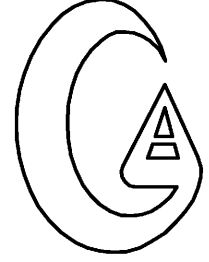


birse design inc + architecture + interior design + planning

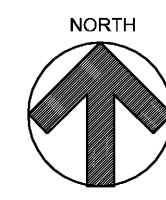
5300 woodland lakes drive  
palm beach gardens, fl 33418  
phone 561-219-4001  
fax 772-409-8684  
AA26001615

MECHANICAL ENGINEER / ELECTRICAL / PLUMBING

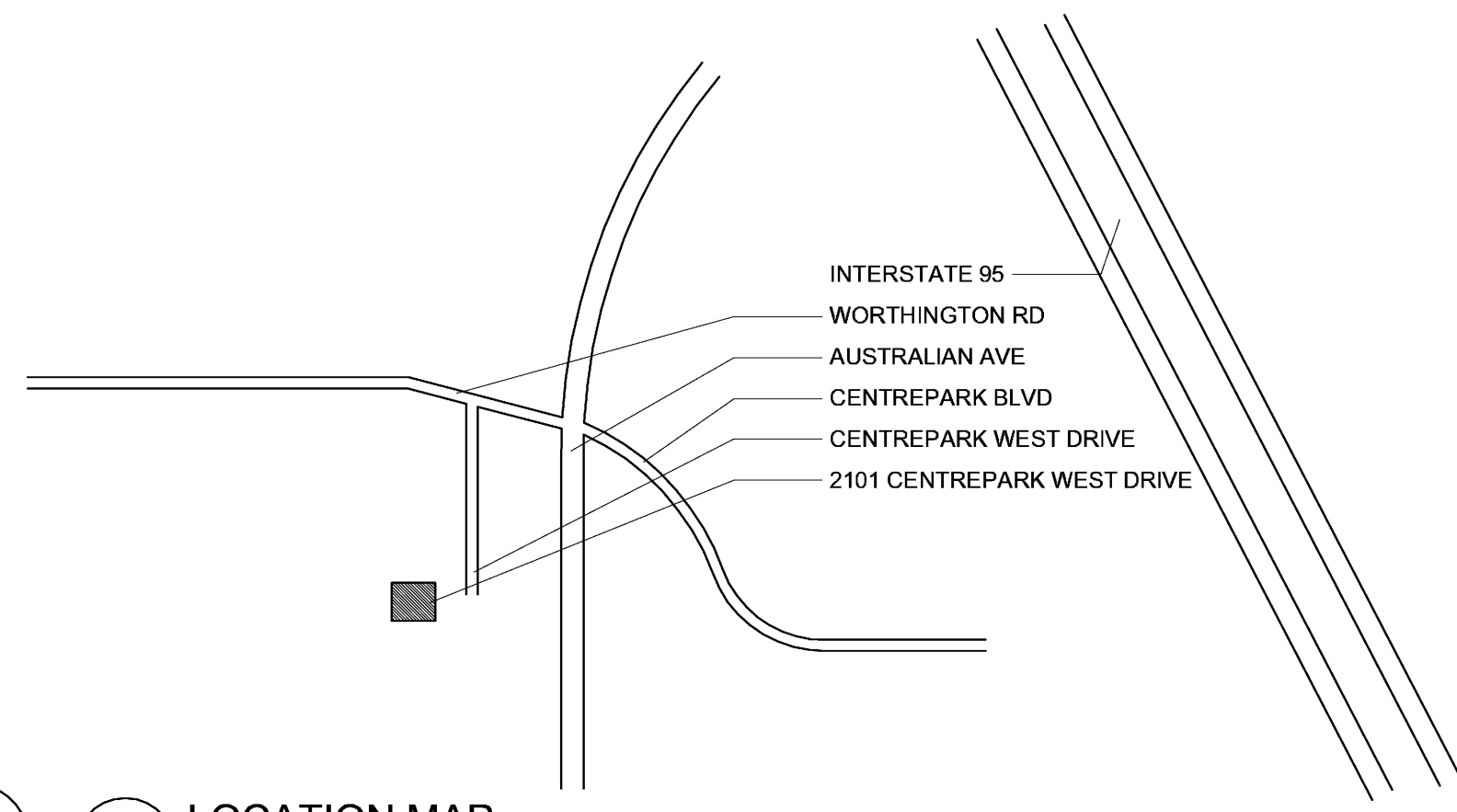


**Gilman & Associates**  
MECHANICAL & ELECTRICAL ENGINEERS

129 N. FEDERAL HWY.  
SUITE 211  
LAKE WORTH, FL 33460  
(561) 582-0210  
P.E. 37933



**1 LOCATION MAP**  
NOT TO SCALE



**INDEX OF SHEETS:**

T	TITLE SHEET
ARCHITECTURAL SHEETS	
A-1	EXISTING PLANS
A-2	PROPOSED PLANS
A-3	DETAILS/SCHEDULES
MECHANICAL/ELECTRICAL/PLUMBING SHEETS	
M-1	MECHANICAL PLAN
E-1	ELECTRICAL PLANS
E-2	PANELS/NOTES

**REFERENCE STANDARDS:**

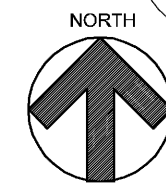
THIS PROJECT IS DESIGNED IN ACCORDANCE WITH THE FOLLOWING CODES:

1. THE FLORIDA BUILDING CODE (FBC), 2007 EDITION WITH 2009 SUPPLEMENTS (BUILDING, MECHANICAL, PLUMBING, FUEL GAS, EXISTING BUILDING).
2. NATIONAL ELECTRIC CODE (NEC), 2008 EDITION.
3. FLORIDA FIRE PREVENTION CODE, 2007 EDITION.
4. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 101, LIFE SAFETY CODE, 2006 EDITION.
5. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 1, UNIFORM FIRE CODE, 2006 EDITION.

