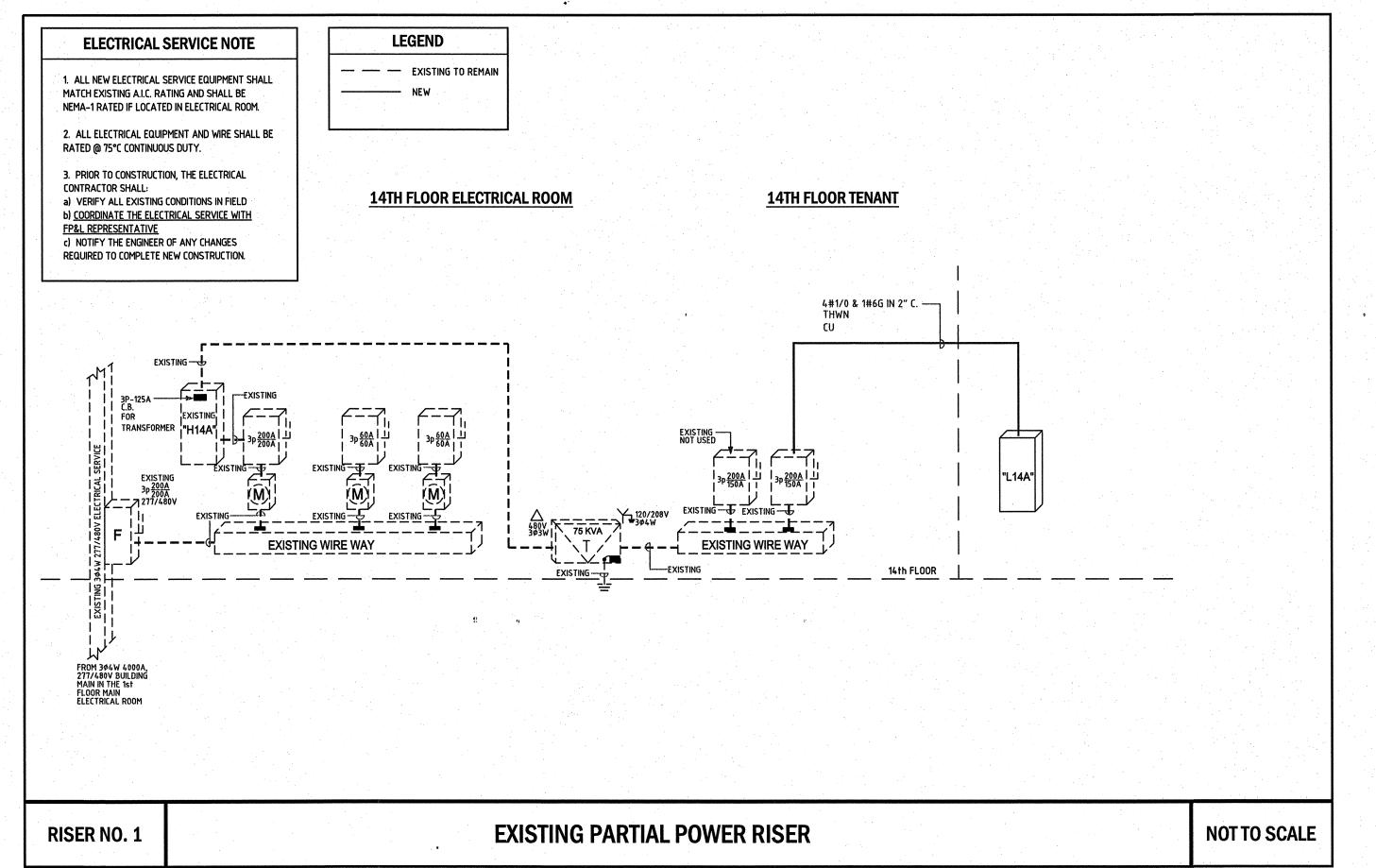
PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.



HESE DRAWINGS ARE FOR THE EXCLUSIVE USE OF GLIDDEN SPINA & PARTNERS, INC. AND MAY NOT BE DUPLICATED, REPRODUCED OR USED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF GLIDDEN SPINA & PARTNERS, INC. ALL RIGHTS RESERVED.

