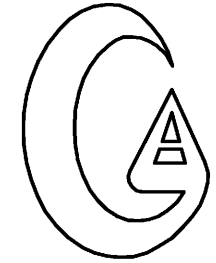


birse design inc + architecture + interior design + planning

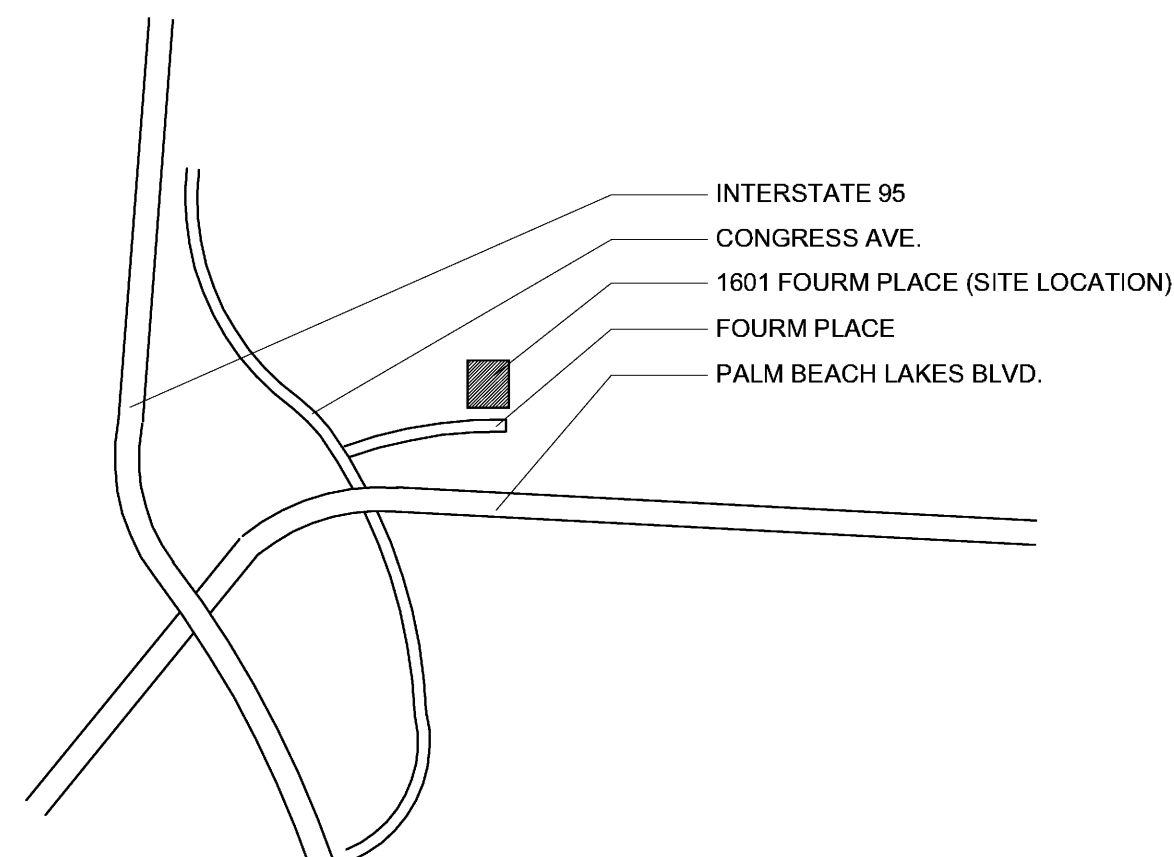
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palm beach gardens, fl 33418
phone 561-249-4001
fax 772-409-8684
AA26001615

MECHANICAL ENGINEER / ELECTRICAL / PLUMBING

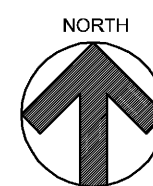
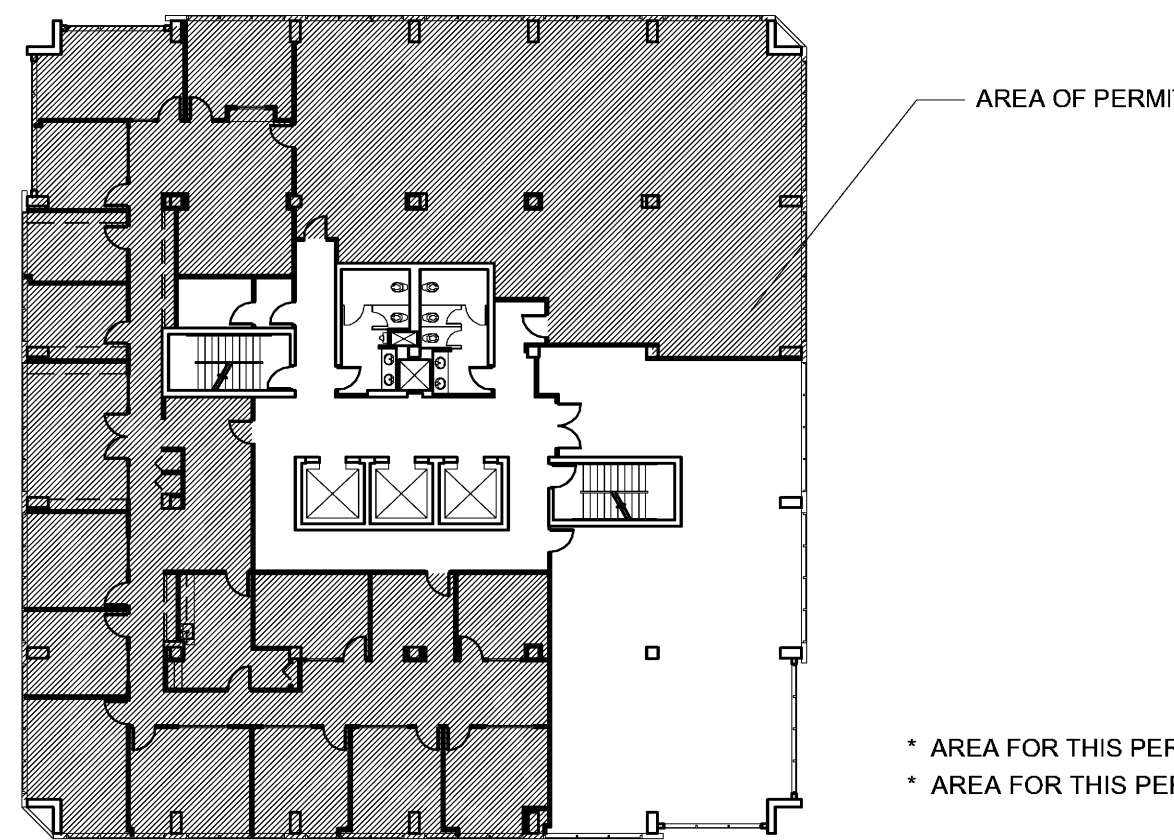


Gilman & Associates
MECHANICAL & ELECTRICAL ENGINEERS

129 N. FEDERAL HWY.
SUITE 211
LAKE WORTH, FL 33460
(561) 582-0210
P.E. 37933



1 LOCATION MAP
NOT TO SCALE



2 KEY MAP (12TH FLOOR)
NOT TO SCALE

AREA OF PERMIT

* AREA FOR THIS PERMIT IS HATCHED
* AREA FOR THIS PERMIT = 11,435 SF

INDEX OF SHEETS:

| | |
|---------------------------------------|----------------------|
| T | TITLE SHEET |
| ARCHITECTURAL SHEETS | |
| A-1 | EXISTING PLANS |
| A-2 | PROPOSED PLANS |
| A-3 | LIFE SAFETY PLANS |
| A-4 | DETAILS / ELEVATIONS |
| MECHANICAL/ELECTRICAL/PLUMBING SHEETS | |
| M-1 | MECHANICAL PLANS |
| M-2 | MECHANICAL NOTES |
| P-1 | PLUMBING |
| E-1 | ELECTRICAL PLANS |
| E-2 | ELECTRICAL NOTES |

REFERENCE STANDARDS:

THIS PROJECT IS DESIGNED IN ACCORDANCE WITH THE FOLLOWING CODES:

1. THE FLORIDA BUILDING CODE (FBC), 2007 EDITION WITH 2009 SUPPLEMENTS (BUILDING, MECHANICAL, PLUMBING, FUEL GAS, EXISTING BUILDING).
2. NATIONAL ELECTRIC CODE (NEC), 2008 EDITION.
3. FLORIDA FIRE PREVENTION CODE, 2007 EDITION.
4. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 101, LIFE SAFETY CODE, 2006 EDITION.
5. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 1, UNIFORM FIRE CODE, 2006 EDITION.

GENERAL NOTES:

1. THE CONTRACTOR SHALL AS A PART OF THIS CONTRACT FURNISH ALL MATERIALS, LABOR, TOOLS, EQUIPMENT, TRANSPORTATION, AND INSURANCE NECESSARY TO PROPERLY EXECUTE AND COMPLETE THE WORK ACCORDING TO THE PLANS AND SPECIFICATIONS.
2. THE CONTRACTOR IN THE WORK OF ALL TRADES SHALL PROTECT ALL EXISTING BUILDING AND PROPERTY FROM DAMAGE CAUSED BY THE ACTIVITIES OF THE CONTRACTOR AND SUBCONTRACTORS. THE CONTRACTOR SHALL REPAIR AND RESTORE THE JOB SITE AND SURROUNDING AREAS TO ITS ORIGINAL CONDITION. OWNER TO VERIFY SATISFACTION.
3. THE CONTRACTOR SHALL VISIT THE JOB SITE TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BID. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS BEFORE PROCEEDING WITH ANY WORK.
4. THE CONTRACTOR SHALL MAKE NO CHANGES TO THE CONSTRUCTION DRAWINGS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.
5. ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST CODES AND ORDINANCES.
6. THESE CONSTRUCTION DOCUMENTS ARE DIAGRAMATIC AND ARE TO CONVEY DESIGN INTENT. IT IS NOT THE INTENT OF THESE CONSTRUCTION DRAWINGS TO SHOW ALL DETAILS OF THE EXISTING CONDITIONS. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
7. EACH CONTRACTOR SHALL ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR MECHANICAL, ELECTRICAL, AND PLUMBING WITH THE APPROPRIATE TRADES.
8. ALL INDICATED UTILITY AND STUB-IN LOCATIONS ARE FOR REFERENCE ONLY. THE EXACT LOCATIONS SHALL BE VERIFIED ON THE JOB SITE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ENGINEERING AND THE ARCHITECTURAL DRAWINGS FOR THE ACTUAL PLACEMENT OF THE WORK RELATIVE TO FIELD CONDITIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OBTAINING INSTALLATION REQUIREMENTS FOR ALL BUILT-IN APPLIANCES, FIXTURES, AND EQUIPMENT. VERIFY EXACT ROUGH-IN DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO ROUGH-IN FRAME.
11. THE COST OF ADDITIONAL DESIGN WORK DUE TO ERRORS OR OMISSIONS IN CONSTRUCTION SHALL BE BORNE BY THE RESPECTIVE CONTRACTOR.
12. CONTRACTOR TO BE RESPONSIBLE FOR CHECKING STRUCTURAL CALCULATIONS FOR SPECIFIC REQUIREMENTS OF STRUCTURAL CONNECTIONS, SUBMIT STEEL TRUSS CALCULATIONS AND SHOP DRAWINGS OF ALL STRUCTURAL STEEL AND MISCELLANEOUS METAL FABRICATION BEFORE COMMENCING FABRICATION.
13. BIRSE DESIGN, INC. SHALL IN NO WAY BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNOLOGIES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. (THESE ARE SOLELY THE CONTRACTORS RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION).
14. EACH CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BRACING, SHORING, GUYING, OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS ASSOCIATED WITH WORK IN PLACE DURING CONSTRUCTION.
15. PROVIDE PORTABLE FIRE EXTINGUISHERS DURING CONSTRUCTION AS REQUIRED BY LOCAL CODES.
16. SPRINKLER SYSTEM: INSTALL FULL BUILDING SPRINKLER SYSTEM IN COMPLIANCE WITH THE REQUIREMENTS OF NFPA 13. SHOP DRAWINGS MUST BE APPROVED BEFORE INSTALLATIONS. PROVIDE OWNER WITH 2 COPIES OF PERMIT SETS.
17. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR MEETING THE REQUIREMENTS OF ALL CURRENT APPLICABLE BUILDING CODES AND ENFORCEMENT AGENCIES, FIRE MARSHALL, OR ANY OTHER BUILDING CODE ENFORCEMENT OFFICER AT NO EXTRA COST TO THE OWNER. NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO SUBMITTING A BID FOR THE PROJECT.
18. BASE BID SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

- A. ALL PERMITS AND FEES FOR ALL 1. BUILDING AND TRADE PERMITS. 2. ALL ACCESSORY AND SITE IMPROVEMENT PERMITS.
- B. ALL FILL REQUIRED TO MEET MINIMUM FINISHED FLOOR SLAB ELEVATION AND COMPACTION.
- C. WATER METER HOOK-UP AND METER DEPOSITS. - OWNER RESPONSIBILITY
- D. HOOK-UP AND FEES FOR UNDERGROUND SERVICE FROM FPL LOCAL PHONE & CABLE T.V. - OWNER RESPONSIBILITY
- E. SOIL, CONCRETE AND ANY OTHER NECESSARY TESTING.
- F. ENGINEERING STAKE OUTS AND SURVEYS INCLUDING FINAL TIE - IN SURVEY.
- G. CLEARING, GRUB, AND SITE PREPARATION, INCLUDING GRADING.
- H. ALL BIDDERS AND THEIR SUBCONTRACTORS SHALL BE CURRENTLY LICENSED IN THE STATE OF FLORIDA.
- I. THE OWNER RESERVES THE RIGHT TO REJECT ANY BIDS.
- J. THE G.C. SHALL PROVIDE AN ESTIMATE OF TIME FOR COMPLETION.
- K. THE GENERAL CONTRACTOR SHALL PROVIDE PROOF OF INSURANCE FOR WORKMANS' COMPENSATION AND ANY OTHER INSURANCES REQUIRED BY THE OWNER FOR ALL EMPLOYEES EITHER DIRECTLY EMPLOYED BY THE GENERAL CONTRACTOR OR BY HIS SUBCONTRACTORS.
- L. THE CONTRACTOR SHALL CLEARLY LIST ANY WORK NOT INCLUDED IN HIS BID.
- M. PROVIDE FIRE DEPARTMENT KNOX BOX ADJACENT TO FRONT DOOR OF BLDG.
- N. CONTRACTOR TO PROVIDE AS BUILT DRAWINGS. PROVIDE TWO COPIES OF PERMIT SET TO OWNER

PROJECT DATA:

- * PROJECT ADDRESS: CENTURION TOWER
1601 FORUM PLACE #1202
WEST PALM BEACH, FL
- * EXISTING BUILDING IS TYPE I "A"
- * EXISTING BUILDING IS A 14 STORY BUILDING
- * EXISTING BUILDING CLASSIFICATION IS GROUP "B"
- * LEVEL 2 ALTERATION PER "EXISTING BUILDING CODE 2007"
- * 12TH FLOOR IS A MULTI TENANT FLOOR
- * SUITE #1202 WILL COMBINE WITH SUITE #1212 TO CREATE ONE TENANT SPACE
- * SUITE #1,202 = 4,630 SF
- * SUITE #1202 = 4,630 SF/100 = 47 OCCUPANTS
- * DESIGN OCCUPANT LOAD = 47 OCCUPANTS
- * SUITE #1212 = 2,633 SF
- * SUITE #1212 = 2,633 SF/100 = 27 OCCUPANTS
- * DESIGN OCCUPANT LOAD = 27 OCCUPANTS
- * NEW COMBINED DESIGN OCCUPANT LOAD = 69 OCCUPANTS

PROJECT NOTES:

SYMBOL INDEX:

- ADMIN. ROOM NAME
- 108 ROOM NUMBER
- (A) DOOR MARK/NUMBER
- (1) WINDOW MARK/NUMBER
- 1/WAS WALL SECTION/SHEET NUMBER
- 1/WAS BUILDING SECTION/SHEET NUMBER
- 2/WAS ELEVATION TARGET/SHEET NUMBER
- 1/WAS DETAIL NUMBER/SHEET NUMBER
- 8'-6" CEILING HEIGHT
- [F.E.] FIRE EXTINGUISHER
- [envelope] 2x4' FLUORESCENT LIGHT FIXTURE
- [square with dot] WALL MOUNTED LIGHT FIXTURE
- [square with dot] RECESSED LIGHT DOWN FIXTURE

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ALLEN S BIRSE
ARB94279

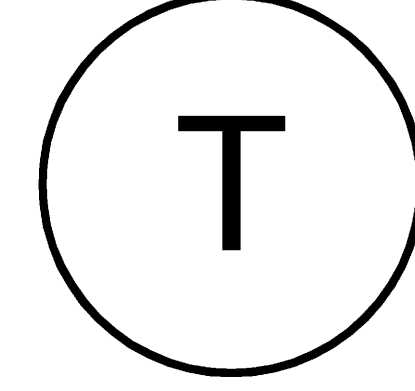
OXBOW EXPANSION
CENTURION TOWER
1601 FORUM PLACE #1202
WEST PALM BEACH, FL
PROJECT NUMBER CT17

REVISIONS

| | |
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| 1 | |
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DRAWN BY ASB
CD
01/03/11



REVISIONS

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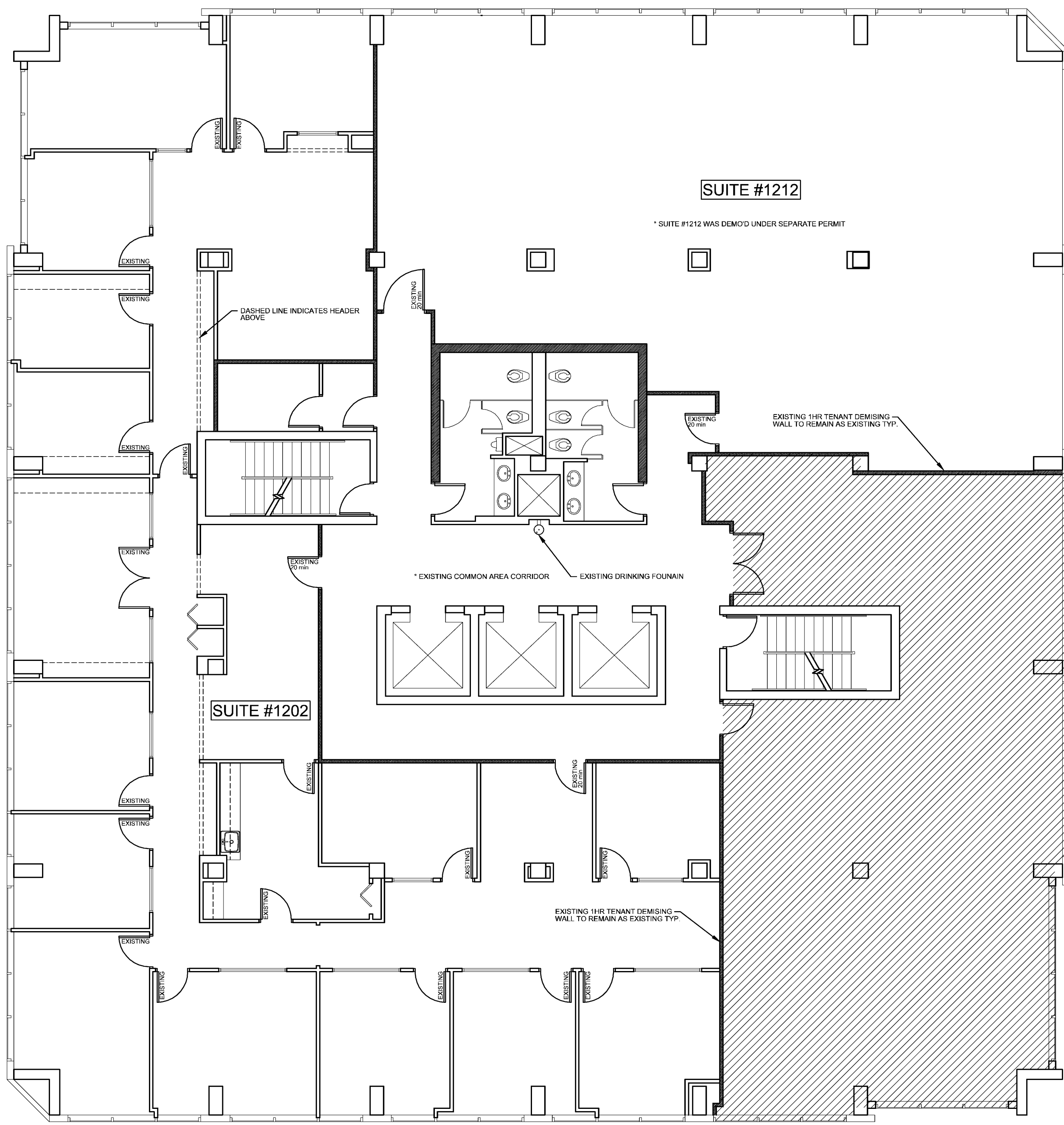
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01/03/10