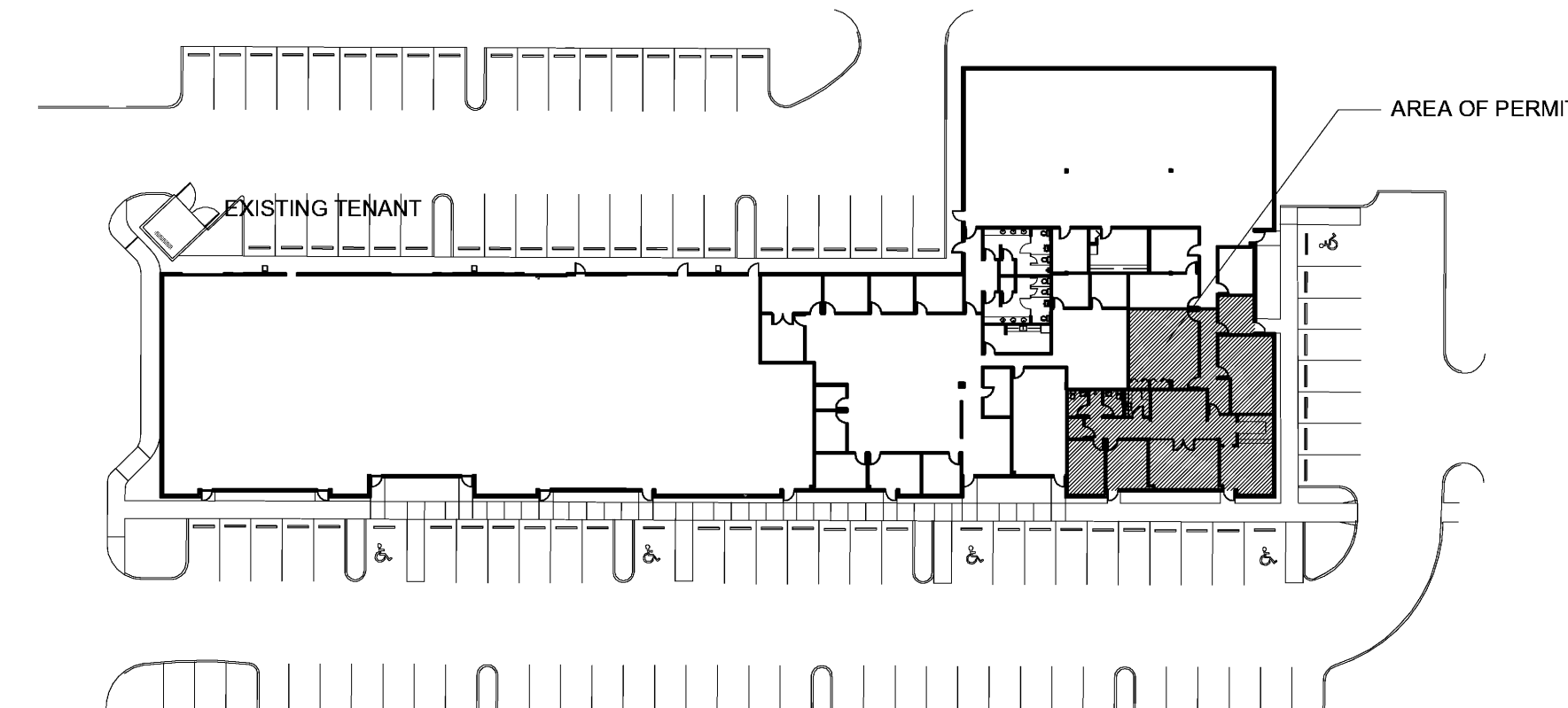
**GENERAL NOTES:**

1. THE CONTRACTOR SHALL AS PART OF THIS CONTRACT FURNISH ALL MATERIALS, LABOR, TOOLS, EQUIPMENT, TRANSPORTATION, AND INSURANCE NECESSARY TO PROPERLY EXECUTE AND COMPLETE THE WORK ACCORDING TO THE PLANS AND SPECIFICATIONS.
2. THE CONTRACTOR IN THE WORK OF ALL TRADES SHALL PROTECT ALL EXISTING BUILDING AND PROPERTY FROM DAMAGE CAUSED BY THE ACTIVITIES OF THE CONTRACTOR AND SUBCONTRACTORS. THE CONTRACTOR SHALL REPAIR AND RESTORE THE JOB SITE AND SURROUNDING AREAS TO ITS ORIGINAL CONDITION. OWNER TO VERIFY SATISFACTION.
3. THE CONTRACTOR SHALL VISIT THE JOB SITE TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BID. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS BEFORE PROCEEDING WITH ANY WORK.
4. THE CONTRACTOR SHALL MAKE NO CHANGES TO THE CONSTRUCTION DRAWINGS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.
5. ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST CODES AND ORDINANCES.
6. THESE CONSTRUCTION DOCUMENTS ARE DIAGRAMATIC AND ARE TO CONVEY DESIGN INTENT. IT IS NOT THE INTENT OF THESE CONSTRUCTION DRAWINGS TO SHOW ALL DETAILS OF THE EXISTING CONDITIONS. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
7. EACH CONTRACTOR SHALL ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR MECHANICAL, ELECTRICAL, AND PLUMBING WITH THE APPROPRIATE TRADES.
8. ALL INDICATED UTILITY AND STUB-IN LOCATIONS ARE FOR REFERENCE ONLY. THE EXACT LOCATIONS SHALL BE VERIFIED ON THE JOB SITE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ENGINEERING AND THE ARCHITECTURAL DRAWINGS FOR THE ACTUAL PLACEMENT OF THE WORK RELATIVE TO FIELD CONDITIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OBTAINING INSTALLATION REQUIREMENTS FOR ALL BUILT-IN APPLIANCES, FIXTURES, AND EQUIPMENT. VERIFY EXACT ROUGH-IN DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO ROUGH-IN FRAME.