	BUS KV	Ά				WIRE				Τ					WIRE			T	BUS KVA	
T	В	Î c	LOAD		COND.	SIZE	POLE	AMPS	CKT.	BUS	۱	CKT.	AMPS	POLE	SIZE	COND.	LOAD	A	В	С
		——	LIGHTING	0	1/2"	12	1	20	1	-	$\blacksquare \exists$	2	20	1	12	1/2"	LIGHTING	2.0		
-1	2.0		LIGHTING	. 0	1/2"	12	1	20	3			4	20	1	12	1/2"	LIGHTING ①		2.0	
-1		2.0	LIGHTING	0	1/2"	12	1	20	5	\vdash		6	20	1	. 12		LIGHTING			2.0
			LIGHTING	0		12	. 1	20	7			8	20	1	12		AC#1 ①			
	2.0		AC#2	0	1/2"	12	1	20	9			10	20	1	12		AC#3 ①		2.0	
		2.0	AC#4	0	1/2"	12	1	20	11.			12	20	1	12		AC#5 ①			2.0
_			AC#6	0	1/2"	12	1	20	13			14	20	1	12		AC#7 ①			
	2.0		AC#8	0	1/2"	12	11	20	15			16	20	1	12		AC#9 ①		2.0	
			SPACE			-		-	17			18	20	1	12		AC#11 ①			2.0
			SPACE		-	~	-	-	19			20	20	1	12	1/2"	AC#12 ①	2.0		
-	- .		SPACE		-		-	-	21			22	20	. 1	-	-	SPARE		-	
_		-	SPACE		-	~	~	-	23			24	-	-	-	-	SPACE			-
			SPACE		-	-		-	25			26	-	-	-	_	SPACE	-		
_	-		SPACE		-	-			27		Ш	28			-		SPACE		-	
-		-	SPACE				-	-	29			30	-	 .	-	-	SPACE			-
			SPACE		-	-		-	31			32	.	-	-	-	SPACE			
=			SPACE		-	**		-	33			34	1		-	-	SPACE			
-	,	-	SPACE	- :	-	-	-	-	35	\vdash	-	36	35	1	8	1"	TANKLESS WH			8.3
			SPACE			1	-		37			38	125	3	1	1-1/2"	TRANSFORMER 2	14.6		
=	-		SPACE		. 	-	-	-	39	H		40			1.0				12.9	
-		-	SPACE		-		-	-	41	 		42								12.3
/A (ØA 103.	28.6 3 AN	KVA ØB	24.9 39.9	AMPS	KV lc	A ØC 110	30.6 .5 A	MPS_			Ō	EXISTING BREAKEI EXISTING	R TO REMA 3 BRANCH	I CIRCUIT . AIN. I CIRCUIT	AND CIRCU	JIT D MODIFIED			
	103		TING										FOR THIS	S PROJECT	Т.					