A-1

WALL LEGEND

| | |
|-----|-----------------|
| --- | EXIST PARTITION |
| --- | EXIST 1 HR WALL |



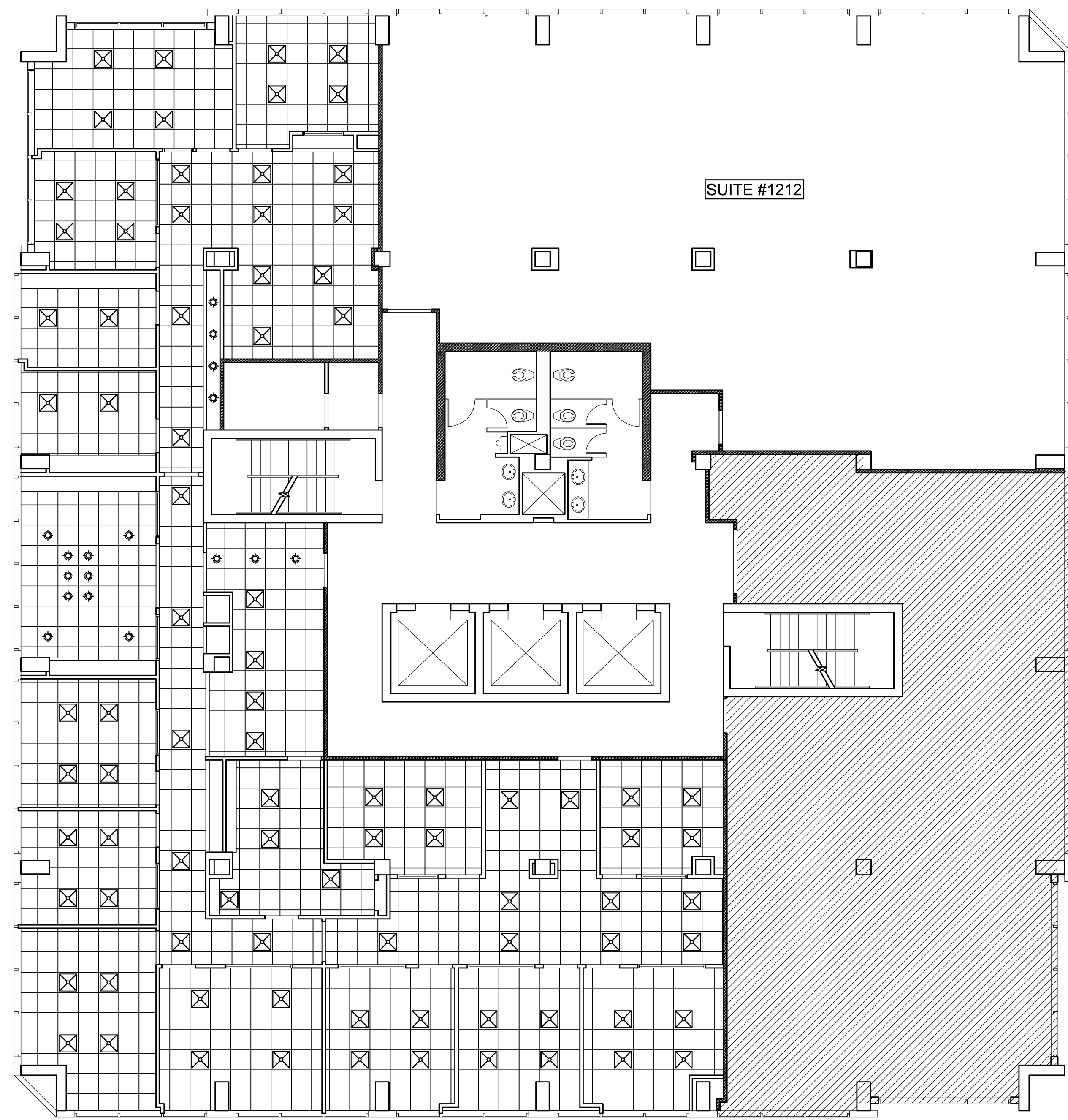
1 (EXISTING) FLOOR PLAN
1/8" = 1'-0"

- ALL WALLS/DOORS/WINDOWS ARE EXISTING AS PER EXISTING FLOOR PLAN 1/A-1
- TOILET ROOMS ARE EXISTING IN COMMON AREA CORRIDOR AS PER FLOOR PLAN 1/A-1
- DRINKING FOUNTAIN IS EXISTING IN COMMON AREA CORRIDOR AS PER FLOOR PLAN 1/A-1

3 EXISTING NOTES

WALL LEGEND

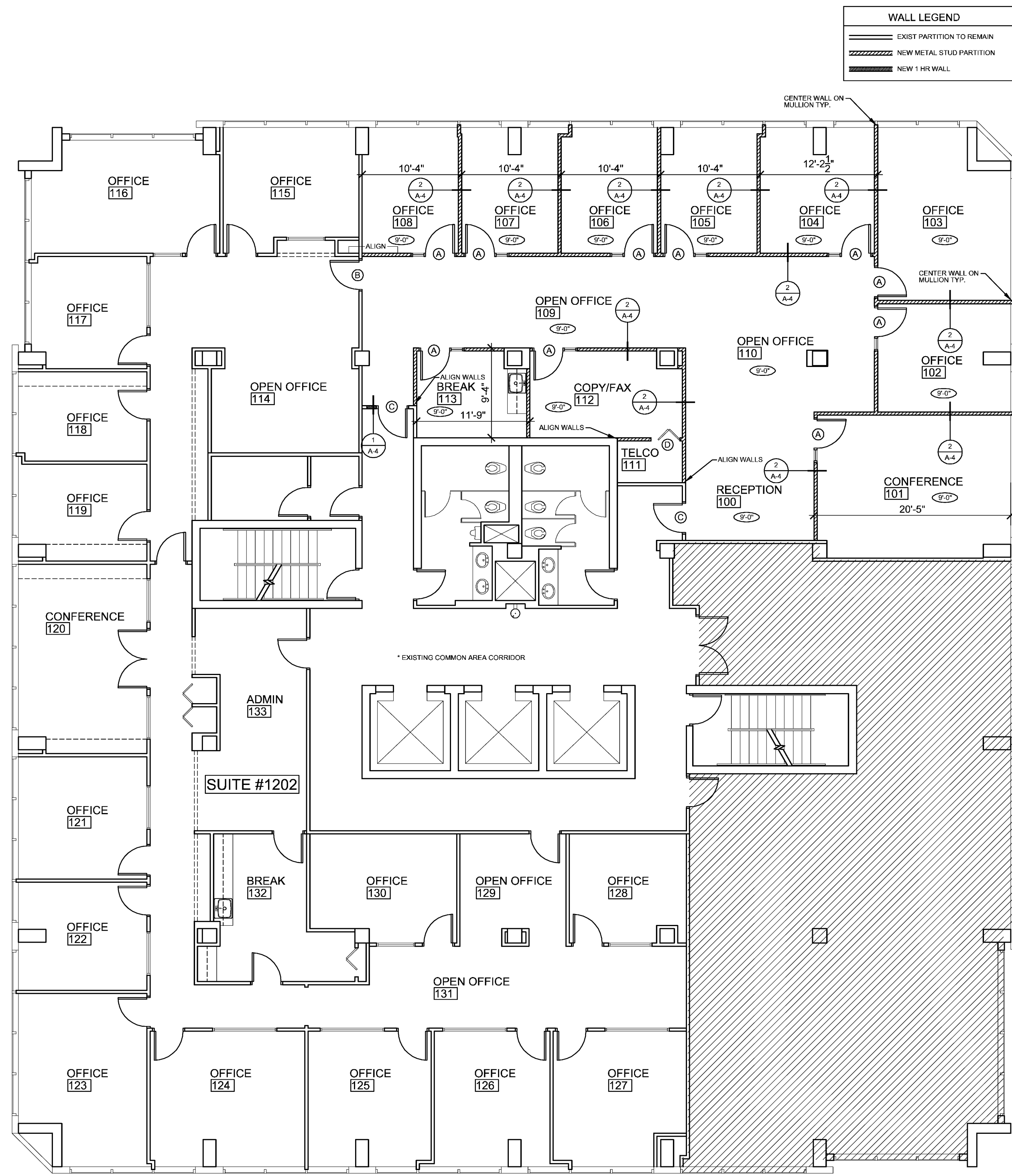
| | |
|-----|-----------------|
| --- | EXIST PARTITION |
| --- | EXIST 1 HR WALL |



2 (EXISTING) CEILING PLAN
1/8" = 1'-0"

- ALL CEILING GRID/LIGHTS ARE EXISTING AS PER 2/A-1

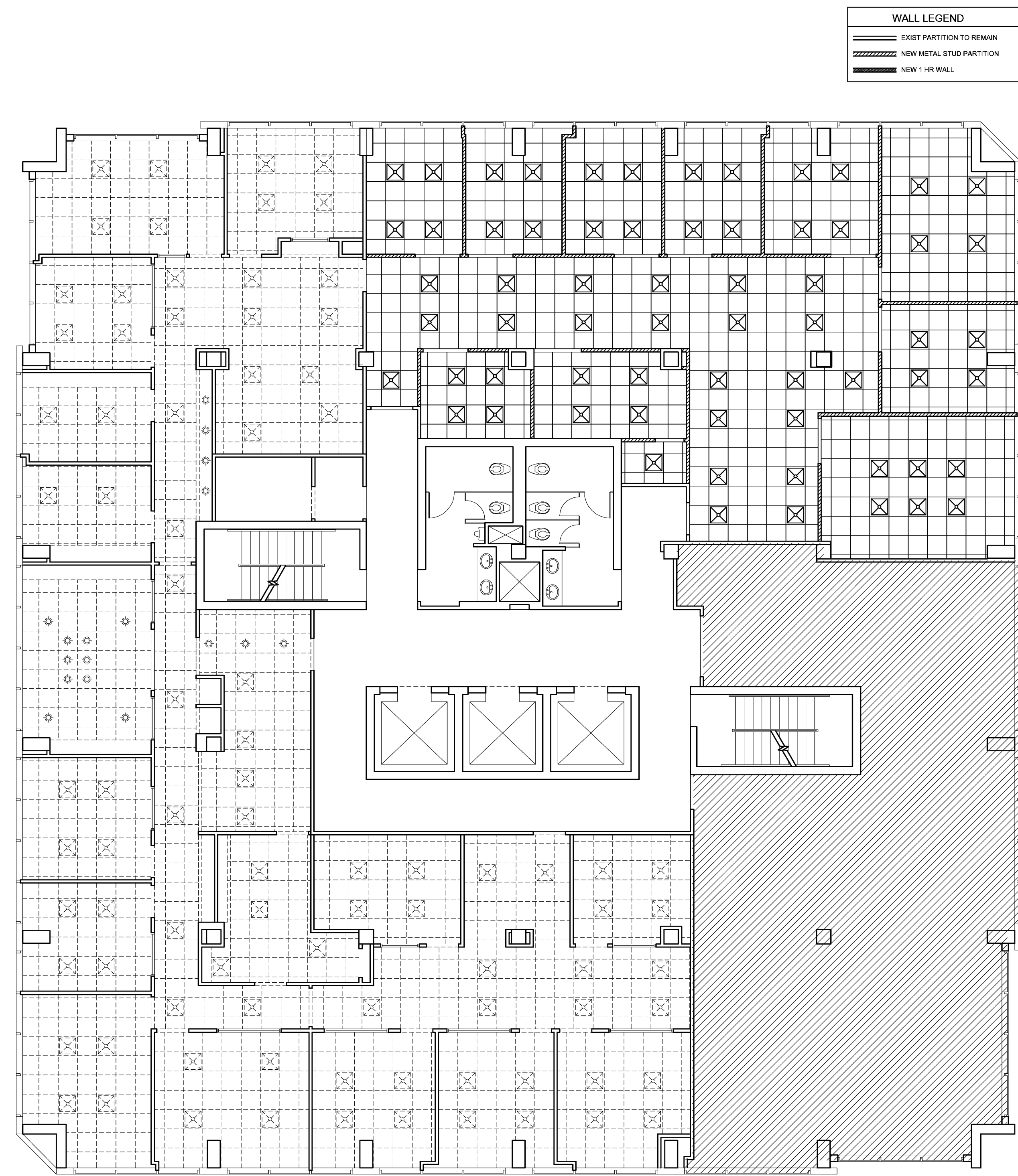
4 CEILING NOTES



1 (PROPOSED) FLOOR PLAN
1/8" = 1'-0"

1. PROVIDE NEW PARTITIONS/DOORS AS PER 1/A-2
2. PROVIDE MILLWORK/SINK IN BREAK #113 AS PER PLANS
3. PROVIDE NEW DOOR BETWEEN EXISTING AND NEW PORTION OF SUITE #1202 AS PER 1/A-2
4. PROVIDE FINISHES AS PER 5/A-4
5. REMOVE AND REPLACE ALL CABINETS/WALL COVERING/FLOORING IN EXISTING BREAK ROOM #132
6. ALL WORKSTATIONS TO BE BY TENANT

3 PROPOSED NOTES



2 (PROPOSED) CEILING PLAN
1/8" = 1'-0"

1. PROVIDE NEW CEILING GRID/LIGHTS AS PER PROPOSED CEILING PLAN 2/A-2
2. NEW CEILING TILES TO MATCH EXISTING (ACT1)

4 CEILING NOTES

Bd

birse design inc.

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Palm Beach Gardens, FL 33418
phone 561-219-4001
fax 772-409-9884
AA26001615

ALLEN S BIRSE
ARB4279

OXBOW EXPANSION

CENTURION TOWER
1601 FORUM PLACE #1202
WEST PALM BEACH, FL
PROJECT NUMBER CT17

REVISIONS

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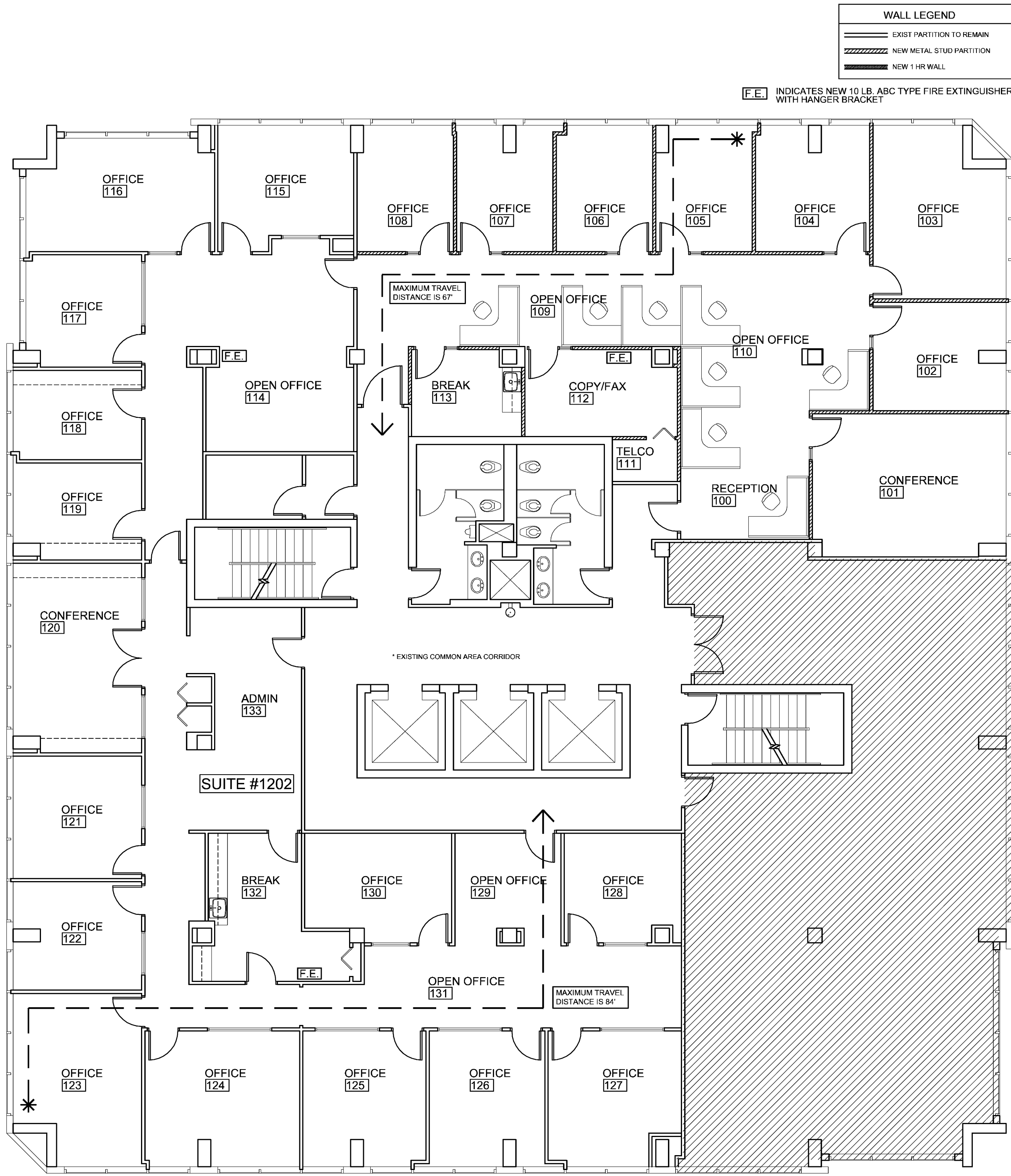
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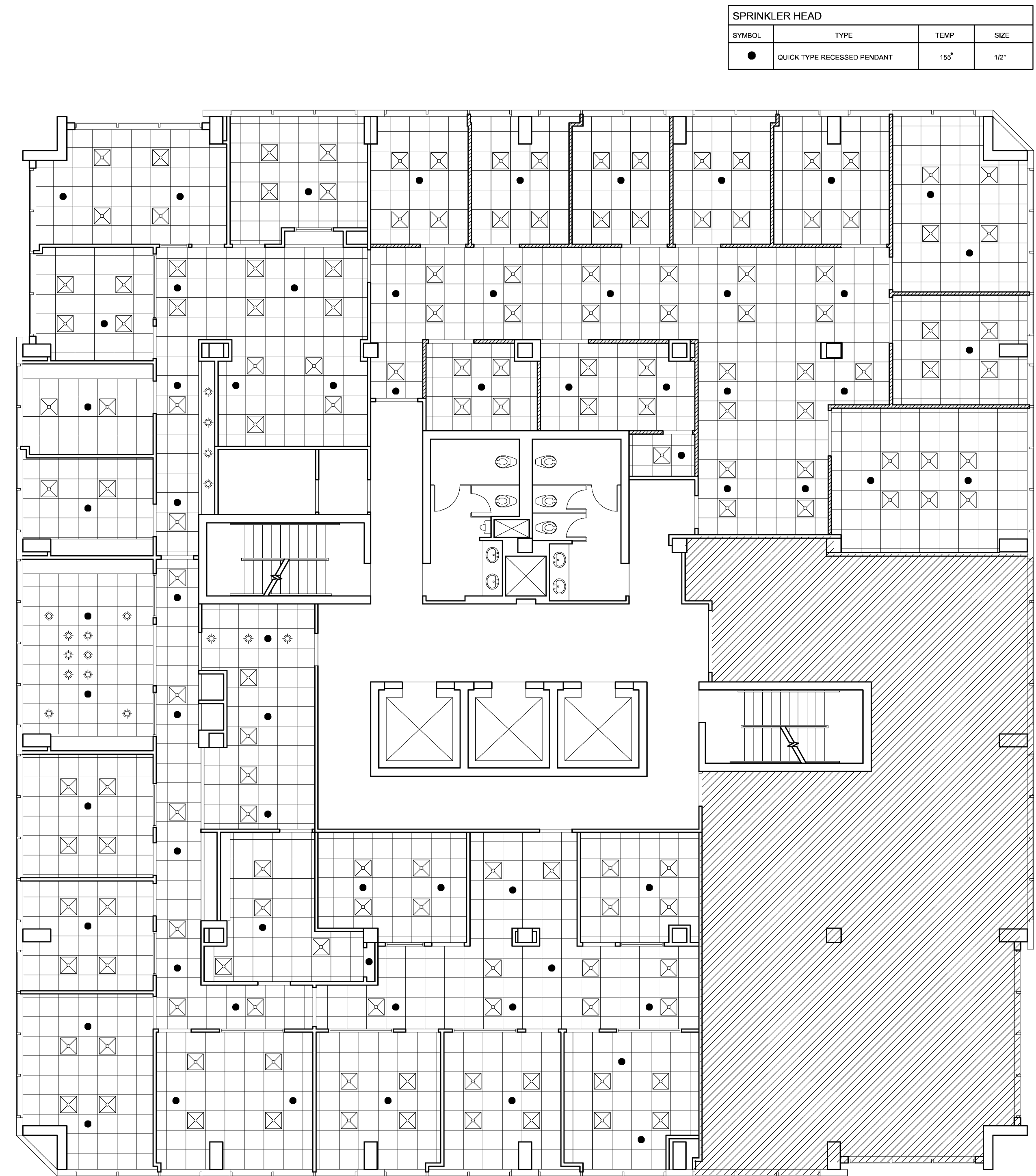
A-2



1 (LIFE SAFETY) FLOOR PLAN
1/8" = 1'-0"

- * ALL INTERIOR WALL AND CEILING FINISHES TO HAVE A MIN CLASS "C" FLAME SPREAD CLASSIFICATION
- * ALL INTERIOR FLOOR FINISH SHALL BE NOT LESS THAN CLASS II

3 LIFE SAFETY NOTES



2 FIRE PROTECTION PLAN
1/8" = 1'-0"

- * FIRE SPRINKLER SHOP DRAWINGS ARE TO BE SUBMITTED UNDER A SEPARATE FIRE SPRINKLER PERMIT
- * COMPLY WITH NFPA 13 2010 EDITION

4 FIRE PROTECTION NOTES

Bd

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Palm Beach Gardens, FL 33418
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fax 772-409-9884
AA26001615

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OXBOW EXPANSION

CENTURION TOWER
1601 FORUM PLACE #1202
WEST PALM BEACH, FL

PROJECT NUMBER CT17

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- 1
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- 4
- 5