11. THE COST OF ADDITIONAL DESIGN WORK DUE TO ERRORS OR OMISSIONS IN CONSTRUCTION SHALL BE BORNE BY THE RESPECTIVE CONTRACTOR.
12. CONTRACTOR TO BE RESPONSIBLE FOR CHECKING STRUCTURAL CALCULATIONS FOR SPECIFIC REQUIREMENTS OF STRUCTURAL CONNECTIONS, SUBMIT STEEL TRUSS CALCULATIONS AND SHOP DRAWINGS OF ALL STRUCTURAL STEEL AND MISCELLANEOUS METAL FABRICATION BEFORE COMMENCING FABRICATION.
13. BIRSE DESIGN, INC. SHALL IN NO WAY BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNOLOGIES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. (THESE ARE SOLELY THE CONTRACTORS RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION).
14. EACH CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BRACING, SHORING, GUYING, OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS ASSOCIATED WITH WORK IN PLACE DURING CONSTRUCTION.
15. PROVIDE PORTABLE FIRE EXTINGUISHERS DURING CONSTRUCTION AS REQUIRED BY LOCAL CODES.
16. SPRINKLER SYSTEM: INSTALL FULL BUILDING SPRINKLER SYSTEM IN COMPLIANCE WITH THE REQUIREMENTS OF NFPA 13. SHOP DRAWINGS MUST BE APPROVED BEFORE INSTALLATIONS. PROVIDE OWNER WITH 2 COPIES OF PERMIT SETS.
17. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR MEETING THE REQUIREMENTS OF ALL CURRENT APPLICABLE BUILDING CODES AND ENFORCEMENT AGENCIES, FIRE MARSHALL, OR ANY OTHER BUILDING CODE ENFORCEMENT OFFICER AT NO EXTRA COST TO THE OWNER. NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO SUBMITTING A BID FOR THE PROJECT.
18. BASE BID SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