			OR EQUAL	TYPE	BOLT-			①	 	:				RATING	225	AMPS			
<u></u>	OLTS	120/208\	/ 3ø4W	PANE	"L14 <i>A</i>	<u>'</u>							POS	42				.1	7 1 *
£	BUS KVA	\	LOAD	CON	n WIRE	POLE	AMPS	СКТ.	В	IS.	СКТ.	AMPS	POLE	WIRE	COND.	LOAD		BUS KVA	
Α	В	С			SIZE	POLL		OK1.		,·	J OKT.		, OLL	SIZE			Α	В	C
0.9			REFRIGERATOR	1/2		1 1	20	1	上	士士	2	20	1	12	1/2"	COUNTER RECEPS	1.2		
	1.0		OFFICE 6/HALL RECEPS	1/2		1 1	20	. 3	世	*	4	20	1 1	12	1/2"	OFFICE 4/5 RECEPS		1.0	
		1.0	OFFICE 3/EXEC. RECEPS	1/2		1 1	- 20	5		+	6	20	1	12	1/2"	OFFICE 2/EXEC./HALL RECEPS			1.0
8.0			OFFICE 1/ 2 RECEPS	1/2		1 1	20	7		$\pm \pm$	8	20	1	12	1/2"	CONFERENCE/WAITING RECEPS	1.2		<u> </u>
	1.0		MODULAR FURNITURE	1/2		1	20	9	上	*	10	20	.1	12	1/2"	WORK ROOM RECEPS		0.4	
		1.0	MODULAR FURNITURE	1/2		1	20	11	片	<u> </u>	12	20	1	12	1/2"	WORK ROOM RECEPS			0.4
1.0			MODULAR FURNITURE	1/2		1	20	13		土土	14	20	1	12	1/2"	DAMPERS	0.4		
	1.3		LGT - OPEN OFFICE, WAIT.RM		12	1	20	15	H	+	16	20	1	12	1/2"	RECEPT. – PRINTERS		1.0	
		0.7	LIGHTING - OFFICES	2 1/2	12	1	20	17	H	++	18	20	1	12	1/2"	DISHWASHER			1.0
0.9			LIGHTING - OFFICES	② 1/2	12	1	20	19	H	$\mp \mp$	20	20	1	12	1/2"	RECEPT. – SERVER RACK ①	1.0		
	-		SPACE	-	-	-	-	21	H	1	22	20	2	12	1/2"	COPIER		1.0	T
			SPACE 8 9	-	-	-	-	23	丰	1	- 24	1							1.0
2.0			FHP-1	3 3/4	" #10	3	25	25		##	26	20	1	12	1/2"	COPIER	1.0		1
	2.0			~				27	盽	##	28	-	-	-		SPACE		-	1
		2.0						29	口	$\downarrow \downarrow$	30	-	 	_		SPACE			1-
2.1			FHP-2	3/4	" #10	3	25	31	口	##	32	-	-	-	_	SPACE			1
	2.1				""	-		33	世		34		<u> </u>		-	SPACE			1
		2.1						35	世	$\pm \pm$	36	 _	 			SPACE			+
2.1		21	FHP-3	3/4	" #10	3	25	37		+	38		 			SPACE			+==
	2.1			٠/٠ ا	17 10		23	39	oxdapsilon	$\pm \pm$	40	 				SPACE			
	2.1	2.1	-					41			42	 	 			SPACE			+
1		2.1	<u> </u>				l		\Box		7 42		<u> </u>	<u> </u>	<u> </u>	37 MCC	L	<u> </u>	
KVA s	∂A 1 121.7		KVA ØB 12.9 MPS Ib 107.5 1/0's THWN	AMPS	ic K	/A ØC 10	12.3 2.5 A	MPS_			①v ②၊	ERIFY ELI	& KEY NO ECTRICAL CALBULAT HACR" RA	REQUIRENTED AT 12	5%.	TH MFG. SPECIFICATIONS KER			
FEEDE	R SIZE	1#1	6 GND CU	9	ONDUIT S	IZE	2"							MOL	<u>JNT</u> R	ECESSED <u>MIN. A.I.C.</u> M	АТСН ТО	EXISTING	i



ELECTRICAL SPECIFICATIONS

DO NOT SCALE THE ELECTRICAL DRAWING. REFER TO THE ARCHITECTURAL PLAN AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT AND CONFIRM WITH OWNERS

ALL CONDUCTORS IN WET LOCATIONS MUST HAVE "THWN" INSULATION.