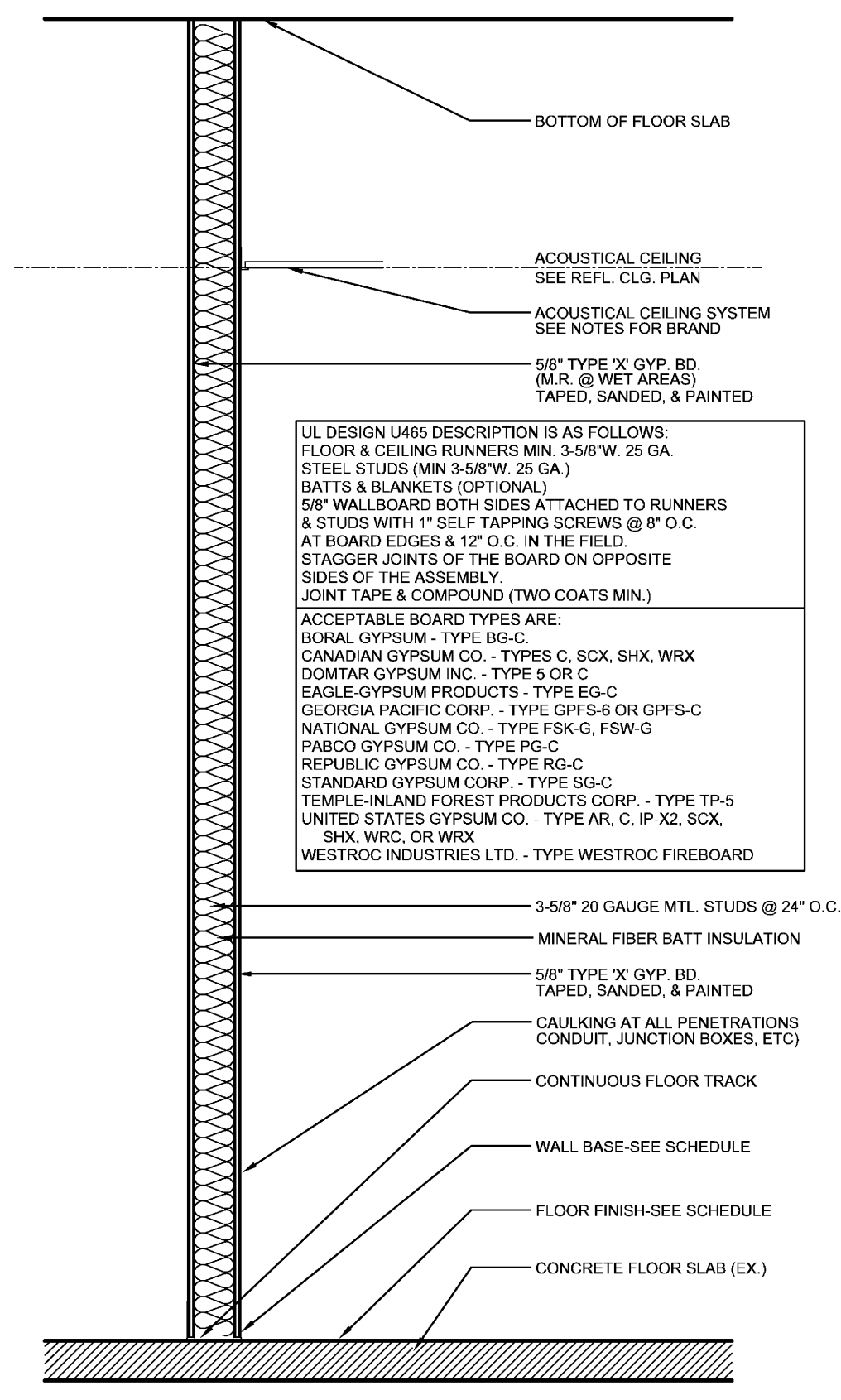
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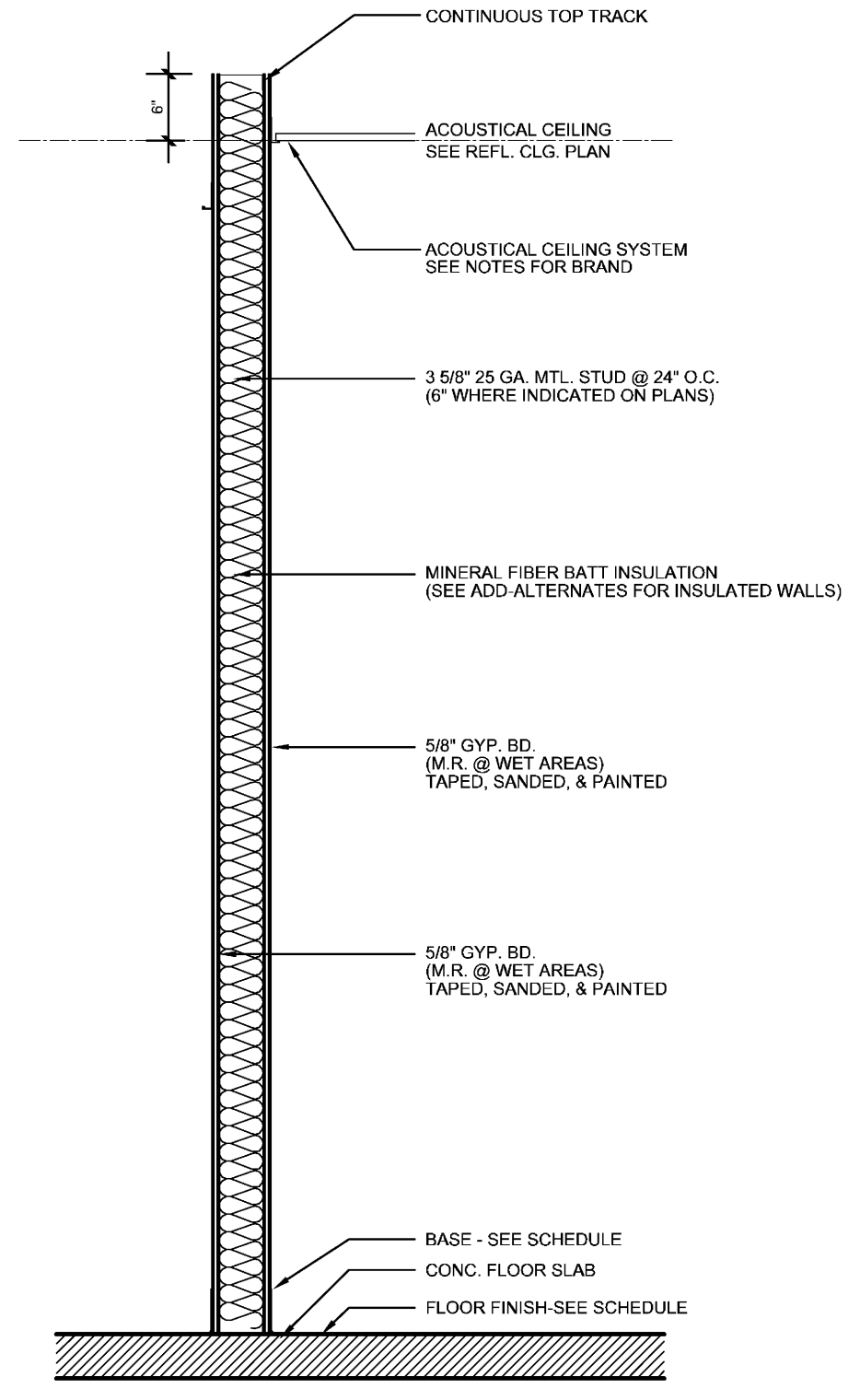
01/03/11

A-3



UL DESIGN U465 DESCRIPTION IS AS FOLLOWS:
 FLOOR & CEILING RUNNERS MIN. 3/8" W. 25 GA.
 STEEL STUDS MIN. 3/8" W. 25 GA.
 BATTIS & SLANKES (OPTIONAL)
 5/8" WALLBOARD BOTH SIDES ATTACHED TO RUNNERS
 & STUDS WITH 1" SELF TAPPING SCREWS @ 8" O.C.
 AT BOARD EDGES & 12" O.C. IN THE FIELD.
 STAGGER JOINTS OF THE BOARD ON OPPOSITE
 SIDES OF THE ASSEMBLY.
 JOINT TAPE & COMPOUND (TWO COATS MIN.)

ACCEPTABLE BOARD TYPES ARE:
 BORGAL GYPSUM - TYPE BGC
 CANADIAN GYPSUM CO. - TYPES C, SCX, SHX, WRX
 DONTAR GYPSUM INC. - TYPE S OR C
 EAGLE GYPSUM PRODUCTS - TYPE EG-C
 GEORGIA PACIFIC CORP. - TYPE GPFS-R OR GPFS-C
 NATIONAL GYPSUM CO. - TYPE FSK-G, FSW-G
 PABCO GYPSUM CO. - TYPE PG-C
 REPUBLIC GYPSUM CO. - TYPE RGC-C
 STANDARD GYPSUM CORP. - TYPE SG-C
 TEMPLE-INLAND FOREST PRODUCTS CORP. - TYPE TP-S
 UNITED STATES GYPSUM CO. - TYPE AR, C, IP, X2, SCX,
 SHX, WRX, OR WRX
 WESTROG INDUSTRIES LTD. - TYPE WESTROG FIREBOARD

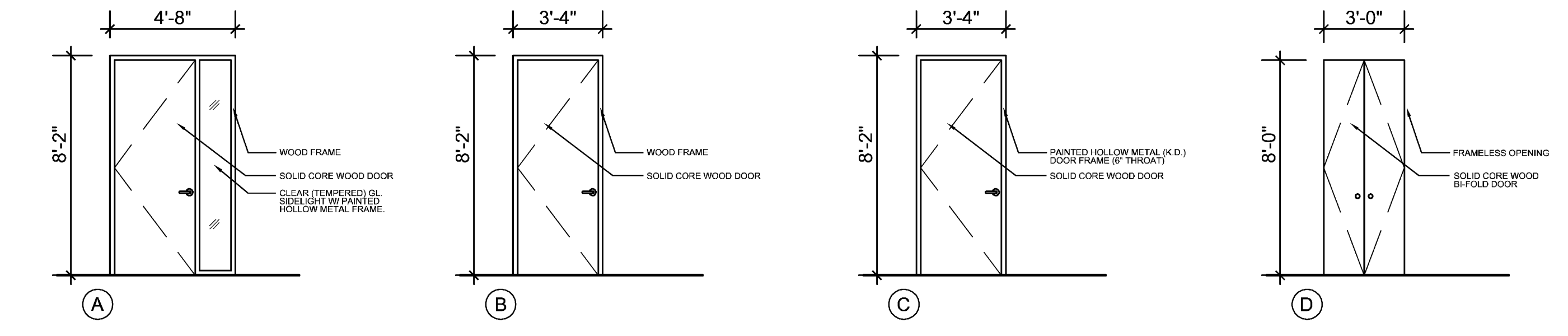


CONTINUOUS TOP TRACK
 ACOUSTICAL CEILING
 SEE REFL. CLG. PLAN
 ACOUSTICAL CEILING SYSTEM
 SEE NOTES FOR BRAND
 3/8" TYPE 'X' GYP. BD.
 (M.R. @ WET AREAS)
 TAPED, SANDED, & PAINTED
 3/8" TYPE 'X' GYP. BD.
 (M.R. @ WET AREAS)
 TAPED, SANDED, & PAINTED
 3/8" GYP. BD.
 (M.R. @ WET AREAS)
 TAPED, SANDED, & PAINTED
 3/8" GYP. BD.
 (M.R. @ WET AREAS)
 TAPED, SANDED, & PAINTED
 MINERAL FIBER BATT INSULATION
 (SEE ADD. ALTERNATES FOR INSULATED WALLS)
 3/8" 25 GA. MTL. STUD @ 24" O.C.
 (Ø WHERE INDICATED ON PLANS)
 CONTINUOUS FLOOR TRACK
 WALL BASE-SEE SCHEDULE
 FLOOR FINISH-SEE SCHEDULE
 CONCRETE FLOOR SLAB (EX.)
 BASE - SEE SCHEDULE
 CONC. FLOOR SLAB
 FLOOR FINISH-SEE SCHEDULE

UL DESIGN U465 (1HR)

1 WALL TYPE (DEMISING PARTITION)
 3/4" = 1'-0"

2 WALL TYPE (INT. PARTITION)
 3/4" = 1'-0"

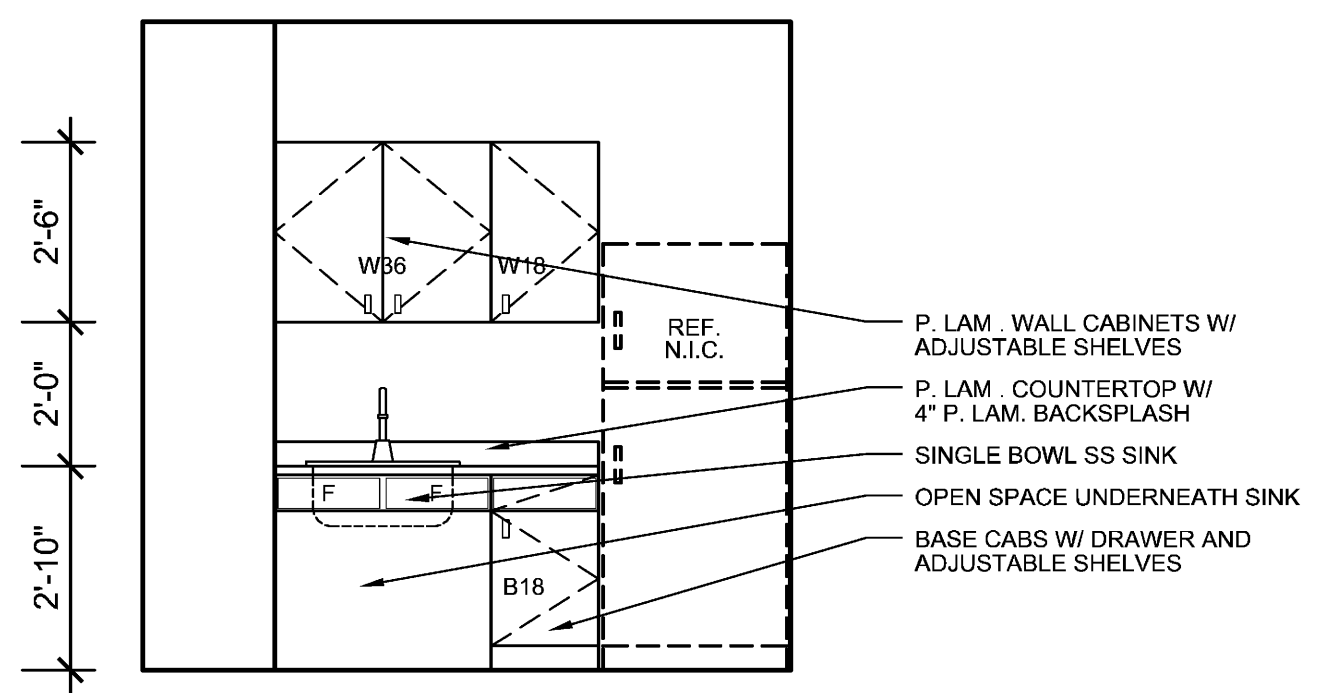


DOOR SCHEDULE

| MARK | LABEL | DOOR | | | FRAME | | | REMARKS |
|------|-----------------|------|-------|------|-----------|--------|-------|-------------------|
| | | MAT | TYPE | SIZE | SIZE/MAT. | | | |
| | | | | W | H | T | | |
| A | | WD | FLUSH | 3'0" | 8'0" | 1-3/4" | 2" WD | GLASS SIDE LIGHT |
| B | | WD | FLUSH | 3'0" | 8'0" | 1-3/4" | 2" WD | |
| C | 20 MINUTE RATED | WD | FLUSH | 3'0" | 8'0" | 1-3/4" | 2" WD | TENANT ENTRY DOOR |
| D | | WD | FLUSH | 3'0" | 8'0" | 1-3/4" | | BI-FOLD DOOR |

- * NEW TENANT ENTRY DOOR TO MATCH EXISTING BUILDING STANDARD
- * ALL CLOSERS TO BE ON THE INSIDE OF TENANT SPACE
- * NEW DOORS TO MATCH EXISTING SUITE #1202 DOORS (CASING AND STAIN)
- * NEW TENANT INTERIOR DOOR HARDWARE TO MATCH SUITE #1202 EXISTING HARDWARE
- * ALL EXTERIOR TENANT DOORS TO HAVE 5" SOLID TOP RAIL (NO THROUGH BOLTING)
- * ALL DOOR STOPS ARE TO BE FLOOR MOUNTED (NOT WALL MOUNTED)
- * DOOR HARDWARE IS REQUIRED TO COMPLY WITH FBC 11-4.13.9 FOR ACCESSIBILITY

3 DOORS
 1/4" = 1'-0"



- * SINKS SHALL BE MOUNTED WITH THE COUNTER TOP OR RIM NO HIGHER THAN 34" ABOVE THE FINISH FLOOR
- * KNEE CLEARANCE OF AT LEAST 27" HIGH, 30" WIDE, AND 19" DEEP IS PROVIDED UNDERNEATH
- * EACH SINK SHALL BE A MAXIMUM OF 6-1/2" DEEP
- * HOT WATER AND DRAIN PIPES UNDER SINK SHALL BE INSULATED OR OTHERWISE CONFIGURED SO AS TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER THE SINK
- * A CLEAR FLOOR SPACE OF AT LEAST 30" BY 48" SHALL BE PROVIDED IN FRONT OF A SINK TO ALLOW FORWARD APPROACH. THE CLEAR FLOOR SPACE SHALL BE ON AN ACCESSIBLE ROUTE AND SHALL EXTEND A MAXIMUM OF 19 INCHES UNDERNEATH THE SINK
- * 19" MAX CLEAR AREA SHALL BE PROVIDED UNDERNEATH SINK
- * ALL FAUCETS SHALL BE LEVER OPERATED

4 BREAK (#118) ELEVATION
 3/8" = 1'-0"

| MK | ROOM NAME | FLOOR | | BASE | | WALLS | | CEILING | | REMARKS |
|-------------|-------------|----------|-------|------|----|----------|-----|---------|-----|---------|
| | | MAT | HT | MAT | HT | MAT | FIN | MAT | FIN | |
| SUITE #505W | | | | | | | | | | |
| 100 | RECEPTION | CPT1 | WD 4" | GWB | PT | ACT1 | | 9'-0" | | |
| 101 | CONFERENCE | CPT1 | WD 4" | GWB | PT | ACT1 | | 9'-0" | | |
| 102 | OFFICE | CPT1 | VL 4" | GWB | PT | ACT1 | | 9'-0" | | |
| 103 | OFFICE | CPT1 | VL 4" | GWB | PT | ACT1 | | 9'-0" | | |
| 104 | OFFICE | CPT1 | VL 4" | GWB | PT | ACT1 | | 9'-0" | | |
| 105 | OFFICE | CPT1 | VL 4" | GWB | PT | ACT1 | | 9'-0" | | |
| 106 | OFFICE | CPT1 | VL 4" | GWB | PT | ACT1 | | 9'-0" | | |
| 107 | OFFICE | CPT1 | VL 4" | GWB | PT | ACT1 | | 9'-0" | | |
| 108 | OFFICE | CPT1 | VL 4" | GWB | PT | ACT1 | | 9'-0" | | |
| 109 | OPEN OFFICE | CPT1 | WD 4" | GWB | PT | ACT1 | | 9'-0" | | |
| 110 | OPEN OFFICE | CPT1 | WD 4" | GWB | PT | ACT1 | | 9'-0" | | |
| 111 | TELCO | VCT | VL 4" | GWB | PT | ACT1 | | 9'-0" | | |
| 112 | COPY/FA | VCT | VL 4" | GWB | PT | ACT1 | | 9'-0" | | |
| 113 | BREAK | VCT | VL 4" | GWB | PT | ACT1 | | 9'-0" | | |
| 114 | OPEN OFFICE | EXISTING | | | | | | | | |
| 115 | OFFICE | EXISTING | | | | | | | | |
| 116 | OFFICE | EXISTING | | | | | | | | |
| 117 | OFFICE | EXISTING | | | | | | | | |
| 118 | OFFICE | EXISTING | | | | | | | | |
| 119 | OFFICE | EXISTING | | | | | | | | |
| 120 | CONFERENCE | EXISTING | | | | | | | | |
| 121 | OFFICE | EXISTING | | | | | | | | |
| 122 | OFFICE | EXISTING | | | | | | | | |
| 123 | OFFICE | EXISTING | | | | | | | | |
| 124 | OFFICE | EXISTING | | | | | | | | |
| 125 | OFFICE | EXISTING | | | | | | | | |
| 126 | OFFICE | EXISTING | | | | | | | | |
| 127 | OFFICE | EXISTING | | | | | | | | |
| 128 | OFFICE | EXISTING | | | | | | | | |
| 129 | OPEN OFFICE | EXISTING | | | | | | | | |
| 130 | OFFICE | EXISTING | | | | | | | | |
| 131 | OPEN OFFICE | EXISTING | | | | | | | | |
| 132 | BREAK | VCT | VL 4" | GWB | PT | EXISTING | | | | |
| 133 | ADMIN | EXISTING | | | | | | | | |

- * ALL NEW FINISHES ARE TO MATCH SUITE #1202 EXISTING FINISHES
- * ALL NEW FINISHES T.B.D. BY TENANT
- * ALL INTERIOR WALL AND CEILING FINISHES TO HAVE A MIN CLASS "C" FLAME SPREAD CLASSIFICATION
- * ALL INTERIOR FLOOR FINISH SHALL BE NOT LESS THAN CLASS II
- * SAMPLES ARE REQUIRED TO BE APPROVED PRIOR TO ORDERING

5 FINISHES
 3/8" = 1'-0"

Bd

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 5300 Westfield Lakes Drive
 Palm Beach Gardens, FL 32918
 phone 561-219-4001
 fax 772-409-9884
 AA26001615