- A. ALL PERMITS AND FEES FOR ALL  
1. BUILDING AND TRADE PERMITS.  
2. ALL ACCESSORY AND SITE IMPROVEMENT PERMITS.
- B. ALL FILL REQUIRED TO MEET MINIMUM FINISHED FLOOR SLAB ELEVATION AND COMPACTION.
- C. WATER METER HOOK-UP AND METER DEPOSITS. - OWNER RESPONSIBILITY
- D. HOOK-UP AND FEES FOR UNDERGROUND SERVICE FROM FPL LOCAL PHONE & CABLE T.V. - OWNER RESPONSIBILITY
- E. SOIL, CONCRETE AND ANY OTHER NECESSARY TESTING.
- F. ENGINEERING STAKE OUTS AND SURVEYS INCLUDING FINAL TIE-IN SURVEY.
- G. CLEARING, GRUB, AND SITE PREPARATION, INCLUDING GRADING.
- H. ALL BIDDERS AND THEIR SUBCONTRACTORS SHALL BE CURRENTLY LICENSED IN THE STATE OF FLORIDA.
- I. THE OWNER RESERVES THE RIGHT TO REJECT ANY BIDS.
- J. THE G.C. SHALL PROVIDE AN ESTIMATE OF TIME FOR COMPLETION.
- K. THE GENERAL CONTRACTOR SHALL PROVIDE PROOF OF INSURANCE FOR WORKMANS' COMPENSATION AND ANY OTHER INSURANCES REQUIRED BY THE OWNER FOR ALL EMPLOYEES EITHER DIRECTLY EMPLOYED BY THE GENERAL CONTRACTOR OR BY HIS SUBCONTRACTORS.
- L. THE CONTRACTOR SHALL CLEARLY LIST ANY WORK NOT INCLUDED IN HIS BID.
- M. PROVIDE FIRE DEPARTMENT KNOX BOX ADJACENT TO FRONT DOOR OF BLDG.
- N. CONTRACTOR TO PROVIDE AS BUILT DRAWINGS. PROVIDE TWO COPIES OF PERMIT SET TO OWNER