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2008 EDITION OF THE NATIONAL ELECTRICAL CODE, 2008 EDITION OF NFPA 70, 2005 EDITION OF NFPA 72, 2003 EDITION OF NFPA 75, 2006 EDITION
- OF NFPA 101, 2005 EDITION OF NFPA 110, AND 2007 EDITION OF FBC W/ 2009 SUPPLEMENT. UNLESS OTHERWISE NOTED, ALL CONDUCTORS SHALL BE COPPER, WITH "THHN" INSULATION FOR SIZE #10 AND SMALLER. CONDUCTORS LARGER THAN #10 SHALL HAVE "THWN" INSULATION.
- ALL CONDUCTORS #10 AND SMALLER MAY BE SOLID. ALL CONDUCTORS #8 AND LARGER SHALL BE STRANDED. ALL CONDUCTORS MUST COMPLY WITH ARTICLE 310 OF THE 2005 NEC. OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED
- HUBS IN WET LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS. DISCONNECT SWITCHES SHALL BE H.P. RATED, HEAVY DUTY, QUICK MAKE, QUICK BREAK, WITH ENCLOSURES AS REQUIRED BY EXPOSURE.
- THESE PLANS DO NOT SHOW EVERY MINOR DETAIL OF CONSTRUCTION, THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND MEET ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
- THE ELECTRICAL SYSTEM SHALL BE COMPLETELY AND EFFECTIVELY GROUNDED AS REQUIRED IN ARTICLE 250, NATIONAL ELECTRICAL CODE. THE GROUNDING SYSTEM SHALL BE TESTED AND SHALL MEASURE A MAXIMUM OF 5 OHMS. PROVIDE A COPY OF THE TEST REPORT TO ENGINEER.
- ALL MATERIALS SHALL BE NEW AND SHALL BEAR U.L. LABELS WHERE APPLICABLE. ALL WORK SHALL BE PERFORMED BY A LICENCED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANSHIP MANNER. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIVE AND
- ACCEPTANCE BY ENGINEER/ARCHITECT MUST BE A CONDITION OF THE SUBCONTRACTOR. 10. THE ELECTRICAL INSTALLATION SHALL MEET ALL STANDARD REQUIREMENTS OF
- POWER, LIGHT COMPANY AND TELEPHONE COMPANY. 11. CIRCUITS SHOWN ON PLANS ARE TO DETERMINE LOAD DATA AND PANEL SIZE. THE
- CONTRACTOR SHALL PROVIDE CIRCUITS TO SUIT JOB CONDITIONS. 12. SEE NOTES ON PLANS FOR OTHER REQUIREMENTS.
- 13. FURNISH AND INSTALL LIGHTING FIXTURES AND LAMPS AS CALLED FOR ON PLANS, OR AS
- 14. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROCESS OF CONSTRUCTION.
- 15. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY PHASE OF THE INSTALLATION WHICH
- 16. ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC
- LIABILITY OF PROPERTY DAMAGE FOR THE DURATION OF THE WORK. 17. CHECK ALL EQUIPMENT FOR PROPER VOLTAGE, PHASE, AND CURRENT BEFORE CONNECTION
- 18. ELECTRICAL CONTRACTOR SHALL CHECK AND VERIFY EQUIPMENT FURNISHED AGAINST THOSE SPECIFIED OR INTENDED AND REVISE BRANCH CIRCUITS AS MAY BE REQUIRED WITH
- PRIOR APPROVAL OF ENGINEER/ARCHITECT. AIR CONDITIONING EQUIPMENT AND CONTROLS SPECIFICATION
- ELECTRICAL CONTRACTOR SHALL INSTALL ALL CONTROL RACEWAY (CONDUIT), WIRE INSTALLATION, CONNECTIONS ETC. IN ACCORDANCE WITH WIRING DIAGRAMS ON AIR EQUIPMENT. A/C / ELECTRICAL PLANS OR DIAGRAMS FURNISHED BY MANUFACTURER OF THE EQUIPMENT.
- ALL POWER WIRING FOR THE AIR CONDITIONING EQUIPMENT SHALL BE FURNISHED, INSTALLED AND CONNECTED UNDER THIS SECTION OF THE SPECIFICATION. MECHANICAL CONTRACTOR SHALL PROVIDE MOTOR STARTERS FOR ALL AIR CONDITIONING
- EQUIPMENT: ELECTRICAL CONTRACTOR SHALL PROVIDE ALL CONECTIONS TO AIR CONDITIONING EQUIPMENT PER MANUFACTURERS SPECIFICATIONS. AIR CONDITIONING EQUIPMENT INCLUDES CONDENSOR, COMPRESSOR AND FAN, FAN COIL UNITS, ELECTRICAL STRIP HEATER, THERMOSTAT, ETC.

SCOPE OF WORK

THE SCOPE OF ELECTRICAL WORK SHALL INCLUDE, BUT IS NOT LIMITED TO THE FOLLOWING: 1. ELECTRICAL CONTRACTOR SHALL IDENTIFY ALL THE BRANCH CIRCUITS BEING FED FROM EXISTING

2. ELECTRICAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BID AND INSTALLATION, INFORM THE ENGINEER OF RECORD OF ANY DISCREPANCY BETWEEN THE DOCUMENTS AND THESE CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER THE CONTRACT HAS BEEN AWARDED.

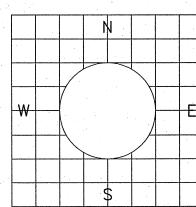
REVIEW. ALL CHANGES SHALL BE FORWARDED A MINIMUM OF (2) WEEKS PRIOR TO FINAL INSPECTION. ANY EXPENSES, SUCH AS REVISIONS OR AS-BUILTS, NECESSARY FOR FINAL C.O.