ALLEN S BIRSE
 AR94279

OXBOW EXPANSION

CENTURION TOWER
 1601 FORUM PLACE #1202
 WEST PALM BEACH, FL

PROJECT NUMBER CT17

REVISIONS

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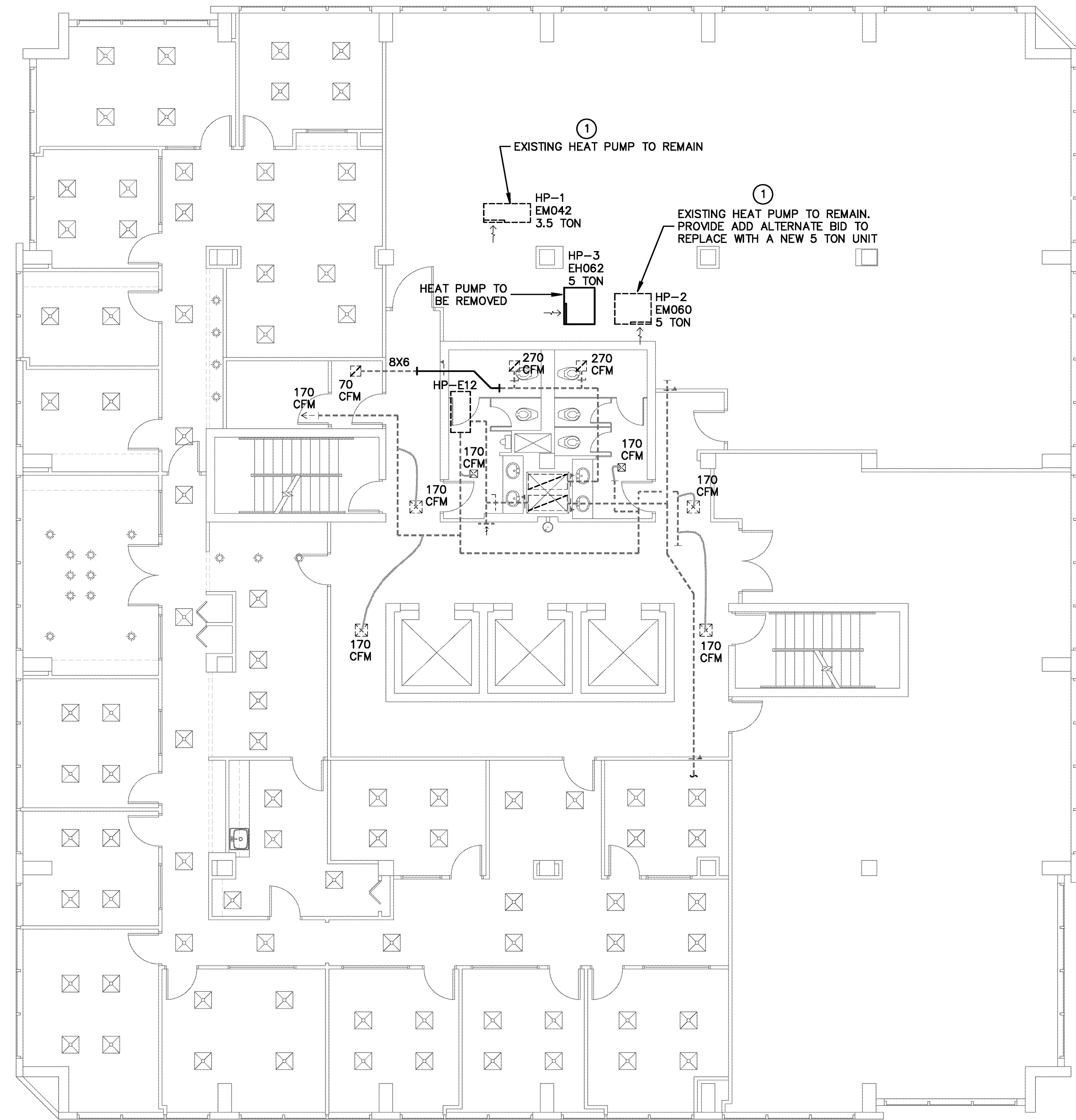
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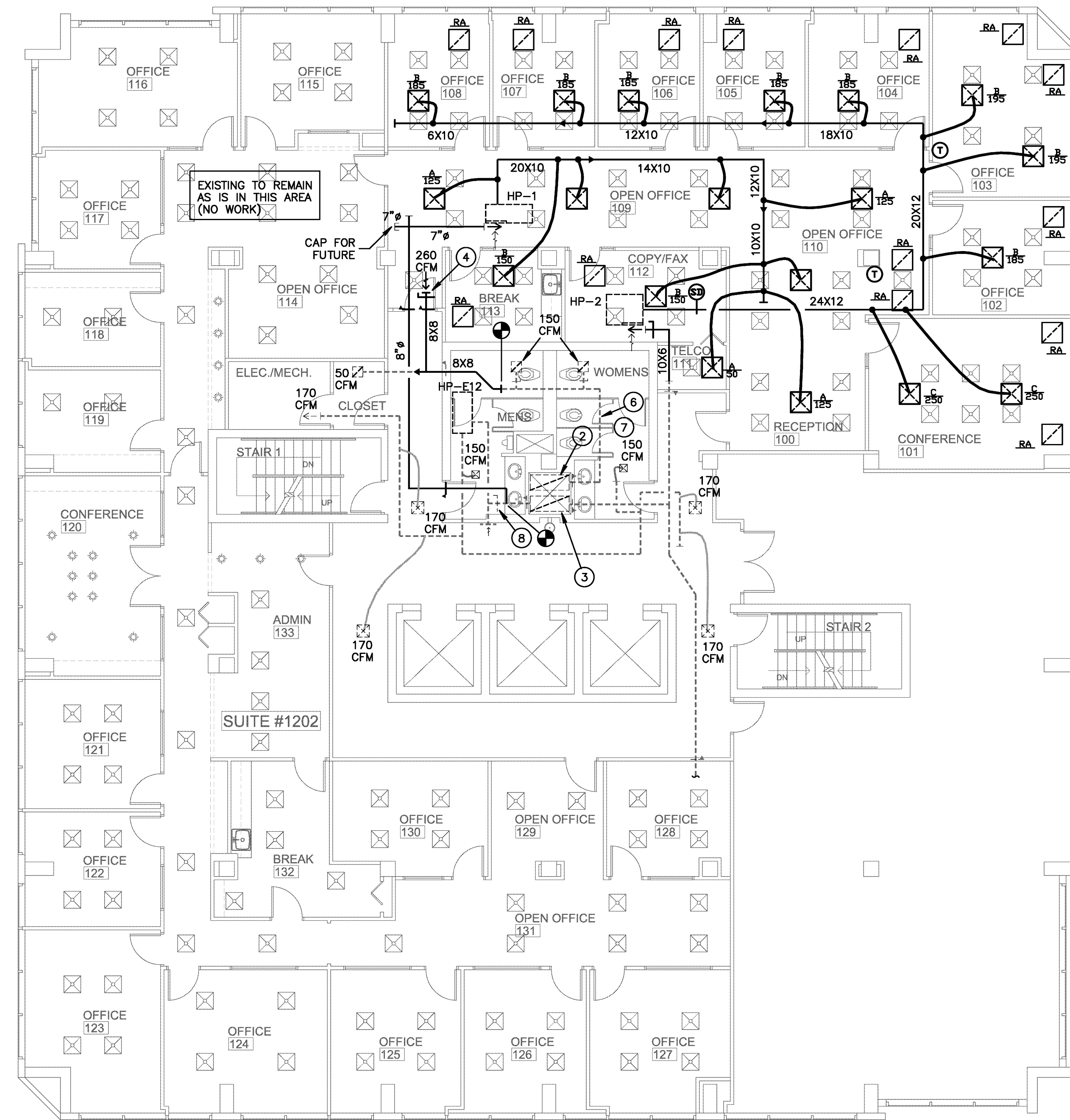
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EXISTING HVAC FLOOR PLAN
 SCALE: 1/8" = 1'-0"

| ABBREVIATIONS | |
|---------------|-------------------------|
| CFM | - CUBIC FEET PER MINUTE |
| E/A | - EXHAUST AIR |
| S/A | - SUPPLY AIR |
| R/A | - RETURN AIR |
| MVD | - MANUAL VOLUME DAMPER |
| HP | - HEAT PUMP A/C UNIT |
| E | - EXISTING |
| R | - RELOCATED |

| LEGEND | | | |
|--------|-------------------------------------|--|---------------------------------|
| | EXISTING EQUIPMENT TO REMAIN | | MANUAL VOLUME DAMPER |
| | SUPPLY AIR DIFFUSER AS NOTED | | PROGRAMMABLE THERMOSTAT |
| | RETURN/TRANSFER AIR GRILLE AS NOTED | | FLEXIBLE DUCT, U.L. CLASS 1 |
| | EXISTING SUPPLY AIR DIFFUSER | | DUCT TRANSITION |
| | EXISTING EXHAUST/RETURN GRILLE | | FLEXIBLE DUCT TAKE-OFF WITH MVD |
| | DUCTWORK AS NOTED | | CONNECTION TO EXISTING |
| | EXISTING DUCTWORK TO REMAIN | | |
| | TYPE B FIRE DAMPER W/ACCESS DOOR | | |



PROPOSED HVAC FLOOR PLAN
 SCALE: 1/8" = 1'-0"

HVAC CONTROLS NOTE
 AIR CONDITIONING CONTRACTOR SHALL PROVIDE OR CAUSE TO BE PROVIDED ALL CONTROLS, CONTROL WIRING & CONDUIT, POWER WIRING & CONDUIT, AND ALL OTHER ITEMS NECESSARY FOR INSTALLATION AND CONTROL OF HEAT PUMP AIR CONDITIONING UNITS. IN ADDITION, CONTRACTOR SHALL PROVIDE INTERFACE WITH THE EXISTING EMS SYSTEM COMPUTER GRAPHICALLY DEPICTING MECHANICAL LAYOUT WITH ON SCREEN DISPLAYS THAT ARE CONTROLLED BY THE EXISTING ENERGY MANAGEMENT SYSTEM (EMS). A COMPLETE AND OPERATIONAL CONTROL SYSTEM IS TO BE PROVIDED. VERIFY ALL DETAILS AND REQUIREMENTS WITH THE BUILDING EMS PROVIDER PRIOR TO BID.

THE CEILING SPACE THROUGHOUT THIS PROJECT IS A RETURN AIR PLENUM. NO COMBUSTIBLE OR TOXIC MATERIALS ARE ALLOWED ABOVE THE CEILING.

- DRAWING KEYNOTES:**
- EXISTING HEAT PUMP A/C UNIT TO REMAIN. PROVIDE ANY REQUIRED MAINTENANCE, THOROUGHLY CLEAN THE UNIT INSIDE AND OUT, INCLUDING THE COILS AND ALL OTHER COMPONENTS, USING A VACUUM AND APPROPRIATE NON-CORROSIVE MATERIALS. STRAIGHTEN ANY BENT COIL FINS AND REPLACE ANY MISSING HARDWARE. PROVIDE NEW FILTER AND VERIFY PROPER OPERATION.
 - EXHAUST AIR DUCT UP TO ROOF FAN, TO REMAIN AS IS
 - OUTSIDE AIR DUCT UP TO ROOF FAN, TO REMAIN AS IS
 - PROVIDE NEW OUTSIDE AIR DUCT FOR HP-1 AS SHOWN.
 - OPEN ENDED EXHAUST DUCT STUBBED INTO PLENUM ABOVE CEILING, WITH FIRE DAMPER AND VOLUME DAMPER.
 - RE-BALANCE EXISTING EXHAUST AIR SYSTEM AS SHOWN.
 - ADJUST EXISTING SUPPLY AIR QUANTITY IN TOILETS AS SHOWN TO MATCH EXHAUST AIR QUANTITY.
 - ADJUST EXISTING VOLUME DAMPER TO PROVIDE 350 CFM OUTSIDE AIR TO HP-E12.

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 RONALD D. GILMAN P.E. #37933

MECHANICAL GENERAL NOTES:

- THESE DRAWINGS ARE DIAGRAMMATIC. ALL OFFSETS, FITTINGS, TRANSITIONS AND ACCESSORIES ARE NOT SHOWN. THE CONTRACTOR SHALL INCLUDE IN HIS BID ALL ITEMS REQUIRED TO PROVIDE A COMPLETE AND OPERATIONAL SYSTEM. DO NOT SCALE DRAWINGS FOR INSTALLATION.
- ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER BY LICENSED CONTRACTORS.
- THE CONTRACTOR SHALL OBTAIN AT HIS EXPENSE ALL NECESSARY FEES PERMITS, AND TESTS.
- ALL WORK SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES. NO CONTRACTOR SHALL BID UNLESS FAMILIAR WITH THESE CODES.
- CORRECTION OF DEFECTS TO THIS WORK SHALL BE MADE PROMPTLY WITHOUT CHARGE TO THE OWNER. REPAIR AND REPLACEMENT FOR DAMAGE CAUSED BY THIS CONTRACTOR SHALL BE MADE PROMPTLY WITHOUT CHARGE TO THE OWNER.
- ALL WORK OF THIS TRADE SHALL BE COORDINATED WITH ALL OTHER TRADES TO AVOID ANY INTERFERENCES THAT MAY DELAY PROGRESS OF CONSTRUCTION.
- THE CONTRACTOR SHALL INCLUDE THE WORK OF ALL REQUIRED SUB-CONTRACTORS, SUCH AS ELECTRICAL, INSULATING, TEST & BALANCE, ETC., AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM.
- EQUIPMENT SHALL BEAR A U.L. OR OTHER RECOGNIZED LABEL, NAMEPLATES, WIRING DIAGRAMS, AND ENERGY RATINGS AS APPLICABLE.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND ACCESSORIES TO BE READILY ACCESSIBLE FOR SERVICING, TESTING, BALANCING, AND REPLACEMENT.
- THE CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE AGAINST DEFECTS IN ALL MATERIALS AND WORKMANSHIP FOR ONE YEAR FROM ACCEPTANCE, WITH FOUR ADDITIONAL YEARS OF WARRANTY ON COMPRESSORS.
- THE CONTRACTOR SHALL PROVIDE THREE COPIES OF SUBMITTAL DATA, SHOP DRAWINGS, AND AT COMPLETION OF THE PROJECT TWO SETS OF OPERATION AND MAINTENANCE MANUALS FOR ALL PROJECT ITEMS.
- PROVIDE ALL CONTROLS, STARTERS, CONTROL WIRING, DISCONNECTS, AND OTHER ELECTRICAL EQUIPMENT AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM.
- THE HVAC CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, ON SITE, A DETAILED AS-BUILT PLAN SHOWING ACTUAL INSTALLATIONS. THE CONTRACTOR IS TO PROVIDE A NEATLY DRAWN COMPREHENSIVE AS-BUILT SET OF PLANS UPON COMPLETION, WHICH ARE SUITABLE FOR SUBMISSION TO THE BUILDING DEPARTMENT AND TO THE OWNER.
- PRIOR TO ACCEPTANCE BY THE OWNER THE SYSTEMS SHALL BE TESTED AND BALANCED BY AN INDEPENDENT NEBB CERTIFIED T&B CONTRACTOR EXPERIENCED WITH THIS SYSTEM, AND CERTIFIED T&B REPORTS SUBMITTED.
- SUPPLY AND INSTALL DUCT MOUNTED SMOKE DETECTORS AS REQUIRED.
- COORDINATE LOCATION OF CEILING DIFFUSERS, GRILLES AND REGISTERS IN THE FIELD WITH LIGHTS AND ARCHITECTURAL ELEMENTS.
- ALL GRILLES TO BE TITUS OR METALLAIRE UNLESS OTHERWISE NOTED, SIZES AS SHOWN ON PLANS, ALUMINUM CONSTRUCTION.
- ALL DUCT WORK SHALL BE BUILT AND INSTALLED IN ACCORDANCE WITH SMACNA STANDARDS AND LOCAL BUILDING CODES.
- ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS.
- ALL OUTSIDE AIR DUCTWORK SHALL BE GALVANIZED SHEET METAL CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH ASHRAE AND SMACNA STANDARDS.
- ALL EXHAUST AIR DUCT SHALL BE GALVANIZED SHEET METAL CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH ASHRAE AND SMACNA STANDARDS.
- FLEXIBLE DUCT, WHERE SHOWN, SHALL BE U.L. CLASS 1, R-6 INSULATION.
- LOW PRESSURE SUPPLY AND RETURN DUCTWORK IS RIGID DUCTBOARD WITH VAPOR BARRIER, 1 IN. THICK, R-4.2 INSULATION, EXCEPT AS NOTED.
- PROVIDE ELBOW TURNING VANES IN ALL RECTANGULAR DUCTS WHERE TURNS ARE GREATER THAN 45 DEGREES.
- PROVIDE BACKDRAFT DAMPERS FOR ALL EXHAUST FANS.
- VERIFY ALL THERMOSTAT LOCATIONS WITH THE ARCHITECT.

GENERAL DEMOLITION NOTES

- UNLESS OTHERWISE NOTED, ALL EQUIPMENT AND DUCTWORK IN THE PROJECT AREA WHICH IS NOT INDICATED TO REMAIN, IS TO BE REMOVED. THE CONTRACTOR SHALL INVESTIGATE THE PROJECT AREA PRIOR TO BID TO DETERMINE ALL REQUIRED DEMOLITION.
- EXISTING CONDITIONS SHOWN ON THIS DRAWING ARE TAKEN FROM ORIGINAL DRAWINGS AND FIELD INVESTIGATION. ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO BID. FIELD CONDITIONS SHALL GOVERN.
- DEMOLITION WORK IS NOT SPECIFICALLY IDENTIFIED ON THESE PLANS, AND MAY BE DESCRIBED ON THE ARCHITECT'S PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED DEMOLITION WHETHER SHOWN ON THE PLANS OR NOT.
- ALL MECHANICAL SYSTEMS SERVING OTHER SPACES OR FLOORS, THAT RUN THROUGH THE PROJECT AREA SHALL REMAIN ACTIVE DURING CONSTRUCTION, SO AS NOT TO CAUSE ANY DISRUPTION TO THESE OTHER SPACES.
- ALL ITEMS REMOVED UNDER THIS PROJECT SHALL BE DISPOSED OF OR TURNED OVER TO THE OWNER AT THE OWNER'S DISCRETION.
- PROPERLY REMOVE AND DISPOSE OF ALL HVAC DUCTWORK AND AIR DISTRIBUTION DEVICES WHICH ARE TO BE REMOVED. CONSULT WITH OWNER AND OBTAIN THE OWNER'S APPROVAL PRIOR TO DISPOSAL OF REMOVED MATERIAL.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL PIPING AND DUCTS, NEW OR EXISTING, WITHIN THE PROJECT AREA, ARE PROPERLY SUPPORTED.
- ANY UN-USED DUCT OPENINGS ARE TO BE CLOSED, SEALED AND INSULATED WITH MATERIALS AND METHODS TO MATCH EXISTING INSTALLATIONS.

AIR DISTRIBUTION SCHEDULE

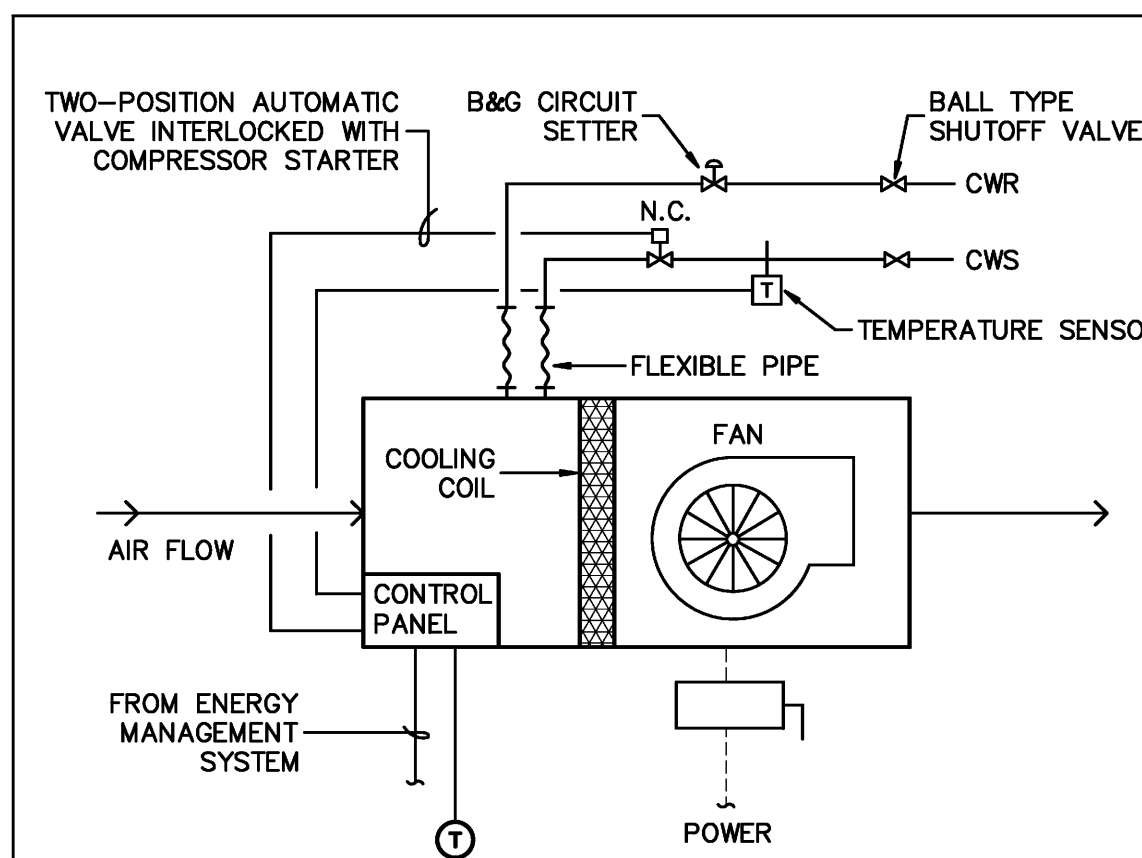
| MARK | MAKE | MODEL | SIZE | NECK | MATERIAL | BORDER TYPE | MOUNTING TYPE | DAMPER | THROW | FINISH |
|------|-------|--------|-------|-------|----------|-------------|---------------|--------|-------|--------|
| A | TITUS | PAS-AA | 24X24 | 6" | ALUMINUM | 3 | LAY-IN | AG-85 | 4 WAY | WHITE |
| B | TITUS | PAS-AA | 24X24 | 8" | ALUMINUM | 3 | LAY-IN | AG-85 | 4 WAY | WHITE |
| C | TITUS | PAS-AA | 24X24 | 10" | ALUMINUM | 3 | LAY-IN | AG-85 | 4 WAY | WHITE |
| RA | TITUS | PAR-AA | 24X24 | 22X22 | ALUMINUM | 3 | LAY-IN | - | - | WHITE |

FOR ROUND NECK GRILLES, PROVIDE ROUND FLEXIBLE DUCT TO MATCH GRILLE NECK, UNLESS SHOWN OTHERWISE. PROVIDE INTEGRAL VOLUME DAMPERS WHERE SHOWN ON PLAN OR WHERE DAMPER IN S/A DUCTWORK IS NOT ACCESSIBLE ABOVE CEILING. FIELD VERIFY EXISTING CONDITIONS PRIOR TO ORDERING ANY EQUIPMENT. PROVIDE SURFACE MOUNT GRILLES WHERE REQUIRED DUE TO FIELD CONDITIONS.