**2 KEY MAP**  
NOT TO SCALE



- \* AREA FOR THIS PERMIT IS HATCHED
- \* AREA FOR THIS PERMIT = 2,710 SF

**PROJECT DATA:**

- \* PROJECT ADDRESS: 2101 CENTREPARK WEST DRIVE  
SUITE #100  
WEST PALM BEACH, FL 33401
- \* EXISTING BUILDING IS TYPE II "B"
- \* EXISTING BUILDING IS A 1 STORY BUILDING
- \* EXISTING BUILDING CLASSIFICATION IS GROUP "B"
- \* LEVEL 2 ALTERATION PER "EXISTING BUILDING CODE 2007"
- \* 1ST FLOOR IS A MULTI TENANT FLOOR
- \* SUITES #100 = 2,710 SF
- \* TOTAL NEW SUITE = 2,710 SF/100 = 28 OCCUPANTS
- \* DESIGN OCCUPANT LOAD = 28 OCCUPANTS

**PROJECT NOTES:**

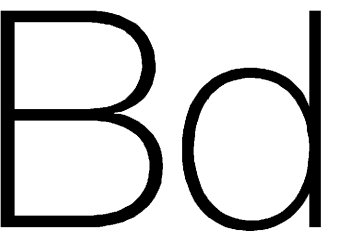
Blank lined area for project notes.

**SYMBOL INDEX:**

ADMIN. 108	ROOM NAME
ADMIN. 108	ROOM NUMBER
(A)	DOOR MARK/NUMBER
(1)	WINDOW MARK/NUMBER
1/1A2	WALL SECTION/SHEET NUMBER
1/1A5	BUILDING SECTION/SHEET NUMBER
2/1A5	ELEVATION TARGET/SHEET NUMBER
1/1A2	DETAIL NUMBER/SHEET NUMBER
8'-6"	CEILING HEIGHT
[F.E.]	FIRE EXTINGUISHER
[Light Fixture]	2x4' FLUORESCENT LIGHT FIXTURE
[Light Fixture]	WALL MOUNTED LIGHT FIXTURE
[Light Fixture]	RECESSED LIGHT DOWN FIXTURE

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birse design inc.

5300 woodland lakes drive  
palm beach gardens, fl 33418  
phone 561-219-4001  
fax 772-409-8684  
AA26001615