3. ELECTRICAL CONTRACTOR SHALL KEEP AS-BUILTS AND SUBMIT TO ENGINEER OF RECORD FOR SHALL BE AT THE EXPENSE OF THE OWNER.

PERMIT SET: 12/13/11

1640 N.W. BOGA RATON BLVD. BOCA RATON, FL 33432 TEL: (561) 391-9292 FAX: (561) 391-9898 CERTIFICATE OF AUTHORIZATION NO. 28107 HAROLD R. TUSSLER, P.E. LICENSE #19315
URSULA IAFRATE, P.E. LICENSE #73122
MARTIN WHITELOCKE, P.E. LICENSE #53899 E-MAIL: INFO@FAECONSULTING.COM

4TH FLOOR PLAN 1/8" = 1'-0"32'



E3.1

GLIDDEN

S FUR.
RODRIGUEZ 8
SILVEF

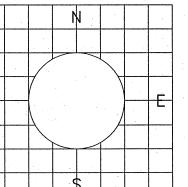
ANT IMPROV

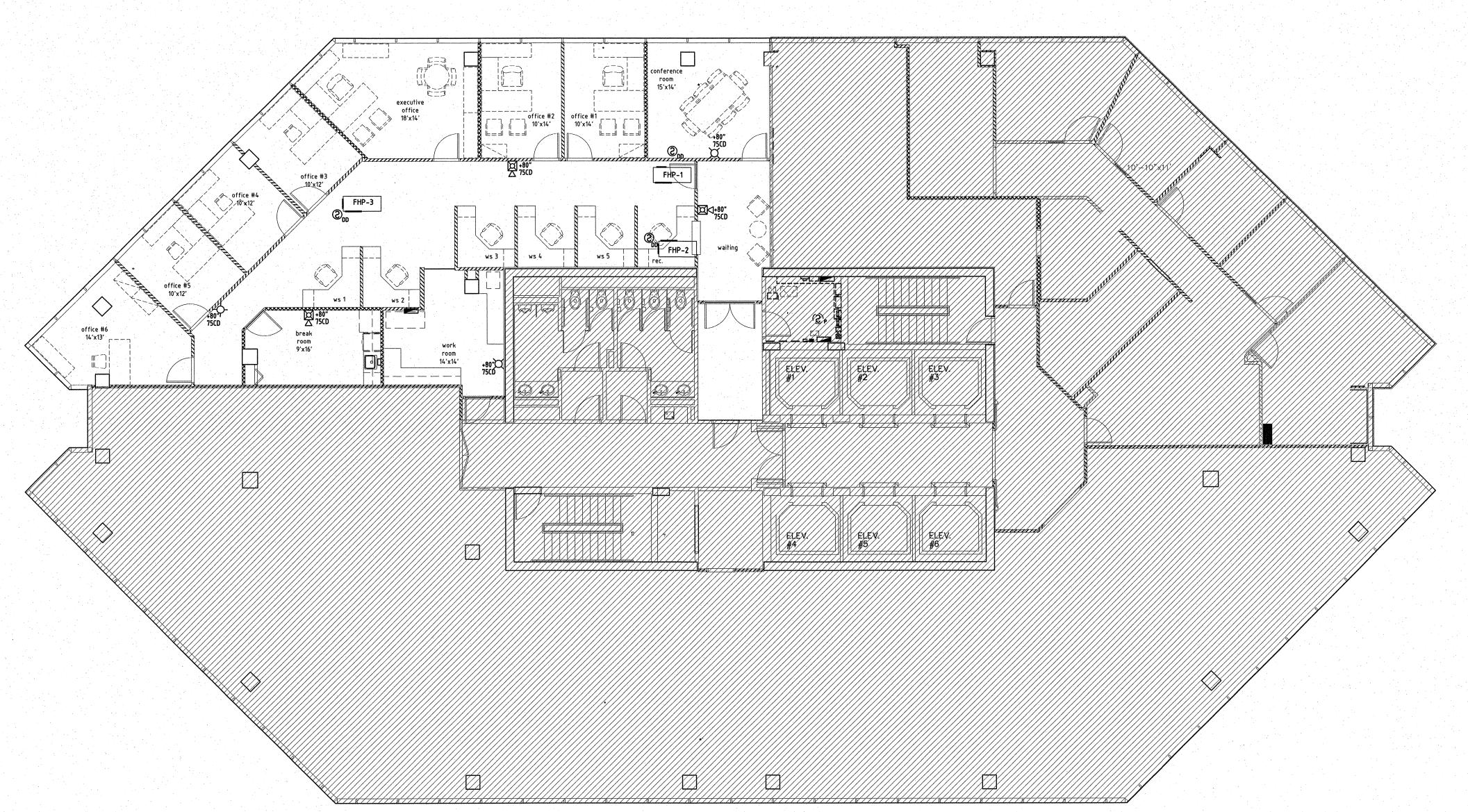
REGIER DR., SUIT
LORIDA

THESE DRAWINGS ARE FOR THE EXCLUSIVE USE OF GLIDDEN SPINA & PARTNERS, INC. AND MAY NOT BE DUPLICATED, REPRODUCED OR USED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF GLIDDEN SPINA & PARTNERS, INC.

PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION.

NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.





ALL FIRE ALARM WORK OR COORDINATION OF FIRE ALRM SYSTEM SHALL BE COORDINATED WITH BUILDING MANAGEMENT.

> **CEILING IS COMMON PLENUM** NO COMBUSTIBLE MATERIAL ALLOWED

> > ALL HVAC UNITS TO TIE INTO THE FIRE ALARM SYSTEM AND HAVE GLOBAL SHUT DOWN. COORDINATE WITH BUILDING ENGINEER.

FIRE ALARM SYMBOL LEGEND									
SYMBOL	DESCRIPTION								
¤	WALL MOUNTED STROBE LIGHT (CD AS INDICATED)								
	WALL MOUNTED HORN/STROBE (CD AS INDICATED)								
Пр	PULL STATION								
© DD	SMOKE DUCT DETECTOR (GROUND TEST STATION) (CONTROL MODULE)								