VENTILATION CALCULATIONS

| SYSTEM | HP-1 | | HP-2 | |
|---------------------|-------|--------|------------|--------|
| | BREAK | OFFICE | CONFERENCE | OFFICE |
| SQUARE FEET OF AREA | 98 | 1,040 | 292 | 1,100 |
| CFM/SQ.FT. REQUIRED | 0.06 | 0.06 | 0.06 | 0.06 |
| TOTAL OCCUPANTS | 3 | 5 | 15 | 7 |
| CFM/PERSON REQUIRED | 5 | 5 | 5 | 5 |
| ZONE CFM REQUIRED | 21 | 92 | 93 | 101 |
| TOTAL SYSTEM CFM | 113 | | | 194 |

- NOTES**
1. ABOVE CALCULATIONS AND OCCUPANCY RATES PER ASHRAE 62.1, 2007



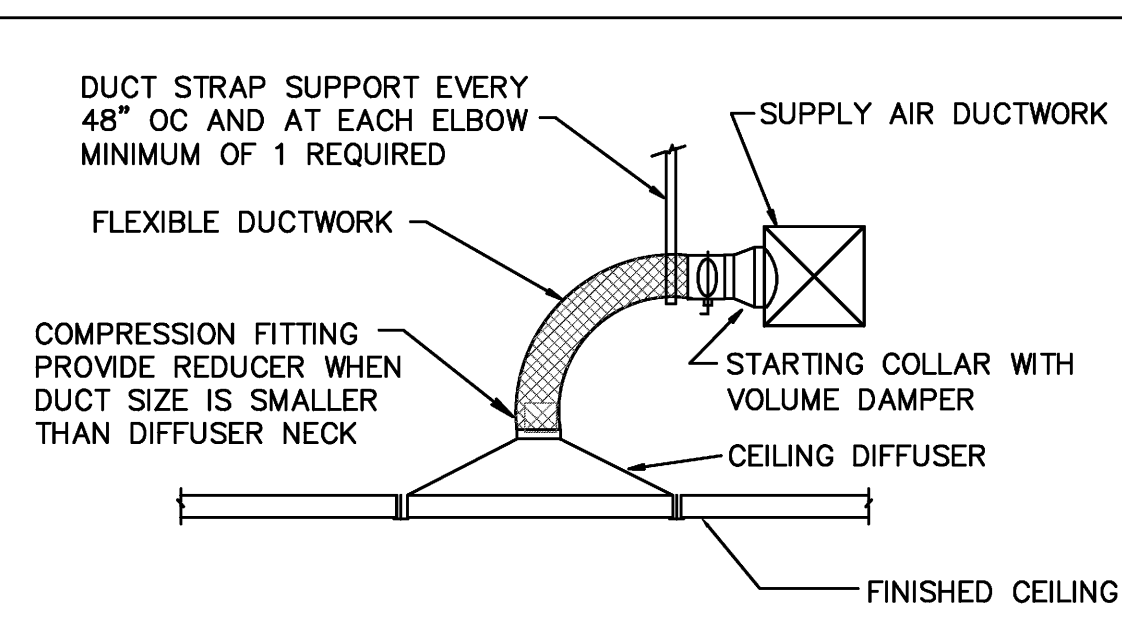
HEAT PUMP CONNECTION DETAIL

(ADD ALTERNATE BID)

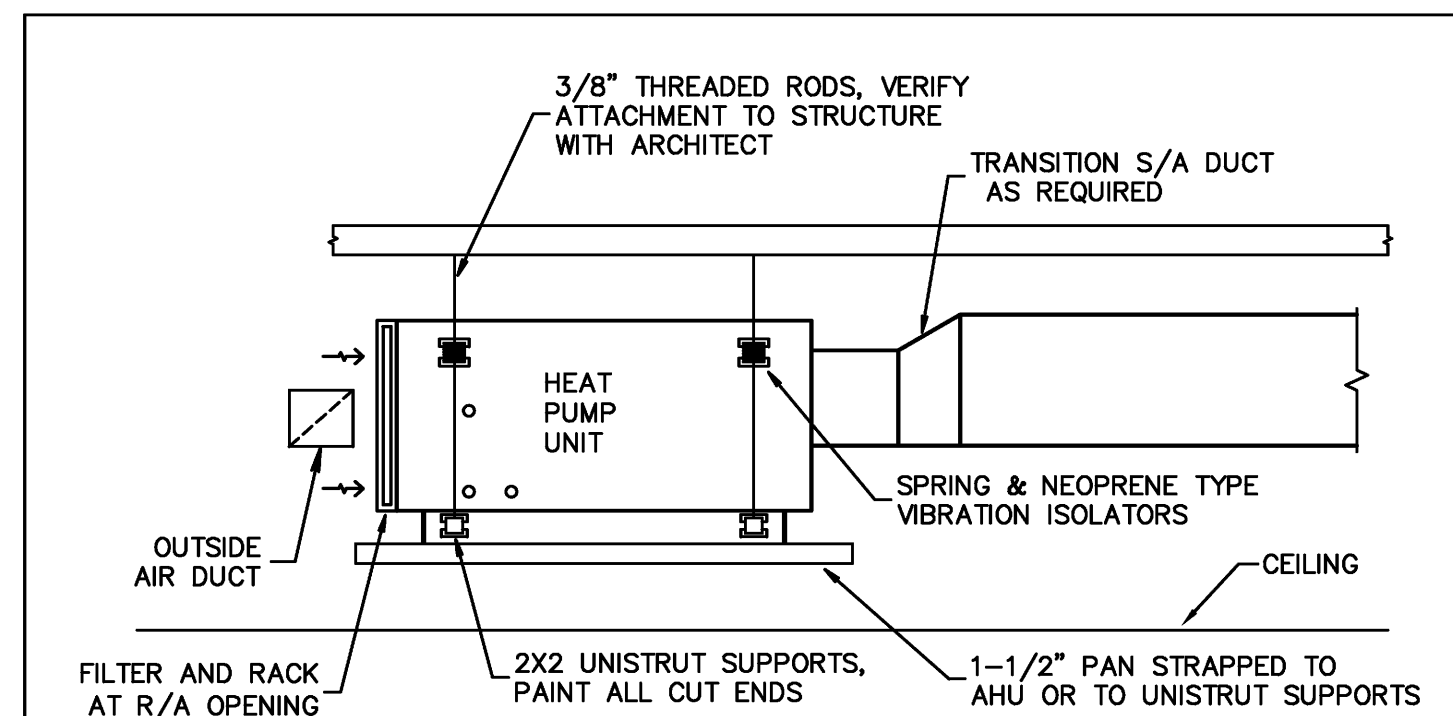
HORIZONTAL HEAT PUMP A/C UNIT SCHEDULE

| A/C UNIT TAG NO. | HP # 2 |
|----------------------------|----------|
| MANUFACTURER | FHP |
| MODEL NO. | ES061 |
| TOTAL SENSIBLE M.B.H. | 45.7 |
| TOTAL COOLING M.B.H. | 60.1 |
| HEATING CAPACITY | 72 |
| ENT AIR TEMP. DB/WB- °F | 80/67 |
| SUPPLY AIR CFM @ EXT. S.P. | 2000/0.6 |
| OUTSIDE AIR CFM | 194 |
| EER | 14.2 |
| GPM | 15.0 |
| UNIT SIZE (WxLxH) | 30X68X22 |
| OPERATING WEIGHT LBS. | 390 |
| MCA | 18.0 |
| MAX. FUSE SIZE | 25 |
| POWER VOLT-PH-HZ | 460-3-60 |
| COMPRESSORS: | |
| NO. OF COMPRESSORS | 1 |
| NO. OF STEPS | 2 |
| NOMINAL TONS | 5.0 |
| R.L.A. EACH | 10.0 |
| INDOOR FANS: | |
| NO. OF FAN(S) | 1 |
| NO. OF FAN MOTOR(S) | 1 |
| FAN MOTOR H.P. EACH | 3/4 |
| FAN MOTOR F.L.A. EACH | 5.5 |

ACCESSORIES AND NOTES:
HANGERS TO HAVE SPRING VIBRATION ISOLATORS
HIGH TEMPERATURE & PRESSURE NYLON HOSE KIT WITH BALL VALVES, STAINLESS STEEL CLAMPS AND BRASS FITTINGS



CEILING DIFFUSER DETAIL



PROVIDE FLOAT SWITCH IN THE EMERGENCY DRAIN PAN FOR EMERGENCY SHUTDOWN OF UNIT. PROVIDE 42" CLEARANCE FOR ALL ACCESS PANELS

HORIZONTAL HEAT PUMP DETAIL

HVAC DETAILS AND NOTES

SCALE: NONE

Bd

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fax: 772-403-6864
AA02001615

OXBOW EXPANSION

CENTURION TOWER
1601 FORUM PLACE #1202
WEST PALM BEACH, FL

PROJECT NUMBER CT17

REVISIONS

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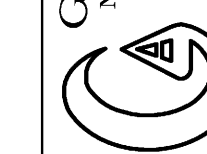
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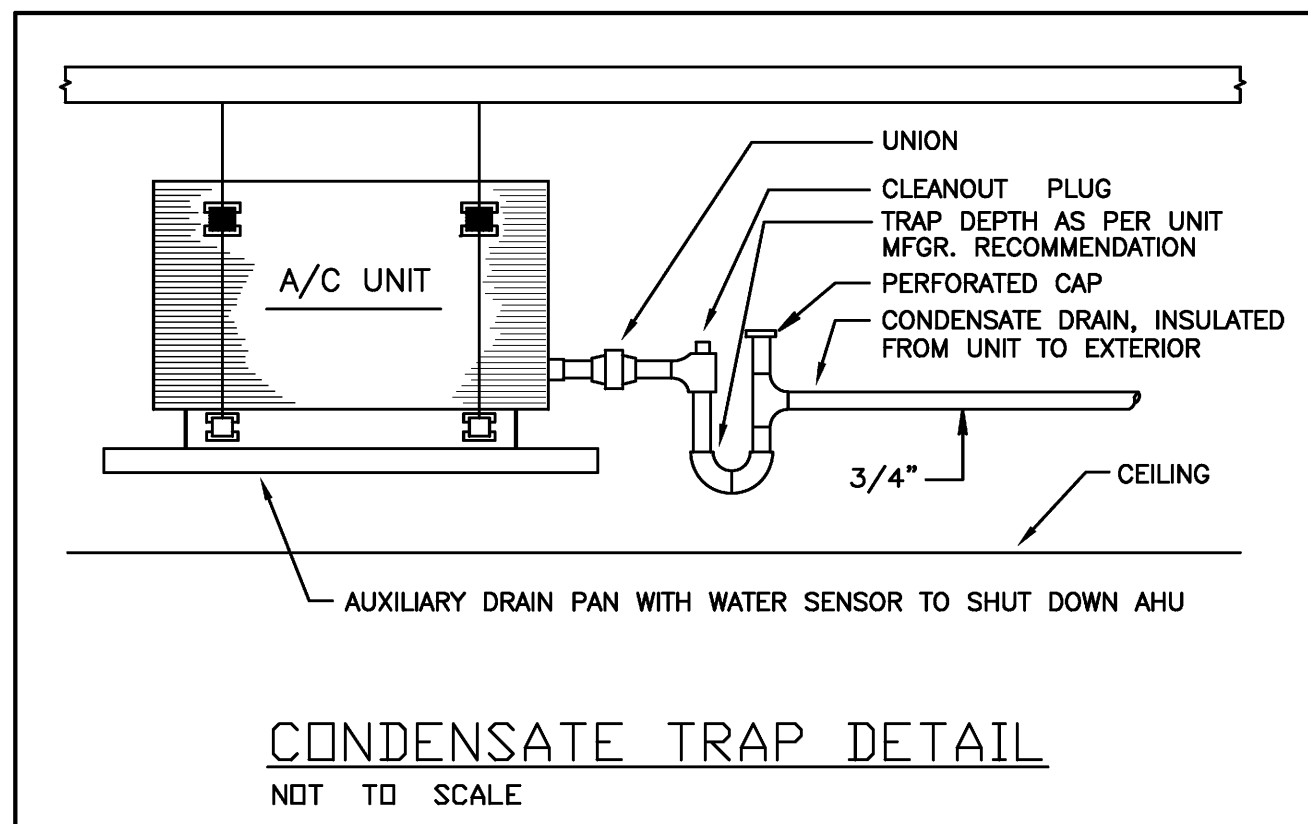
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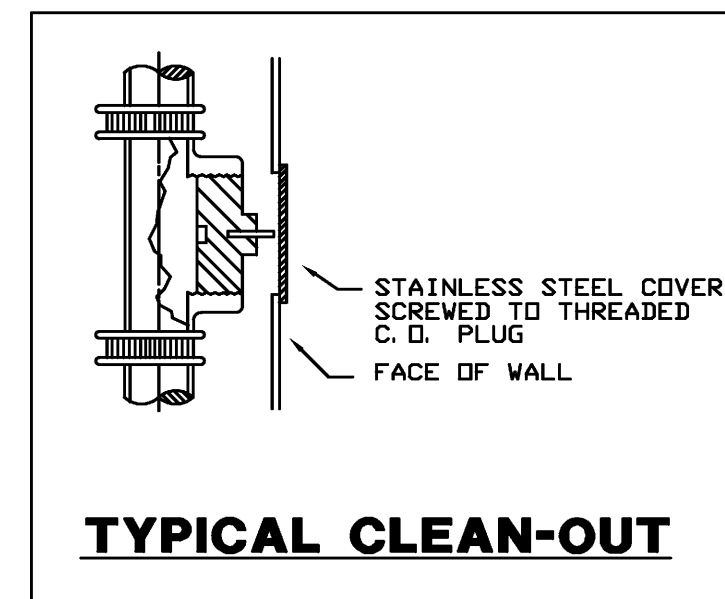
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Gilman & Associates, Inc.
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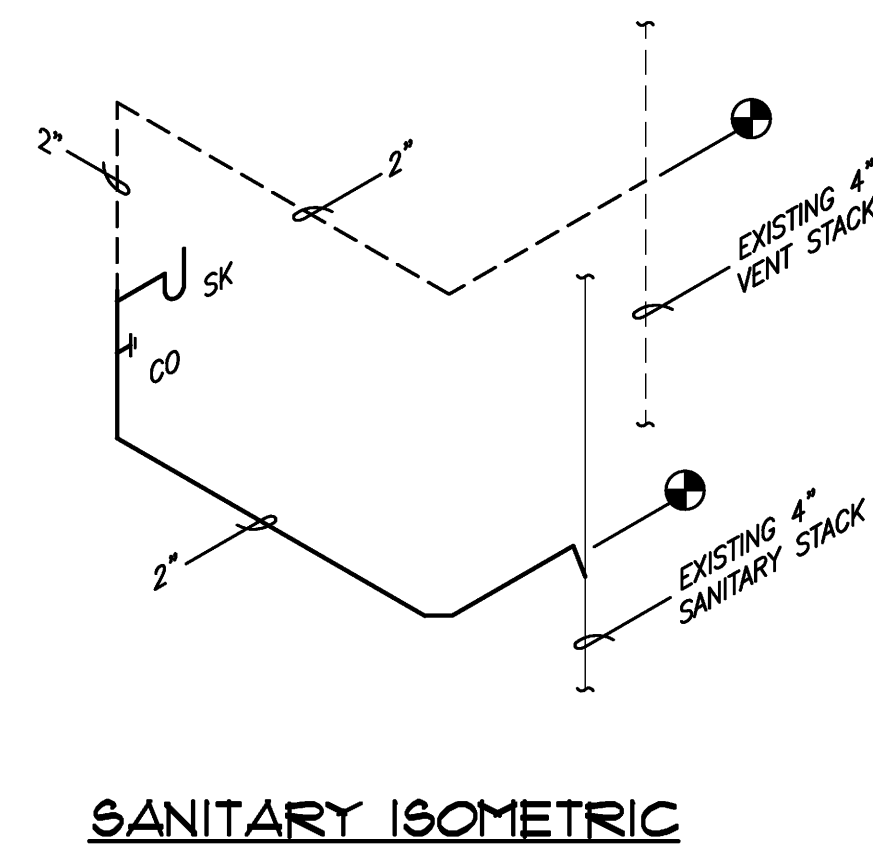
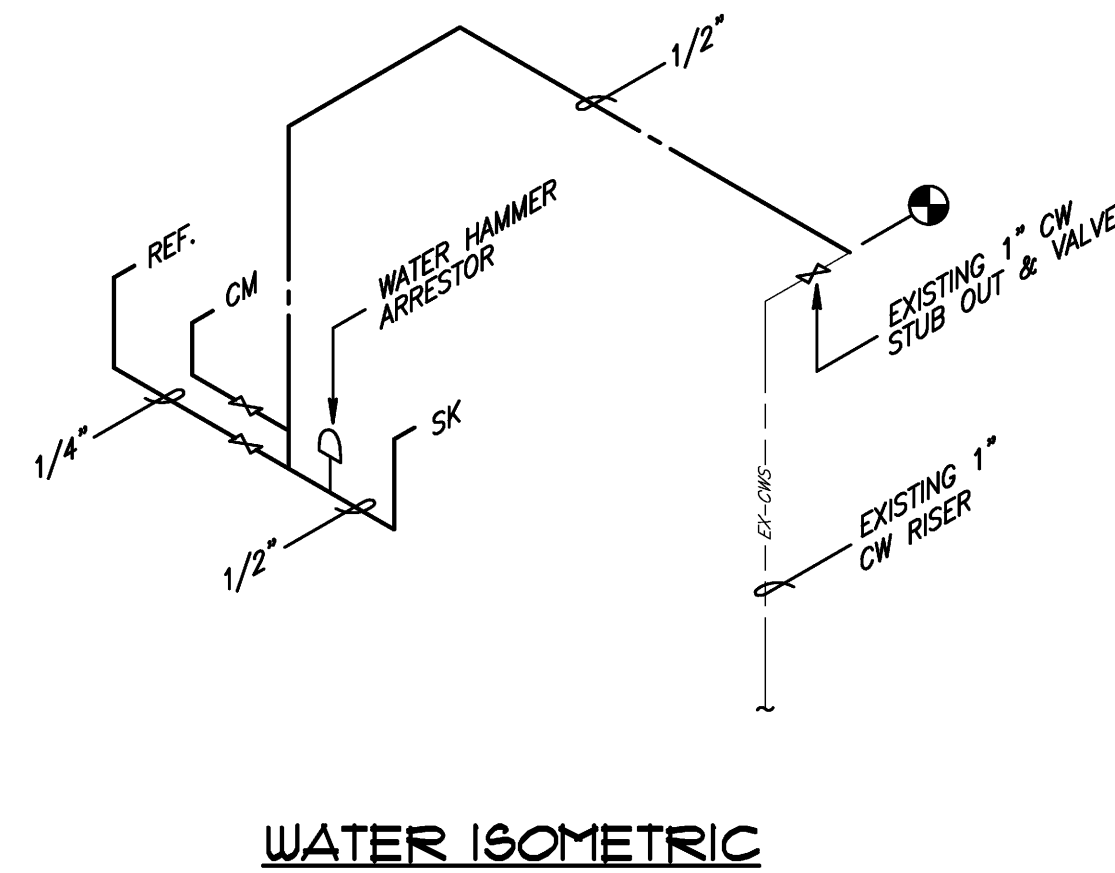
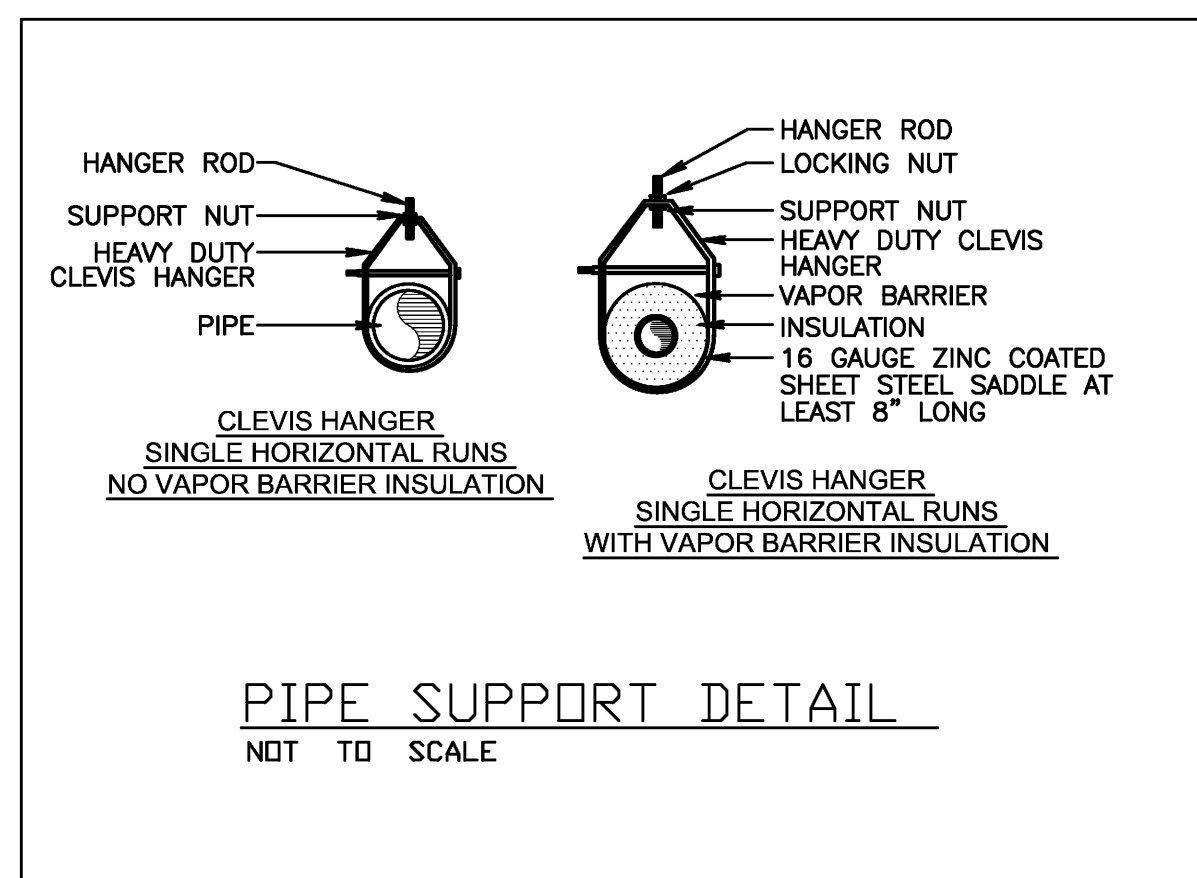
SYMBOLS & ABBREVIATIONS

| | | |
|----------|---------------------------------|--------|
| —CD— | CONDENSATE LINE | CD |
| —HW— | HOT WATER PIPE | HW |
| —CW— | COLD WATER PIPE | CW |
| —SOV— | GATE VALVE (SHUT-OFF VALVE) | SOV |
| —SAN— | SANITARY LINE | SAN |
| —V— | VENT LINE | V |
| —EX-SAN— | EXISTING SANITARY LINE | EX-SAN |
| —EX-CWS— | EXISTING COLD WATER SUPPLY LINE | EX-CWS |
| SK | SINK | SK |
| REF | REFRIGERATOR | REF |
| CM | COFFEE MACHINE | CM |
| WHA | WATER HAMMER ARRESTOR | WHA |
| ⊕ | CONNECTION TO EXISTING SYSTEMS | |



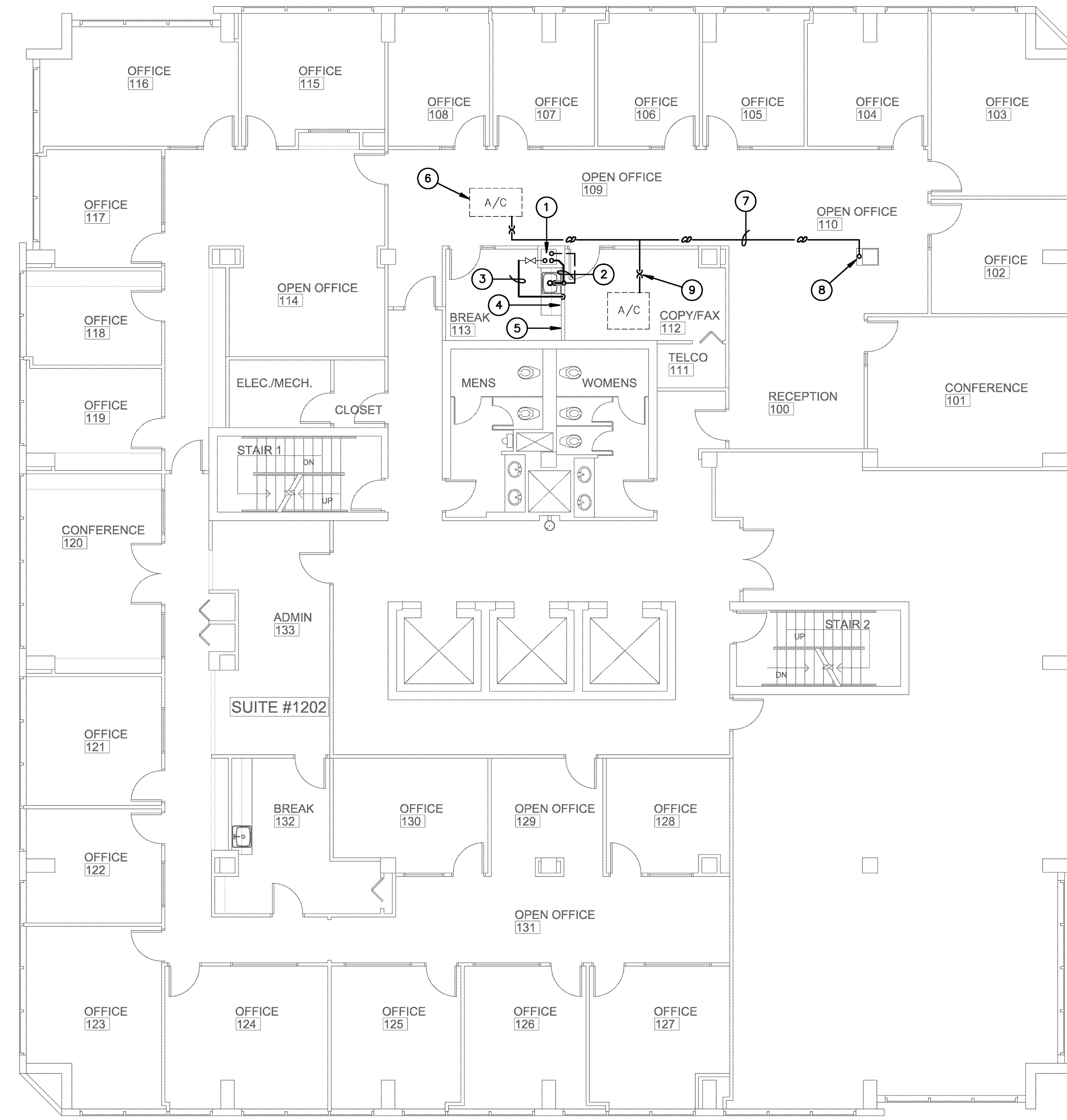
PLUMBING FIXTURE SCHEDULE (AMERICAN STANDARD OR EQUAL)

| NAME | FIXTURE | MODEL # | ACCESSORIES |
|---------|-----------------|--|---|
| SK | KITCHEN SINK | SINGLE BOWL - JUST #SL-ADA-1921-A-GR 6.5" DEEP | JUST #J-1174-KS FAUCET, #J-35-ADA COMPLETE DRAIN ASSEMBLY, SUPPLY PIPES, MOGURE ANGLE STOPS & ADJUSTABLE "P" TRAP INSULATE DRAIN AND SUPPLY PIPES BELOW SINK. |
| FIXTURE | WATER PIPE SIZE | NOMINAL SAN. SIZE | MAXIMUM FLOW RATES |
| SINK | 1/2" | 1 1/2" | 2.0 GPM |



- PLUMBING GENERAL NOTES:**
- ALL WORKMANSHIP AND MATERIAL SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE LOCAL CODES, RULES AND ORDINANCES.
 - CONTRACTOR SHALL VISIT THE JOB SITE AND THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS.
 - ALL MATERIAL SHALL BE NEW.
 - ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE.
 - ALL EXCAVATION AND BACKFILL AS REQUIRED FOR THIS PHASE OF CONSTRUCTION SHALL BE A PART OF THIS CONTRACT.
 - REQUIRED INSURANCE SHALL BE PROVIDED BY THE CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF WORK. CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTION & TESTS. DRAWINGS ARE DIAGRAMMATIC. DO NOT SCALE FOR THE EXACT LOCATION OF FIXTURES, PIPING, EQUIPMENT, ETC.
 - ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION. REPORT ANY DISCREPANCY TO ENGINEER/ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.
 - VERIFY LOCATION, SIZE, INVERTS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ADVISE ENGINEER OF ANY DISCREPANCIES.
 - WATER PIPING SHALL BE TYPE "L" COPPER FOR 2" & UNDER & TYPE "K" COPPER FOR 2-1/2" AND ABOVE. ALL UNDERGROUND WATER PIPING SHALL BE TYPE "K" COPPER.
 - SOIL, WASTE, VENT AND STORM DRAIN PIPING SHALL BE CAST IRON NO HUB 301-72 ABOVE GRADE AND SCH. 40 PVC BELOW GRADE.
 - CONDENSATE DRAIN TO BE COPPER MATERIALS & WORKMANSHIP FREE FROM CONDENSATE EXCEPT UNDERGROUND.
 - INSULATE PER A.D.A. ALL EXPOSED HANDICAP LAVATORIES DRAIN PIPING AND HOT & COLD STOP AND SUPPLIES. COVERS SHALL BE SOFT, REMOVABLE AND UPC APPROVED. MANUFACTURE: PLUMBEREX HANDY-SHIELD, TRU-BRO OR PRO-SERIES.
 - ALL FIXTURES MUST BE PROVIDED WITH READILY ACCESSIBLE STOPS & APPROPRIATELY MARKED ACCESS PANELS. COORDINATE LOCATIONS WITH GENERAL CONTRACTOR PRIOR TO INSTALLATION.
 - FURNISH AND INSTALL A SIOUX CHIEF HYDRA-RESTER AT EACH GROUP OF FIXTURES.
 - DIELECTRIC COUPLINGS ARE REQUIRED BETWEEN ALL DISSIMILAR METAL IN PIPING AND EQUIPMENT CONNECTIONS.
 - ISOLATE COPPER PIPE FROM HANGER OR SUPPORTS WITH ISOLATOR PAD.
 - ALL FIRE RATED FLOOR AND WALL PENETRATIONS SHALL BE PROPERLY PROTECTED FROM FIRE, SMOKE AND WATER PENETRATION BY FILLING VOIDS BETWEEN PIPE & WALL/FLOOR SLEEVES WITH U.L. APPROVED FIRE/SMOKE/WATER SEALANT.
 - CONTRACTOR SHALL GUARANTEE ALL MATERIALS & WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE BY OWNER. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED.
 - PROVIDE 1/2" TRAP PRIMER LINE FOR ALL FLOOR DRAINS FROM THE NEAREST PLUMBING FIXTURE OR PROVIDE SIOUX CHIEF #695 TRAP PRIMER.
 - PROVIDE ACCESS PANELS FOR ALL CONCEALED VALVES AND ALL WATER HAMMER ARRESTERS. ACCESS PANELS IN RATED WALLS MUST MAINTAIN THE SAME RATING & MUST MATCH THE FINISH OF THE WALL IN WHICH IT IS INSTALLED.
 - PROVIDE CHROME PLATED COMBINATION COVER PLATE & CLEANOUT PLUG OR ACCESS PANEL FOR ALL WALL CLEANOUTS ZURN ZS-1469 SERIES C.O. OR OTHER APPROVED ACCESS PANEL.
 - NO COMBUSTIBLE MATERIAL TO BE USED IN MECHANICAL ROOMS OR IN CEILING SPACES WHERE USED AS RETURN AIR PLENUMS.
 - ALL PLUMBING FIXTURES SHALL MEET STATE AND LOCAL CODES.

- DRAWING KEYNOTES:**
- EXISTING WET COLUMN WITH STUB-OUTS FOR SANITARY, VENT AND COLD WATER PIPING CONNECTIONS.
 - SANITARY PIPING RUNS THROUGH WALL TO EXISTING STACK.
 - PIPING RUNS ABOVE DROPPED CEILING, FIELD VERIFY EXACT ROUTE THROUGH EXISTING CONDITIONS.
 - PROVIDE 1/4" CW SUPPLY FOR COFFEE MAKER, WITH SOV IN CABINET BELOW SINK. PROVIDE 10' OF SOFT COPPER TUBING COILED INSIDE CABINET AT THIS LOCATION FOR FUTURE CONNECTION BY TENANT.
 - PROVIDE 1/4" CW SUPPLY FOR REFRIGERATOR ICE MAKER, WITH SOV IN CABINET BELOW SINK. PROVIDE 10' OF SOFT COPPER TUBING COILED AT REFRIGERATOR LOCATION FOR CONNECTION BY TENANT.
 - AIR HANDLING UNIT ABOVE CEILING, COORDINATE WITH HVAC CONTRACTOR. (TYPICAL OF 2)
 - CONDENSATE DRAIN PIPING RUNS THROUGH CEILING SPACE. REMOVE EXISTING CONDENSATE PUMPS AND ALL ASSOCIATED PIPING. FIELD VERIFY WITH LANDLORD BASED ON NEW CEILING HEIGHTS.
 - CONNECT TO EXISTING CONDENSATE RISER.
 - PROVIDE TRAP WITH PERFORATED VENT CAP. (TYPICAL)



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 RONALD D. GILMAN P.E.#87935

REVISIONS

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DRAWN BY GD
CD
 12/23/10

P-1

OXBOW EXPANSION
 CENTURION TOWER
 1601 FORUM PLACE #1202
 WEST PALM BEACH, FL
 PROJECT NUMBER CT17

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 AA26001615

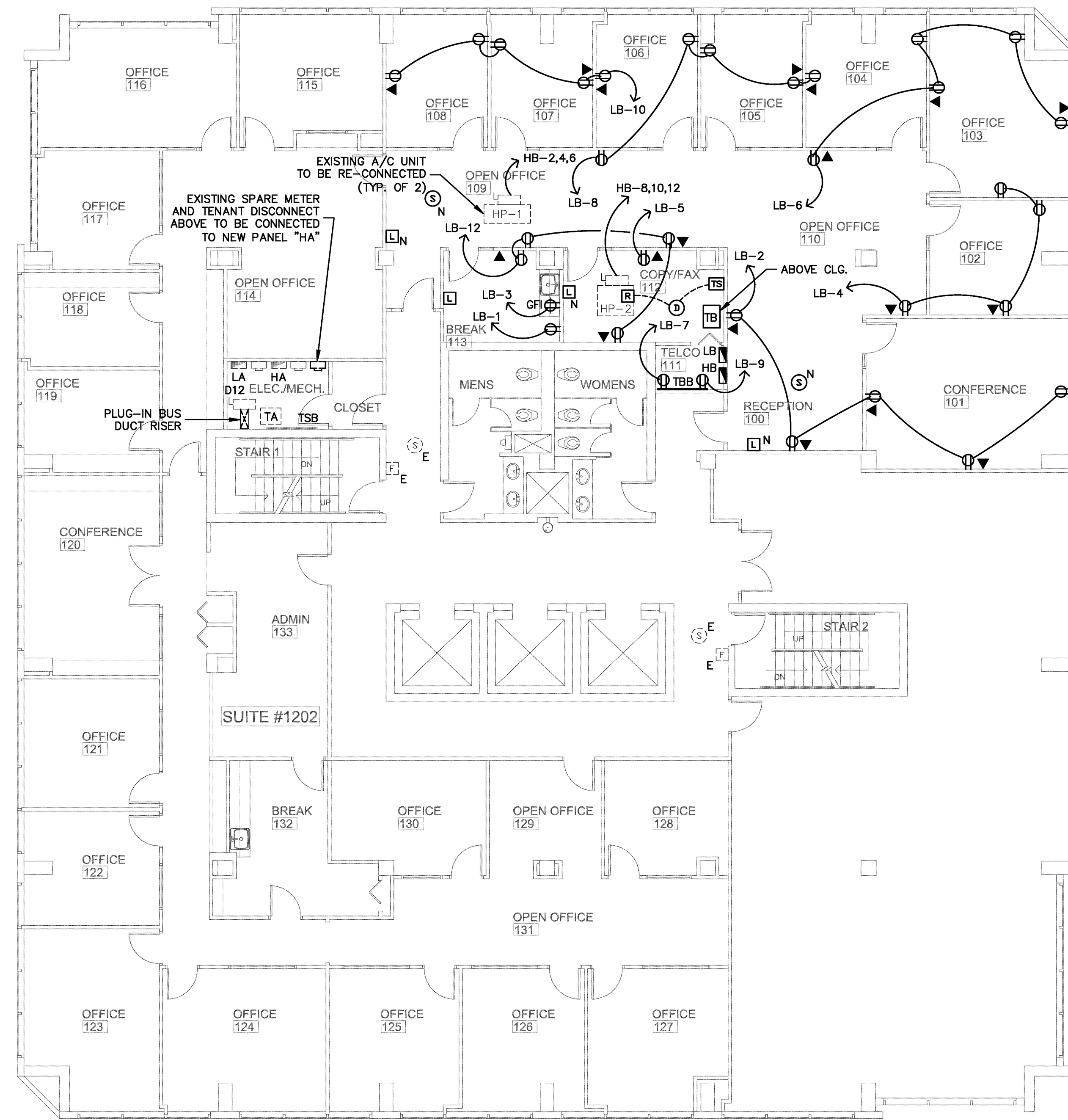
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ELECTRICAL NOTES

- DO NOT SCALE THE ELECTRICAL DRAWINGS. REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT. CONFIRM WITH OWNERS REPRESENTATIVE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE NFPA-70 (2008), THE LIFE SAFETY CODE NFPA-101 (2006), THE NATIONAL FIRE ALARM CODE NFPA-72 (2002), AND THE FLORIDA BUILDING CODE (FBC 2007 WITH 2009 SUPPLEMENTS).
- MINIMUM WIRE SIZE SHALL BE #12 A.W.G., EXCLUDING CONTROL WIRING. UNLESS OTHERWISE NOTED ALL CONDUCTORS SHALL BE COPPER WITH THWN INSULATION.
- OUTLET BOXES SHALL BE SHEET STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET OR DAMP LOCATIONS AND SPECIAL ENCLOSURES AS REQUIRED FOR OTHER CLASSIFIED AREAS.
- DISCONNECT SWITCHES SHALL BE H.P. RATED, HEAVY DUTY, QUICK-MAKE, QUICK-BREAK ENCLOSURES AS REQUIRED BY EXPOSURE.
- MOTOR STARTERS SHALL BE MANUAL OR MAGNETIC, WITH OVERLOAD RELAYS IN EACH HOT LEG.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
- ELECTRICAL SYSTEM SHALL BE COMPLETE AND EFFECTIVELY GROUNDED AS REQUIRED BY THE LATEST EDITION OF THE N.E.C.
- ALL MATERIALS SHALL BE NEW AND BEAR UNDERWRITERS' LABELS WHERE APPLICABLE.
- ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE, AND ACCEPTED BY ENGINEER/ARCHITECT.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE.
- CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
- CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS, AND TESTING.
- THE ELECTRICAL INSTALLATION SHALL MEET ALL STANDARD REQUIREMENTS OF POWER AND TELEPHONE COMPANIES.
- FURNISH AND INSTALL DISCONNECT SWITCHES AND WIRING FOR AIR CONDITIONING SYSTEM AS PER MANUFACTURERS RECOMMENDATIONS. CONTROLS ARE TO BE SUPPLIED BY AIR CONDITIONING CONTRACTOR AND CONNECTED BY ELECTRICAL CONTRACTOR.
- ALL RACEWAYS UNDERGROUND SHALL BE A MINIMUM OF 3/4" CONDUIT.
- ALL CIRCUIT BREAKERS, TWO AND THREE POLE, TO BE COMMON TRIP. NO TIE HANDLES, OR TANDEM WILL BE ACCEPTED.
- ALL FUSES, UNLESS NOTED ON DRAWING, SHALL BE CURRENT LIMITING (C.L.) RATED FOR 200,000 A.I.C.
- ALL ELECTRICAL EQUIPMENT, DEVICES, WIRE, ETC., SHALL BE LISTED, FOR THE INTENDED USE, WITH UNDERWRITER'S LABORATORIES, INC. (UL), WHERE STANDARDS HAVE BEEN ESTABLISHED BY UL.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN, ON SITE, A DETAILED AS-BUILT PLAN SHOWING ACTUAL INSTALLATIONS. THE CONTRACTOR IS TO PROVIDE A NEATLY DRAWN COMPREHENSIVE AS-BUILT SET OF PLANS UPON COMPLETION, WHICH ARE SUITABLE FOR SUBMISSION TO THE BUILDING DEPARTMENT AND THE OWNER.
- ALL WIRING IS TO BE IN CONDUIT. CABLES ARE NOT ACCEPTABLE EXCEPT WHERE USED FOR FINAL CONNECTIONS TO RECESSED LIGHTING FIXTURES IN LENGTHS UP TO SIX FEET MAXIMUM.

ELECTRICAL LEGEND

- LIGHTING FIXTURE IDENTIFICATION
- RECTANGULAR LIGHTING FIXTURE - AS NOTED
- RECTANGULAR LIGHTING FIXTURE - EXISTING AS NOTED
- ROUND LIGHTING FIXTURE
- DIRECTIONAL LIGHTING FIXTURE
- WALL MOUNTED LIGHTING FIXTURE
- LINEAR STRIP LIGHTING FIXTURE
- EXIT LIGHT WITH EMERGENCY BATTERY BACKUP
- EMERGENCY LIGHTING FIXTURE WITH BATTERY BACKUP
- RECTANGULAR LIGHTING FIXTURE ON EMERGENCY POWER CIRCUIT
- ROUND LIGHTING FIXTURE ON EMERGENCY POWER CIRCUIT
- DUPLEX RECEPT - 20 AMP (18" A.F.F.)
- DUPLEX RECEPT MOUNTED ABOVE COUNTER - 20 AMP (42" A.F.F.)
- DUPLEX RECEPT FLUSH FLOOR MOUNTED - 20 AMP
- SPECIAL PURPOSE RECEPT (18" A.F.F. - MATCH EQUIPMENT PROVIDED)
- QUAD-PLEX RECEPT - 20 AMP (18" A.F.F.)
- SINGLE POLE TOGGLE SWITCH, 48" AFF
- 3-WAY TOGGLE SWITCH, 48" AFF
- DIMMER SWITCH TO MATCH LOAD REQUIREMENT, 48" AFF
- JUNCTION BOXES
- FUSIBLE DISCONNECT (SWITCH POLES, AMPS/FUSES AS SHOWN)
- MOTOR RATED SWITCH (WITH OVERLOADS)
- ELECTRICAL PANELBOARD
- MOTOR LOAD
- CIRCUIT HOME RUN TO PANELBOARD OR OTHER DEVICE AS INDICATED
- CONDUIT CONCEALED
- EXISTING CIRCUIT AS NOTED
- CAPPED CONDUIT
- TELEVISION OUTLET (18" A.F.F.)
- TELEPHONE/DATA OUTLET (18" A.F.F.)
- TEL/DATA OUTLET FLUSH FLOOR MOUNTED
- EXISTING DUPLEX RECEPTACLE TO REMAIN.
- EXISTING TELEPHONE/DATA OUTLET TO REMAIN
- EXISTING DEVICE TO REMAIN, UNLESS NOTED OTHERWISE
- EXISTING DEVICE TO BE RELOCATED
- EXISTING DEVICE IN NEW LOCATION
- OCCUPANCY SENSOR WITH MANUAL SWITCH, HUBBELL LHMTS1, 48" AFF
- OCCUPANCY SENSOR, CEILING MOUNT, HUBBELL DMNI DT-2000



FIRE ALARM LEGEND

- MANUAL PULL STATION 48" AFF
- WALL MOUNT SPEAKER/STROBE 80" AFF TO BOTTOM
- ADA COMPLIANT STROBE LIGHT 80" AFF TO BOTTOM
- CEILING MOUNTED SPEAKER
- DUCT SMOKE DETECTOR W/O RELAY
- CONTROL MODULE OUTPUT RELAY
- REMOTE TEST & INDICATOR SWITCH FOR DUCT SMOKE DETECTOR

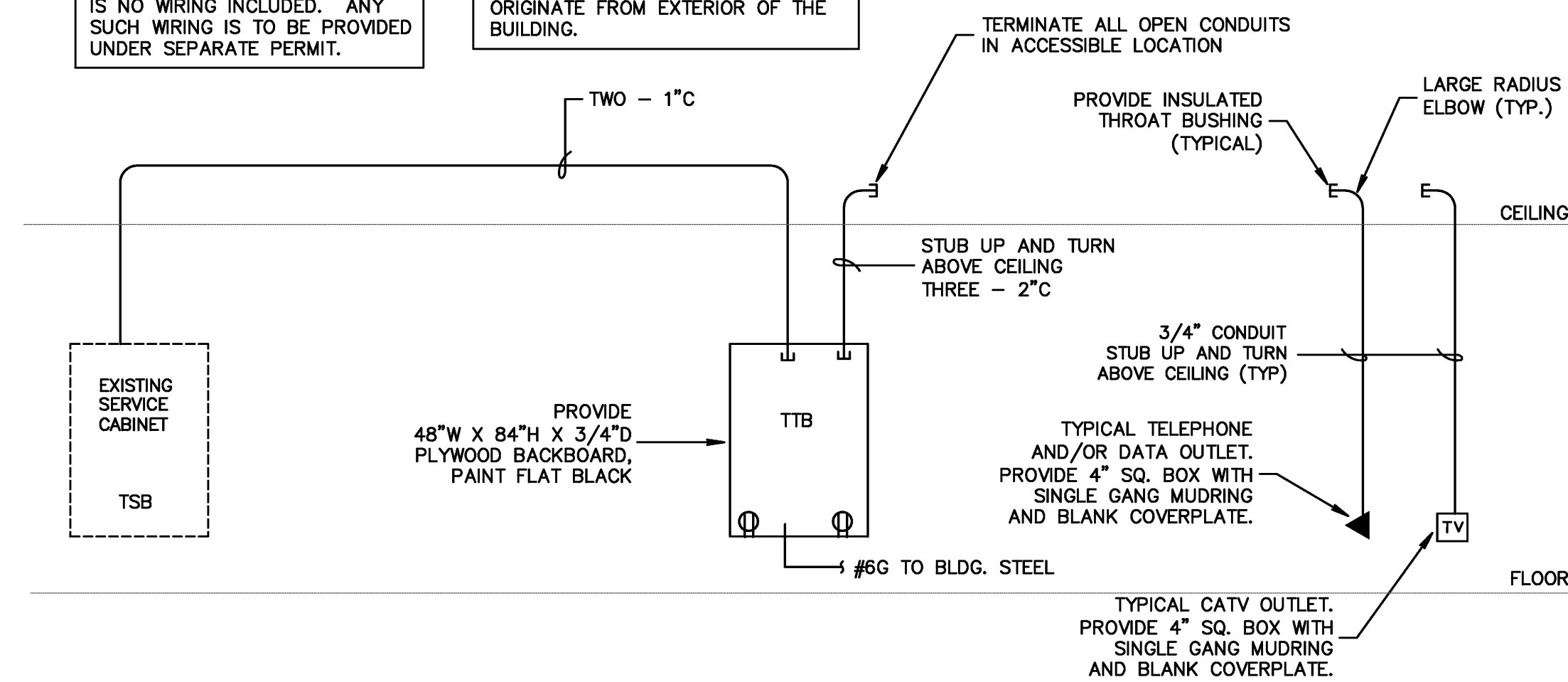
AUDIBLE ALARMS SHALL HAVE A MINIMUM LEVEL OF 15 DBA IN EXCESS OF THE AMBIENT SOUND LEVEL OF THE ROOM, AND SHALL OTHERWISE BE IN ACCORDANCE WITH FBC 11-4.28.2.

VISUAL ALARMS SHALL HAVE A MINIMUM LEVEL OF 75 CANDELA AND SHALL OTHERWISE BE IN ACCORDANCE WITH FBC 11-4.28.3.

PROVIDE A RE-CERTIFICATION OF THE FIRE ALARM SYSTEM UPON COMPLETION OF WORK.

THESE DRAWINGS PROVIDE AN EMPTY RACEWAY AND OUTLET SYSTEM FOR FUTURE USE BY THE TENANT. THERE IS NO WIRING INCLUDED. ANY SUCH WIRING IS TO BE PROVIDED UNDER SEPARATE PERMIT.