(C) _p	PHOTOELECTRIC SMOKE DETECTOR (STANDARD BASE WITH TRIM RING) (ADDRESSABLE MONITOR MODULE)								
Adennina	FIRE SMOKE DAMPER								
(E)	EXISTING DEVICE TO REMAIN								
(RE)	RELOCATED DEVICE								
NO SYMBOL	NEW DEVICE								
	SHALL TIE INTO BUILDING'S EXISTING FIRE ALL FIRE ALARM DEVICES SHALL MATCH G'S STANDARDS.								

FIRE ALARM NOTE

FIRE ALARM DEVICES ON THIS PLAN ARE SHOWN FOR INTENT ONLY. FIRE ALARM CONTRACTOR TO PROVIDE SHOP DRAWINGS AND CUT SHEETS FOR APPROVAL BY THE LANDLORD AND BY THE FIRE MARSHALL. FIRE ALARM DEVICES SHALL TIE INTO THE BUILDING'S MAIN FIRE ALARM SYSTEM.

SPRINKLER NOTE BUILDING IS FULLY SPRINKLED, THEREFORE SMOKE DETECTORS ARE NOT REQUIRED AND ONLY (1) PULL STATION IS REQUIRED PER BUILDING.

GENERAL NOTE

PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS. THE ENGINEER IS NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED.

PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.

PERMIT SETS 12/13/11 1640 N.W. BOCA RATEN SLVD. BOCA RATON, FL 33432 TEL: (561) 391-9292 FAX: (561) 391-9898 CERTIFICATE OF AUTHORIZATION NO. 28107
HAROLD R. TUSSLER, P.E. LICENSE #19315
URSULA IAFRATE, P.E. LICENSE #73122
MARTIN WHITELOCKE, P.E. LICENSE #53899
E-MAIL: INFO@FAECONBULTING.COM

4TH FLOOR PLAN 1/8" = 1'-0"32' 4' 8'

, RODRIGUEZ & SILVER

THESE DRAWINGS ARE FOR THE EXCLUSIVE USE OF GLIDDEN SPINA & PARTNERS, INC. AND MAY NOT BE DUPLICATED, REPRODUCED OR USED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF GLIDDEN SPINA & PARTNERS, INC. ALL RIGHTS RESERVED.