ALL EMPTY RACEWAYS ARE TO BE CLEANED, AND A PULL STRING INSTALLED. PROVIDE A TEMPORARY CAP FOR ALL CONDUITS WHICH ORIGINATE FROM EXTERIOR OF THE BUILDING.



TELEPHONE/DATA RISER DIAGRAM

PROPOSED ELECTRICAL FLOOR PLAN

SCALE: 1/8" = 1'-0"

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NEW AND EXISTING ELECTRICAL SYSTEMS, FIXTURES, DEVICES, AND OTHER EQUIPMENT RELATED TO THIS TENANT SPACE ARE IN GOOD WORKING ORDER. REPAIR AS NEEDED.

NEW FIRE ALARM DEVICES ARE TO BE COMPATIBLE WITH EXISTING SYSTEM. PROVIDE ADDITIONAL POWER SUPPLIES AS REQUIRED. PROVIDE ADDITIONAL HORNS AND STROBES AS REQUIRED TO MEET AUDIBLE AND VISIBLE REQUIREMENTS OF NFPA 72, ADA, AND NFPA 101. VERIFY EXISTING POINT OF CONNECTION TO EXISTING SYSTEM.

Bd

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AA26001615

OXBOW EXPANSION
CENTURION TOWER
1601 FORUM PLACE #1202
WEST PALM BEACH, FL
PROJECT NUMBER CT17

REVISIONS

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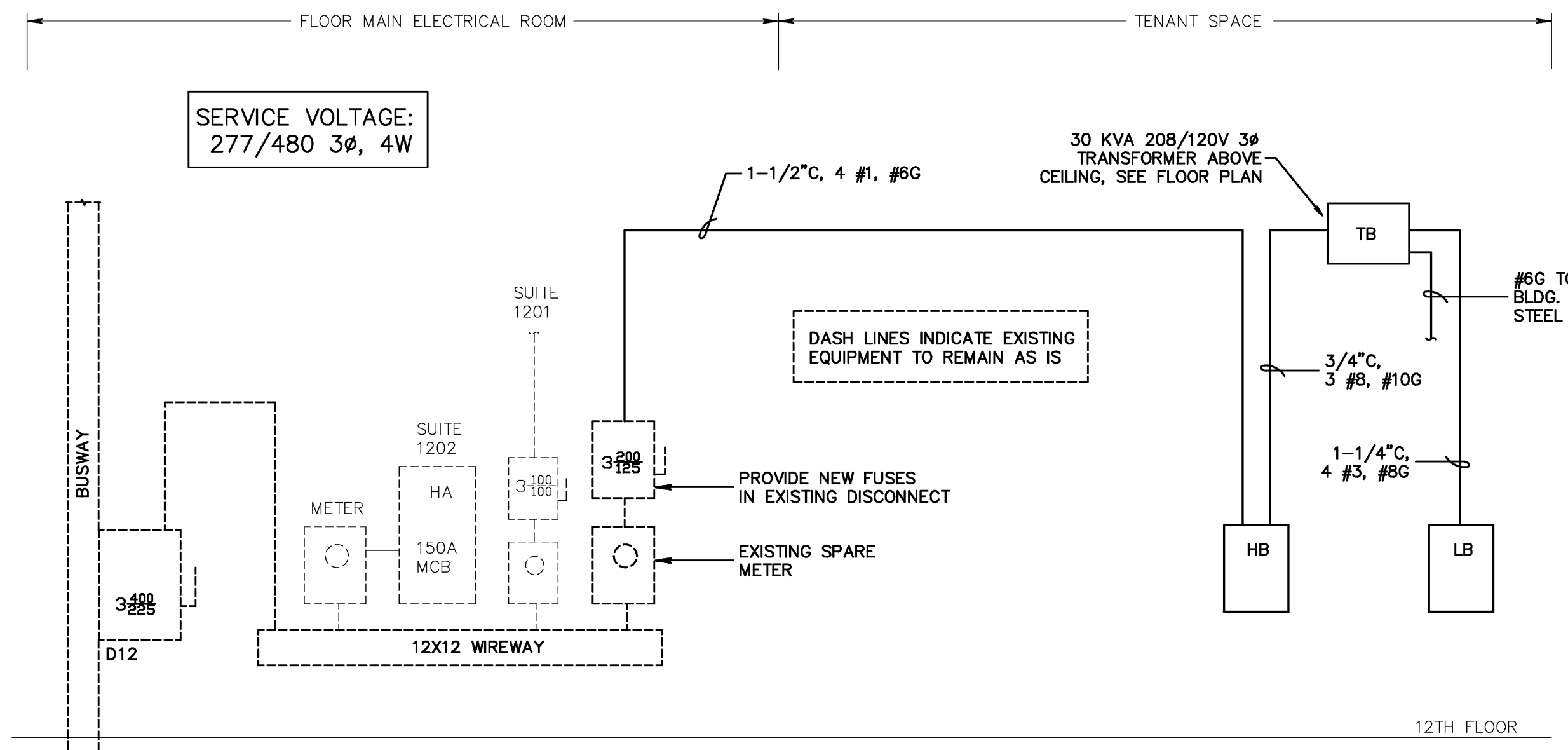
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12/23/10

E-1

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RISER DIAGRAM

| TYPE: SQUARE D QO | | | | | | | | | | MAIN BUS: 100 AMP | | | | | | | | | | | | |
|--------------------------|-----------|-----------|----------|------|------------------------|----------|----------|--------------------------|------|---------------------|-----------|-----------|----------|----------|----------|---------|------|----------|-----------|-----------|----------|--|
| SERVICE: 120/208, 3Ø, 4W | | | | | | | | | | NEUTRAL: FULL | | | | | | | | | | | | |
| MOUNTING: FLUSH | | | | | | | | | | MAINS: 100 AMP C.B. | | | | | | | | | | | | |
| POLES: 30 | | | | | | | | | | A.I.C. 10K | | | | | | | | | | | | |
| DEM. KVA | OTHER KVA | TRIP POLE | CON-DUIT | WIRE | REMARKS | DKT. NO. | DKT. NO. | REMARKS | WIRE | CON-DUIT | TRIP POLE | OTHER KVA | DEM. KVA | DKT. NO. | DKT. NO. | REMARKS | WIRE | CON-DUIT | TRIP POLE | OTHER KVA | DEM. KVA | |
| 0.8 | | 20-1 | 1/2 | 12 | REFRIGERATOR | 1 | 2 | RECEPTACLES ROOM 100,101 | 12 | 1/2 | 20-1 | 0.9 | | | | | | | | | | |
| 1.5 | | 20-1 | 1/2 | 12 | APPLIANCE CIRCUIT | 3 | 4 | RECEPTACLES 102,103,110 | 12 | 1/2 | 20-1 | 0.7 | | | | | | | | | | |
| 1.0 | | 20-1 | 1/2 | 12 | COPIER RECEPT. RM. 112 | 5 | 6 | RECEPTACLES 103,104,110 | 12 | 1/2 | 20-1 | 0.9 | | | | | | | | | | |
| 0.3 | | 20-1 | 1/2 | 12 | TELEPHONE BOARD | 7 | 8 | RECEPTACLES 104-106,109 | 12 | 1/2 | 20-1 | 0.9 | | | | | | | | | | |
| 0.3 | | 20-1 | 1/2 | 12 | SERVER | 9 | 10 | RECEPTACLES 106,107,108 | 12 | 1/2 | 20-1 | 0.9 | | | | | | | | | | |
| | | | | | SPACE | 11 | 12 | RECEPTACLES 109,112,113 | 12 | 1/2 | 20-1 | 0.7 | | | | | | | | | | |
| | | | | | | 13 | 14 | SPARE | | | 20-1 | | | | | | | | | | | |
| | | | | | | 15 | 16 | SPARE | | | 20-1 | | | | | | | | | | | |
| | | | | | | 17 | 18 | SPARE | | | 20-1 | | | | | | | | | | | |
| | | | | | | 19 | 20 | SPACE | | | | | | | | | | | | | | |
| | | | | | | 21 | 22 | | | | | | | | | | | | | | | |
| | | | | | | 23 | 24 | | | | | | | | | | | | | | | |
| | | | | | | 25 | 26 | | | | | | | | | | | | | | | |
| | | | | | | 27 | 28 | | | | | | | | | | | | | | | |
| | | | | | | 29 | 30 | | | | | | | | | | | | | | | |
| | | | | | | 31 | 32 | | | | | | | | | | | | | | | |
| | | | | | | 33 | 34 | | | | | | | | | | | | | | | |
| | | | | | | 35 | 36 | | | | | | | | | | | | | | | |
| | | | | | | 37 | 38 | | | | | | | | | | | | | | | |
| | | | | | | 39 | 40 | | | | | | | | | | | | | | | |
| | | | | | | 41 | 42 | | | | | | | | | | | | | | | |
| 3.9 | | | | | | | | | | | | 5.0 | | | | | | | | | | |

TOTAL DEMAND LOAD: 8.9 KVA = 25 AMPS

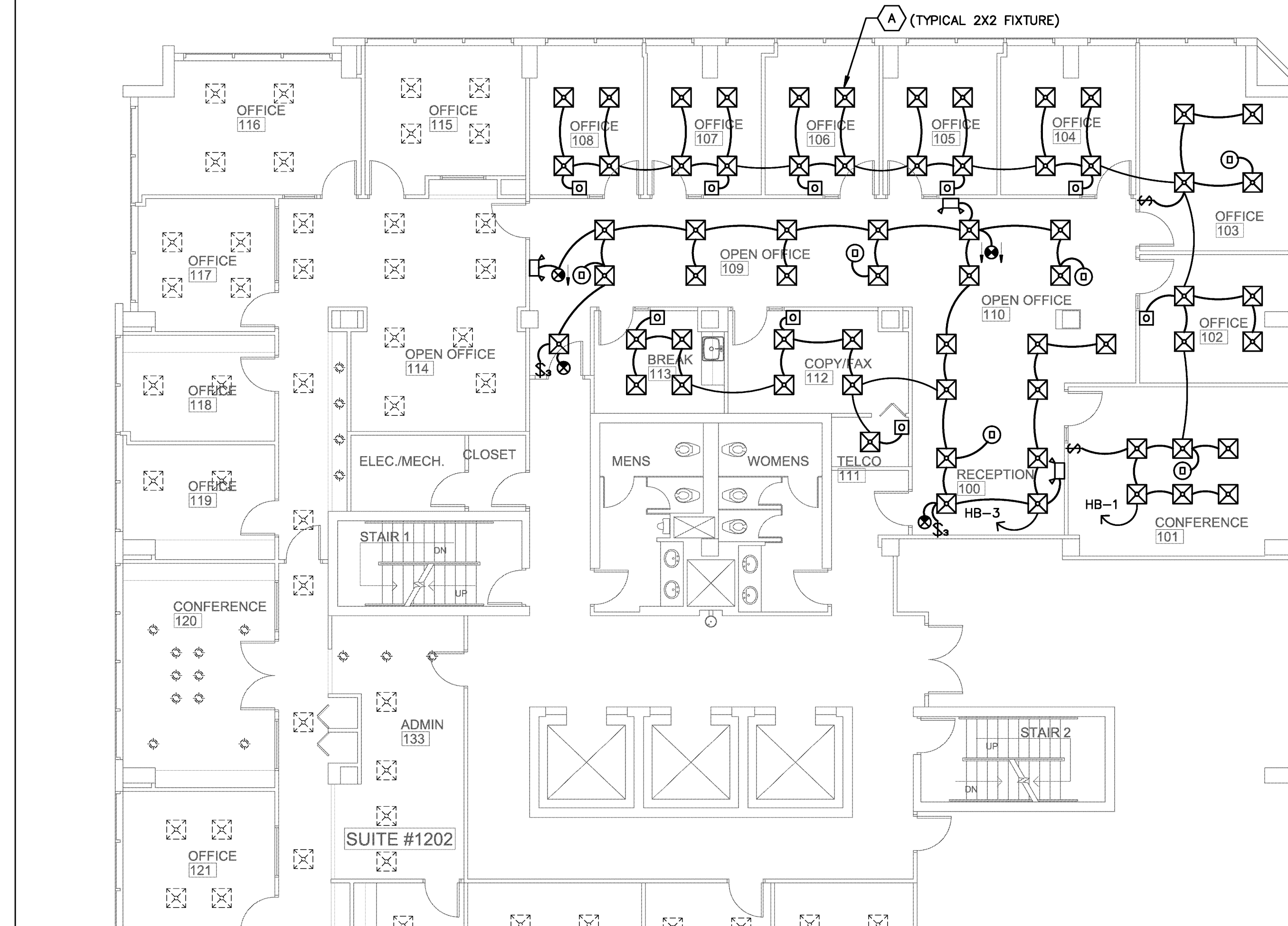
| TYPE: SQUARE D NF | | | | | | | | | | MAIN BUS: 125 AMP | | | | | | | | | | | | |
|--------------------------|-----------|-----------|----------|------|-----------------------|----------|----------|--------------|------|-------------------|-----------|-----------|----------|----------|----------|---------|------|----------|-----------|-----------|----------|--|
| SERVICE: 277/480, 3Ø, 4W | | | | | | | | | | NEUTRAL: FULL | | | | | | | | | | | | |
| MOUNTING: FLUSH | | | | | | | | | | MAINS: LUGS ONLY | | | | | | | | | | | | |
| POLES: 18 | | | | | | | | | | A.I.C. 14K | | | | | | | | | | | | |
| DEM. KVA | OTHER KVA | TRIP POLE | CON-DUIT | WIRE | REMARKS | DKT. NO. | DKT. NO. | REMARKS | WIRE | CON-DUIT | TRIP POLE | OTHER KVA | DEM. KVA | DKT. NO. | DKT. NO. | REMARKS | WIRE | CON-DUIT | TRIP POLE | OTHER KVA | DEM. KVA | |
| 1.3 | | 20-1 | 1/2 | 12 | LIGHTING RMS. 101-108 | 1 | 2 | | | | | | | | | | | | | | | |
| 1.2 | | 20-1 | 1/2 | 12 | LIGHTING RMS. 109-113 | 3 | 4 | HEAT PUMP #1 | 12 | 1/2 | 15-3 | 6.3 | | | | | | | | | | |
| | | 20-1 | | | SPARE | 5 | 6 | | | | | | | | | | | | | | | |
| | | 20-1 | | | SPARE | 7 | 8 | | | | | | | | | | | | | | | |
| | | | | | SPACE | 9 | 10 | HEAT PUMP #2 | 12 | 1/2 | 20-3 | 9.6 | | | | | | | | | | |
| | | | | | SPACE | 11 | 12 | | | | | | | | | | | | | | | |
| | | | | | | 13 | 14 | SPACE | | | | | | | | | | | | | | |
| | | | | | | 15 | 16 | SPACE | | | | | | | | | | | | | | |
| 8.9 | | 50-3 | | | TRANSFORMER/PANEL L1 | 17 | 18 | SPACE | | | | | | | | | | | | | | |
| 2.5 | 8.9 | | | | | | | | | | | 15.9 | | | | | | | | | | |

LIGHTING: 2.5 x 1.25 = 3.1 KVA
NO-DEMAND LOAD: 24.8 KVA
TOTAL DEMAND LOAD: 27.9 KVA = 34 AMPS

ALL OCCUPANCY SENSORS ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. PROVIDE POWER PACKS, RELAYS, AND ANY OTHER ACCESSORIES AS REQUIRED FOR A COMPLETE AND OPERATION SYSTEM AS SHOWN, INCLUDING CONTROL OF MULTIPLE CIRCUITS AND 120 OR 277 VOLT SYSTEMS WHERE INDICATED.

OCCUPANCY SENSORS SHALL TURN OFF THE SPACE LIGHTING WITHIN 30 MINUTES OF AN OCCUPANT LEAVING THE SPACE, IN ACCORDANCE WITH FBC 13-415.AB.1.1

THE CONTRACTOR IS RESPONSIBLE TO SET ALL OCCUPANCY SENSORS TO THE MAXIMUM ALLOWABLE DURATION



PROPOSED LIGHTING FLOOR PLAN

SCALE: 1/8" = 1'-0"

| LIGHTING POWER COMPLIANCE | | | | |
|--|---------------------|----------------------|---------------------|--------|
| (PER TABLE 13-415.2.B, FBC CHAPTER 13) | | | | |
| SPACE TYPE | TOTAL AREA (SQ.FT.) | ALLOWANCE PER SQ.FT. | SUB-TOTAL ALLOWANCE | DESIGN |
| OFFICE | 1,984 | 1.1 | 2,182 | 1,632 |
| RECEPTION | 184 | 1.3 | 239 | 204 |
| ELECT/MECH. | 32 | 1.5 | 48 | 34 |
| CONF./MULTI | 422 | 1.3 | 549 | 340 |
| TOTALS | | | 3,018 | 2,535 |

| LIGHTING FIXTURE SCHEDULE | | | | | | | |
|---------------------------|--------------------|----------|--------------|------|--------------|--------------------------|----------|
| MARK | TYPE | MOUNT | LAMP | VOLT | MANUFACTURER | CATALOG | NOTES |
| A | PARABOLIC TROFFER | RECESSED | (2)17W/8 35K | 277 | COLUMBIA | P4D22-217G-MA33-S-EU-GLR | 39 WATTS |
| ⊕ | EXIT LIGHT | SURFACE | BY MFR. | 277 | DUAL LITE | LXURWE | ① ② |
| ⬆ | EMERGENCY LIGHTING | SURFACE | BY MFR. | 277 | DUAL LITE | LZ2 | ② |

- PROVIDE SINGLE OR DUAL FACE, WALL OR CEILING MOUNT, AS SHOWN ON PLANS. CONNECT FIXTURES TO UNSWITCHED HOT LEG OF LOCAL LIGHTING CIRCUIT.
- PROVIDE BATTERY/INVERTER BACKUP FOR 90 MINUTES IN ACCORDANCE WITH NFPA REQUIREMENTS. CONNECT FIXTURES TO UNSWITCHED HOT LEG OF LOCAL LIGHTING CIRCUIT.

Bd

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OXBOW EXPANSION

CENTURION TOWER
1601 FORUM PLACE #1202
WEST PALM BEACH, FL

PROJECT NUMBER CT17

REVISIONS

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PROJ. # 10-035

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RONALD D. GILMAN P.E. #37933

DRAWN BY GD

CD

12/23/10

E-2

REVISIONS

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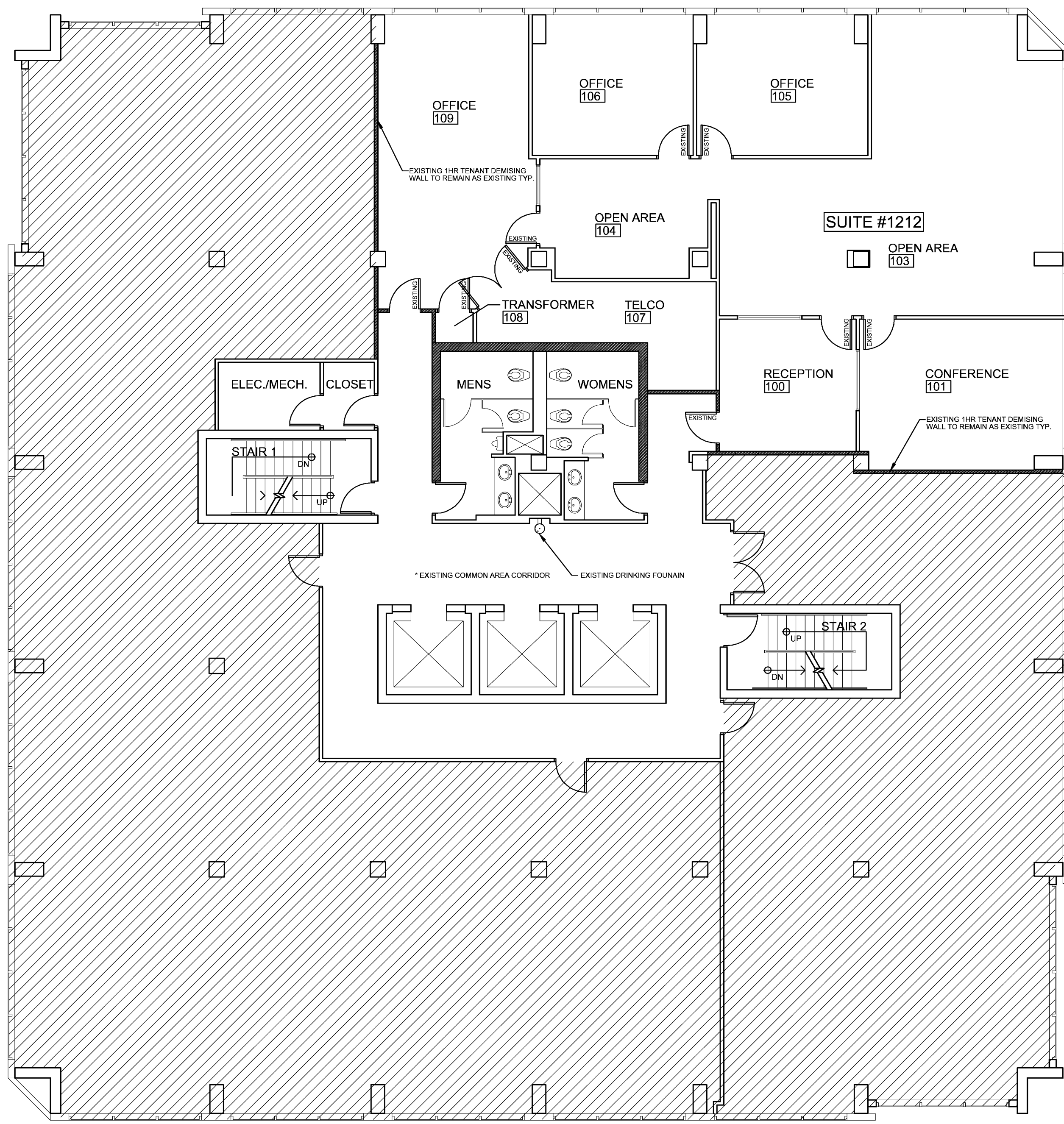
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A-1

WALL LEGEND

| | |
|--|--------------------|
| | EXISTING PARTITION |
| | EXISTING 1 HR WALL |



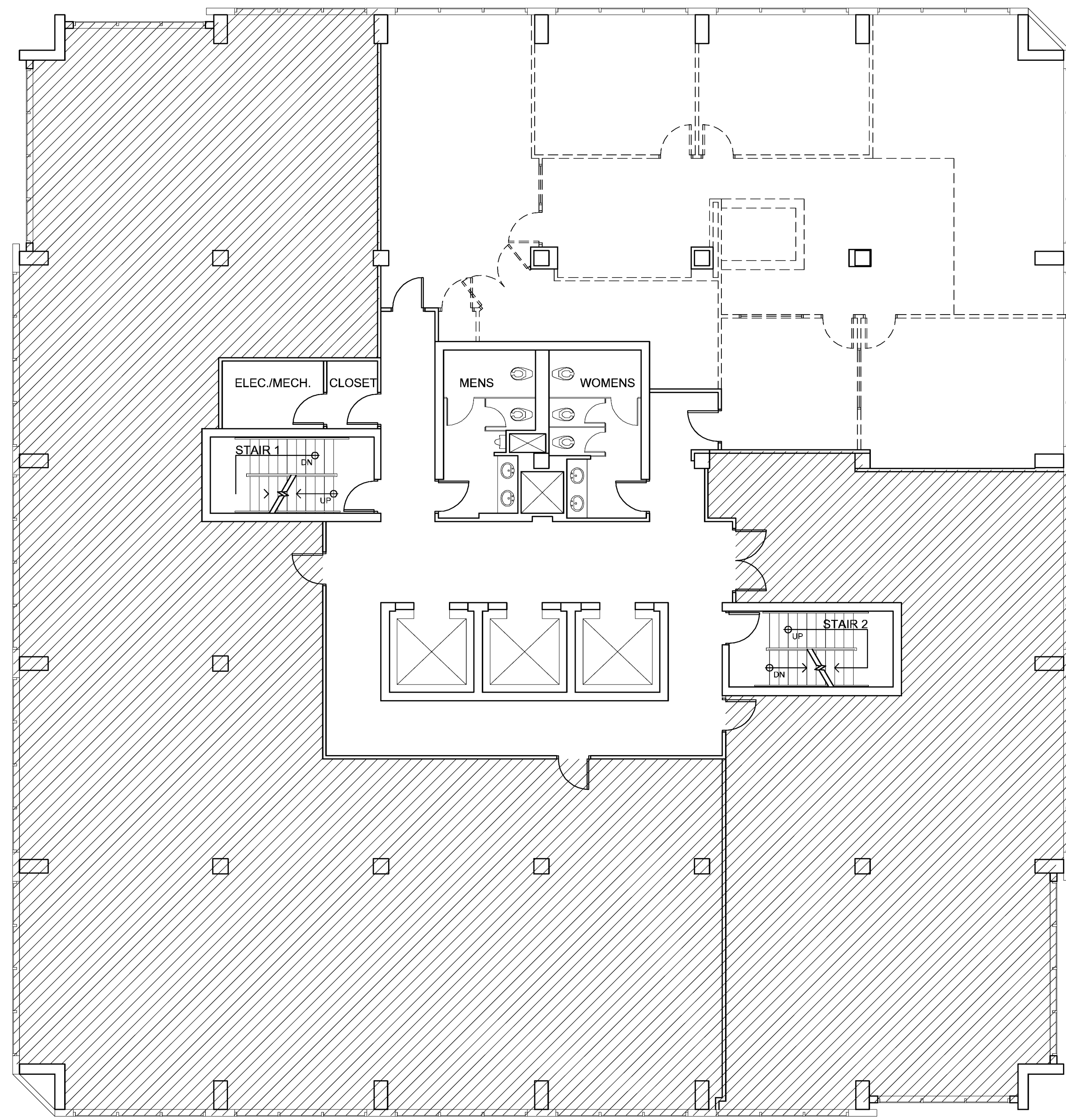
1 (EXISTING) FLOOR PLAN
 1/8" = 1'-0"

- ALL SUITE #1212 WALLS/DOORS/WINDOWS ARE EXISTING AS PER EXISTING FLOOR PLAN 1A-1
- TOILET ROOMS ARE EXISTING IN COMMON AREA CORRIDOR AS PER FLOOR PLAN 1A-1
- DRINKING FOUNTAIN IS EXISTING IN COMMON AREA CORRIDOR AS PER FLOOR PLAN 1A-1

3 EXISTING NOTES

WALL LEGEND

| | |
|--|---------------------------|
| | EXIST PARTITION TO REMAIN |
| | EXIST WALLS TO BE DEMO'D |



2 (DEMO) FLOOR PLAN
 1/8" = 1'-0"

- REMOVE ALL DASHED WALLS, DOORS (CASING AND HARDWARE), REMOVE ALL WALL COVERING MATERIALS FROM EXTERIOR AND DEMISING WALLS AND WINDOW MULLIONS. WINDOW MULLIONS TO BE RESTORED TO ORIGINAL CONDITION. PAINT AS REQUIRED. THE EXTERIOR AND DEMISING WALLS TO BE RESTORED TO VANILLA BOX CONDITION WITH A LEVEL 4 PAINT FINISH. REMOVE ALL UNNECESSARY COLUMN WRAPPING. CONSULT ARCHITECT TO REPORT THE DISCOVERY OF ANY EXISTING WEI COLUMNS LOCATED NEXT TO STRUCTURAL COLUMNS, TO THE ARCHITECT. REMOVE ALL FLOORING MATERIALS DOWN TO THE STRUCTURAL SLAB. PATCH AND REPAIR SLAB AS REQUIRED.
- REMOVE ALL CEILING TILE, LIGHT FIXTURES AND GRID. ALL HEAT PUMPS ARE TO REMAIN IN CEILING AS EXISTING. REMOVE ALL BRANCH DUCTWORK IN CEILING. REMOVE GYP BD FROM CEILING IN OFFICE #109. REMOVE ALL PVC PIPING FROM CEILING. ALL CONDUITE IN CEILING TO REMAIN AS EXISTING. ALL DUCTBOARD ATTACHED TO CEILING TO REMAIN. ALL FIRE SPRINKLER PIPES TO REMAIN AS EXISTING.
- REMOVE ALL ELECTRICAL WIRING FROM DEMO'D WALLS AND CEILINGS BACK TO THE FIRST JUNCTION BOX. LABEL AND CAP. REMOVE ALL DATA/TELECOM WIRING FROM DEMO'D WALLS AND CEILINGS. ALL SECURITY ALARM COMPONENTS TO BE SAVED FOR POSSIBLE REUSE. ALL THERMOSTATS/CONT. WIRING TO BE SAVED FOR POSSIBLE REUSE. REMOVE POWER STRIP FROM UNDER EXTERIOR WINDOWS. ELECTRICAL PANELS AND TRANSFORMERS TO REMAIN AS EXISTING. TRANSFORMER ROOM TO BE DEMO'D.
- ALL FIRE ALARM AND FIRE PROTECTION DEVICES TO REMAIN AS EXISTING. RELOCATE FIRE ALARM DEVICES AS REQUIRED BY THE DEMO. ALL FIRE EXTINGUISHERS TO REMAIN IN SUITE.

- * STRUCTURES UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL COMPLY WITH NFPA 241
- * ACCUMULATIONS OF COMBUSTIBLE WASTE AND DUST DEBRIS SHALL BE REMOVED FROM THE STRUCTURE AND IT'S IMMEDIATE VICINITY AT THE END OF THE SHIFT OR MORE FREQUENTLY AS NECESSARY FOR SAFE OPERATIONS.
- * EXIT AND ACCESS CORRIDORS ARE TO BE MAINTAINED AND REMAIN CLEAR AND UNOBSTRUCTED
- * THE MAIN BUILDINGS FIRE PROTECTION SYSTEMS SHALL BE MAINTAINED AND OPERATIONAL AT ALL TIMES

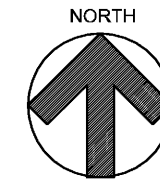
4 DEMO NOTES



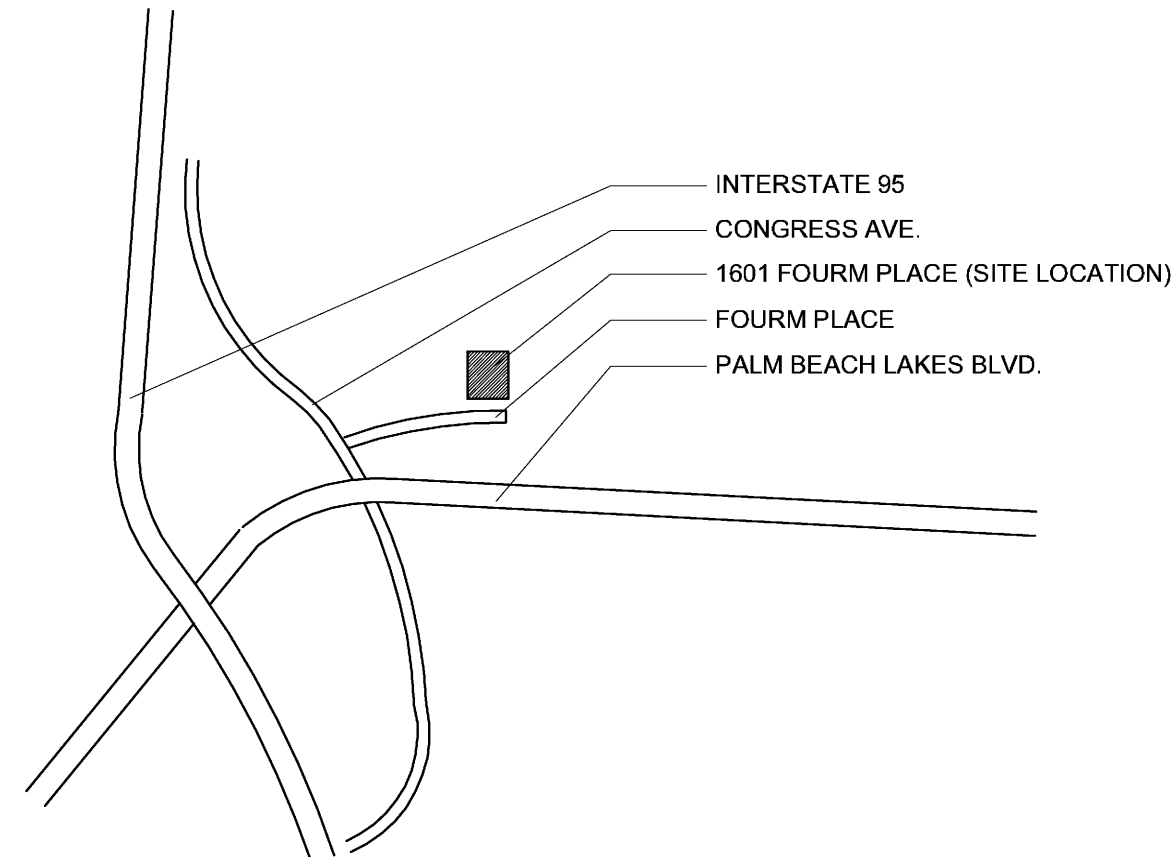
birse design inc + architecture + interior design + planning

5300 woodland lakes drive
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AA26001615



1 LOCATION MAP
NOT TO SCALE

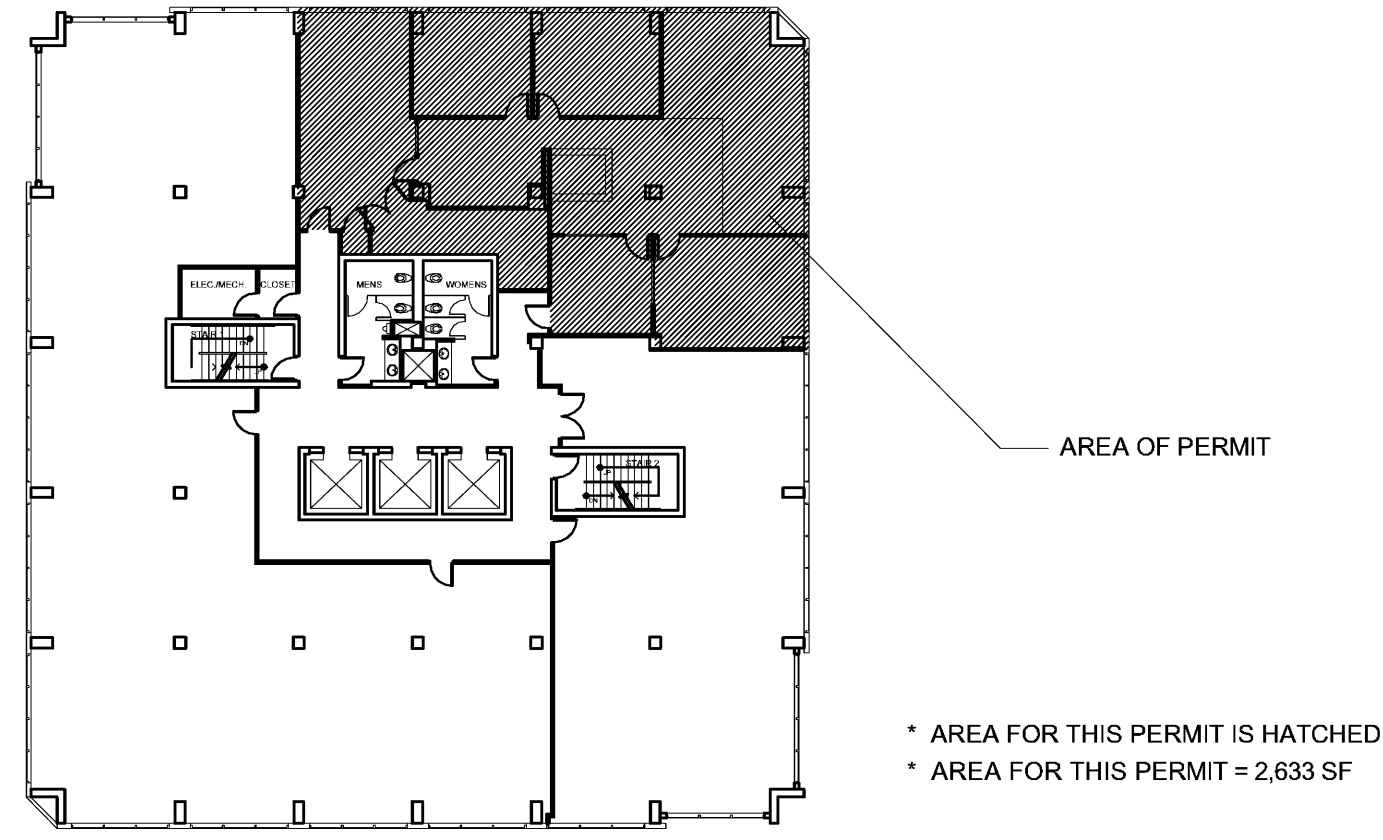


INDEX OF SHEETS:

- T TITLE SHEET
- ARCHITECTURAL SHEETS
- A-1 DEMO PLAN



2 KEY MAP (12TH FLOOR)
NOT TO SCALE



* AREA FOR THIS PERMIT IS HATCHED
* AREA FOR THIS PERMIT = 2,633 SF

REFERENCE STANDARDS:

THIS PROJECT IS DESIGNED IN ACCORDANCE WITH THE FOLLOWING CODES:

1. THE FLORIDA BUILDING CODE (FBC), 2007 EDITION WITH 2009 SUPPLEMENTS (BUILDING, MECHANICAL, PLUMBING, FUEL GAS, EXISTING BUILDING).
2. NATIONAL ELECTRIC CODE (NEC), 2008 EDITION.
3. FLORIDA FIRE PREVENTION CODE, 2007 EDITION.
4. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 101, LIFE SAFETY CODE, 2006 EDITION.
5. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 1, UNIFORM FIRE CODE, 2006 EDITION.

GENERAL NOTES:

1. THE CONTRACTOR SHALL AS A PART OF THIS CONTRACT FURNISH ALL MATERIALS, LABOR, TOOLS, EQUIPMENT, TRANSPORTATION, AND INSURANCE NECESSARY TO PROPERLY EXECUTE AND COMPLETE THE WORK ACCORDING TO THE PLANS AND SPECIFICATIONS.
2. THE CONTRACTOR IN THE WORK OF ALL TRADES SHALL PROTECT ALL EXISTING BUILDING AND PROPERTY FROM DAMAGE CAUSED BY THE ACTIVITIES OF THE CONTRACTOR AND SUBCONTRACTORS. THE CONTRACTOR SHALL REPAIR AND RESTORE THE JOB SITE AND SURROUNDING AREAS TO ITS ORIGINAL CONDITION. OWNER TO VERIFY SATISFACTION.
3. THE CONTRACTOR SHALL VISIT THE JOB SITE TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BID. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS BEFORE PROCEEDING WITH ANY WORK.
4. THE CONTRACTOR SHALL MAKE NO CHANGES TO THE CONSTRUCTION DRAWINGS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.
5. ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST CODES AND ORDINANCES.
6. THESE CONSTRUCTION DOCUMENTS ARE DIAGRAMATIC AND ARE TO CONVEY DESIGN INTENT. IT IS NOT THE INTENT OF THESE CONSTRUCTION DRAWINGS TO SHOW ALL DETAILS OF THE EXISTING CONDITIONS. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
7. EACH CONTRACTOR SHALL ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR MECHANICAL, ELECTRICAL, AND PLUMBING WITH THE APPROPRIATE TRADES.
8. ALL INDICATED UTILITY AND STUB-IN LOCATIONS ARE FOR REFERENCE ONLY. THE EXACT LOCATIONS SHALL BE VERIFIED ON THE JOB SITE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ENGINEERING AND THE ARCHITECTURAL DRAWINGS FOR THE ACTUAL PLACEMENT OF THE WORK RELATIVE TO FIELD CONDITIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OBTAINING INSTALLATION REQUIREMENTS FOR ALL BUILT-IN APPLIANCES, FIXTURES, AND EQUIPMENT. VERIFY EXACT ROUGH-IN DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO ROUGH-IN FRAME.
11. THE COST OF ADDITIONAL DESIGN WORK DUE TO ERRORS OR OMISSIONS IN CONSTRUCTION SHALL BE BORNE BY THE RESPECTIVE CONTRACTOR.
12. CONTRACTOR TO BE RESPONSIBLE FOR CHECKING STRUCTURAL CALCULATIONS FOR SPECIFIC REQUIREMENTS OF STRUCTURAL CONNECTIONS, SUBMIT STEEL TRUSS CALCULATIONS AND SHOP DRAWINGS OF ALL STRUCTURAL STEEL AND MISCELLANEOUS METAL FABRICATION BEFORE COMMENCING FABRICATION.
13. BIRSE DESIGN, INC. SHALL IN NO WAY BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNOLOGIES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. (THESE ARE SOLELY THE CONTRACTORS RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION).
14. EACH CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BRACING, SHORING, GUYING, OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS ASSOCIATED WITH WORK IN PLACE DURING CONSTRUCTION.
15. PROVIDE PORTABLE FIRE EXTINGUISHERS DURING CONSTRUCTION AS REQUIRED BY LOCAL CODES.
16. SPRINKLER SYSTEM: INSTALL FULL BUILDING SPRINKLER SYSTEM IN COMPLIANCE WITH THE REQUIREMENTS OF NFPA 13. SHOP DRAWINGS MUST BE APPROVED BEFORE INSTALLATIONS. PROVIDE OWNER WITH 2 COPIES OF PERMIT SETS.
17. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR MEETING THE REQUIREMENTS OF ALL CURRENT APPLICABLE BUILDING CODES AND ENFORCEMENT AGENCIES, FIRE MARSHALL, OR ANY OTHER BUILDING CODE ENFORCEMENT OFFICER AT NO EXTRA COST TO THE OWNER. NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO SUBMITTING A BID FOR THE PROJECT.
18. BASE BID SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

- A. ALL PERMITS AND FEES FOR ALL 1. BUILDING AND TRADE PERMITS. 2. ALL ACCESSORY AND SITE IMPROVEMENT PERMITS.
- B. ALL FILL REQUIRED TO MEET MINIMUM FINISHED FLOOR SLAB ELEVATION AND COMPACTION.
- C. WATER METER HOOK-UP AND METER DEPOSITS. - OWNER RESPONSIBILITY
- D. HOOK-UP AND FEES FOR UNDERGROUND SERVICE FROM FPL LOCAL PHONE & CABLE T.V. - OWNER RESPONSIBILITY
- E. SOIL, CONCRETE AND ANY OTHER NECESSARY TESTING.
- F. ENGINEERING STAKE OUTS AND SURVEYS INCLUDING FINAL TIE - IN SURVEY.
- G. CLEARING, GRUB, AND SITE PREPARATION, INCLUDING GRADING.
- H. ALL BIDDERS AND THEIR SUBCONTRACTORS SHALL BE CURRENTLY LICENSED IN THE STATE OF FLORIDA.
- I. THE OWNER RESERVES THE RIGHT TO REJECT ANY BIDS.
- J. THE G.C. SHALL PROVIDE AN ESTIMATE OF TIME FOR COMPLETION.
- K. THE GENERAL CONTRACTOR SHALL PROVIDE PROOF OF INSURANCE FOR WORKMANS' COMPENSATION AND ANY OTHER INSURANCES REQUIRED BY THE OWNER FOR ALL EMPLOYEES EITHER DIRECTLY EMPLOYED BY THE GENERAL CONTRACTOR OR HIS SUBCONTRACTORS.
- L. THE CONTRACTOR SHALL CLEARLY LIST ANY WORK NOT INCLUDED IN HIS BID.
- M. PROVIDE FIRE DEPARTMENT KNOX BOX ADJACENT TO FRONT DOOR OF BLDG.
- N. CONTRACTOR TO PROVIDE AS BUILT DRAWINGS. PROVIDE TWO COPIES OF PERMIT SET TO OWNER

PROJECT DATA:

* PROJECT ADDRESS: CENTURION TOWER
1601 FORUM PLACE #1212
WEST PALM BEACH, FL 33410

- * EXISTING BUILDING IS TYPE I "A"
- * EXISTING BUILDING IS A 14 STORY BUILDING
- * EXISTING BUILDING CLASSIFICATION IS GROUP "B"
- * LEVEL 2 ALTERATION PER "EXISTING BUILDING CODE 2007"
- * 8TH FLOOR IS A MULTI TENANT FLOOR
- * SUITE #1212 = 2,633 SF
- * SUITE #1212 = 2,633 SF/100 = 27 OCCUPANTS
- * DESIGN OCCUPANT LOAD = 27 OCCUPANTS

PROJECT NOTES:

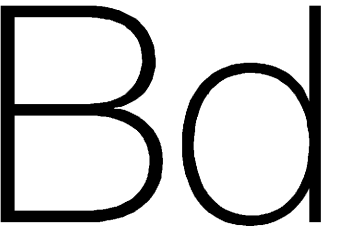
Blank lines for project notes.

SYMBOL INDEX:

- ADMIN. ROOM NAME
- ROOM NUMBER
- DOOR MARK/NUMBER
- WINDOW MARK/NUMBER
- WALL SECTION/SHEET NUMBER
- BUILDING SECTION/SHEET NUMBER
- ELEVATION TARGET/SHEET NUMBER
- DETAIL NUMBER/SHEET NUMBER
- CEILING HEIGHT
- FIRE EXTINGUISHER
- 2x4' FLUORESCENT LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- RECESSED LIGHT DOWN FIXTURE

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ALLEN S BIRSE
ARB4279

SUITE #1212 DEMO

CENTURION TOWER
1601 FORUM PLACE
WEST PALM BEACH, FL 33401

PROJECT NUMBER CT20

REVISIONS

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CD

11/17/10