ALLEN S BIRSE  
ARB94279

TOSHIBA  
2101 CENTREPARK WEST DRIVE  
SUITE #100  
WEST PALM BEACH, FL 33401  
PROJECT NUMBER 21014

**REVISIONS**

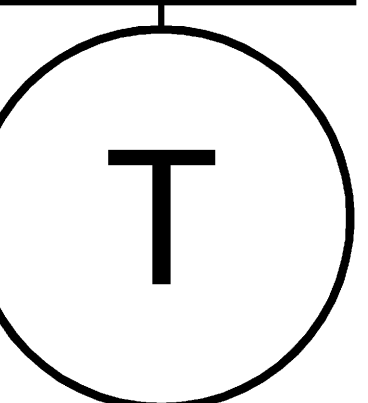
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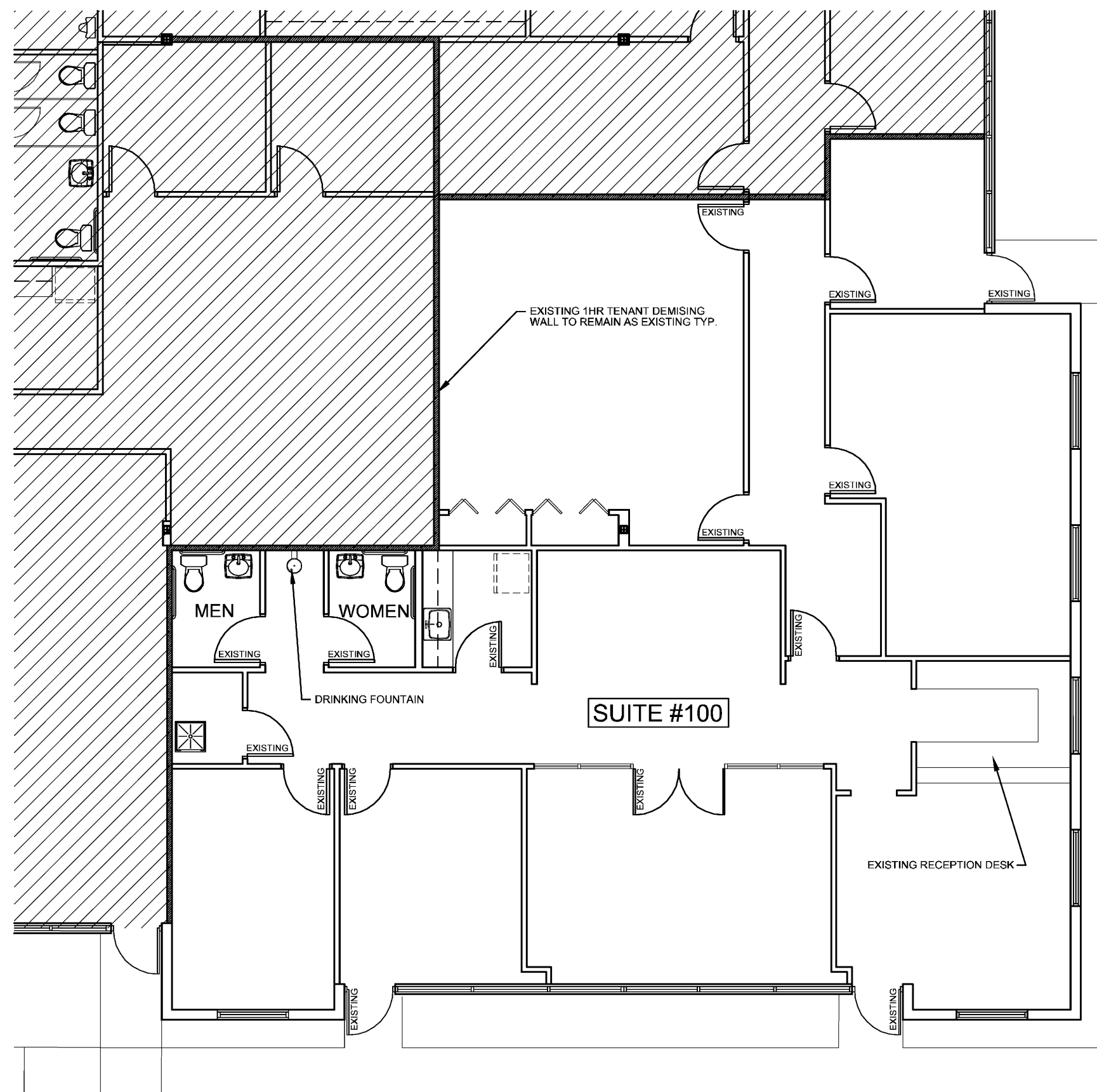
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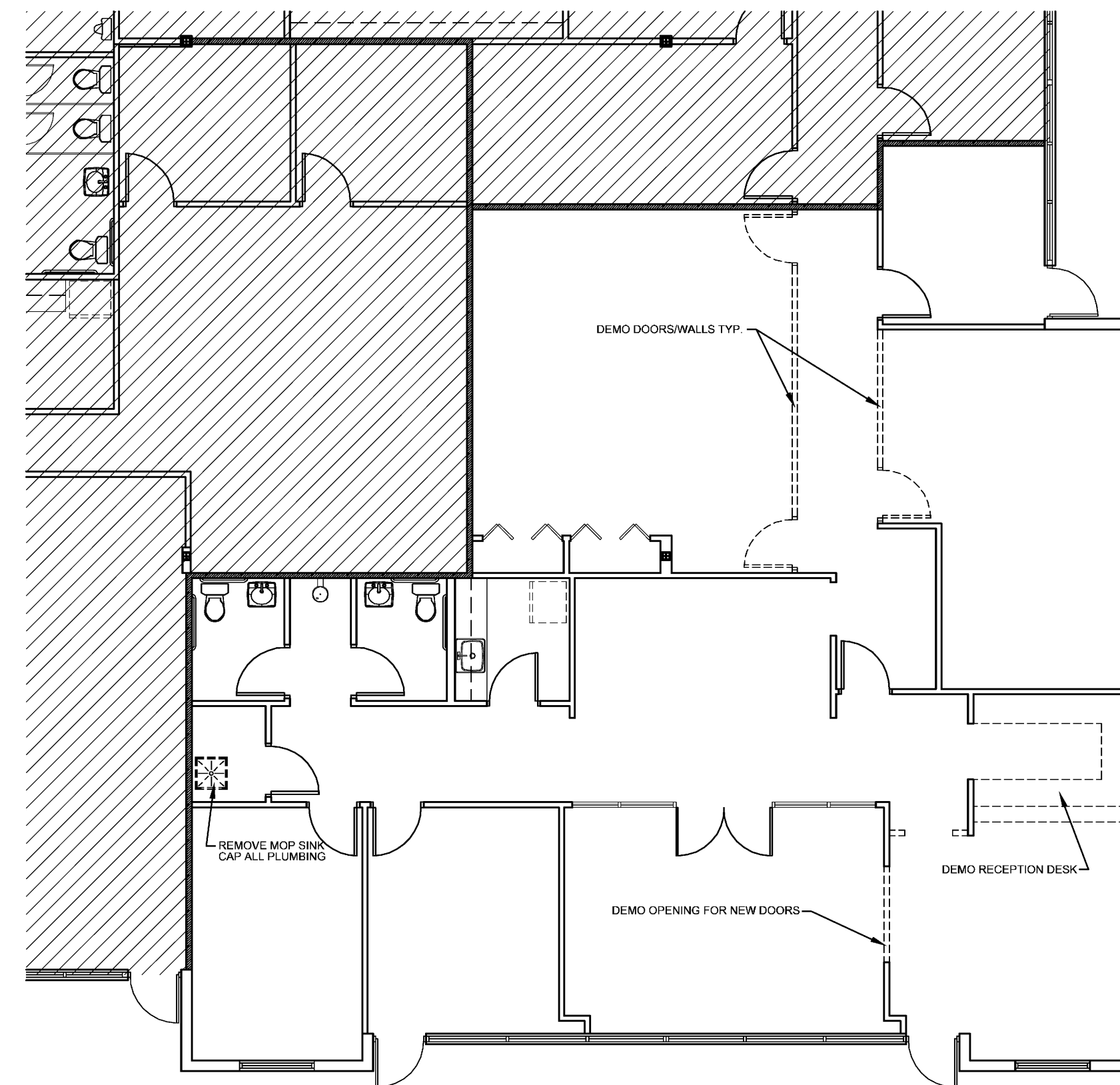
1. ALL WALLS/DOORS/WINDOWS ARE EXISTING AS PER EXISTING FLOOR PLAN 1/A-1
2. ALL CABINETS/SINKS ARE EXISTING AS PER EXISTING FLOOR PLAN 1/A-1
3. TOILET ROOMS ARE EXISTING AS PER EXISTING FLOOR PLAN 1/A-1
4. DRINKING FOUNTAINS ARE EXISTING AS PER EXISTING FLOOR PLAN 1/A-1

EXISTING 1-HR TENANT DEMISING WALL TO REMAIN AS EXISTING TYP.

WALL LEGEND	
	EXIST PARTITION
	EXIST 1-HR WALL

1 (EXISTING) FLOOR PLAN

1/8" = 1'-0"



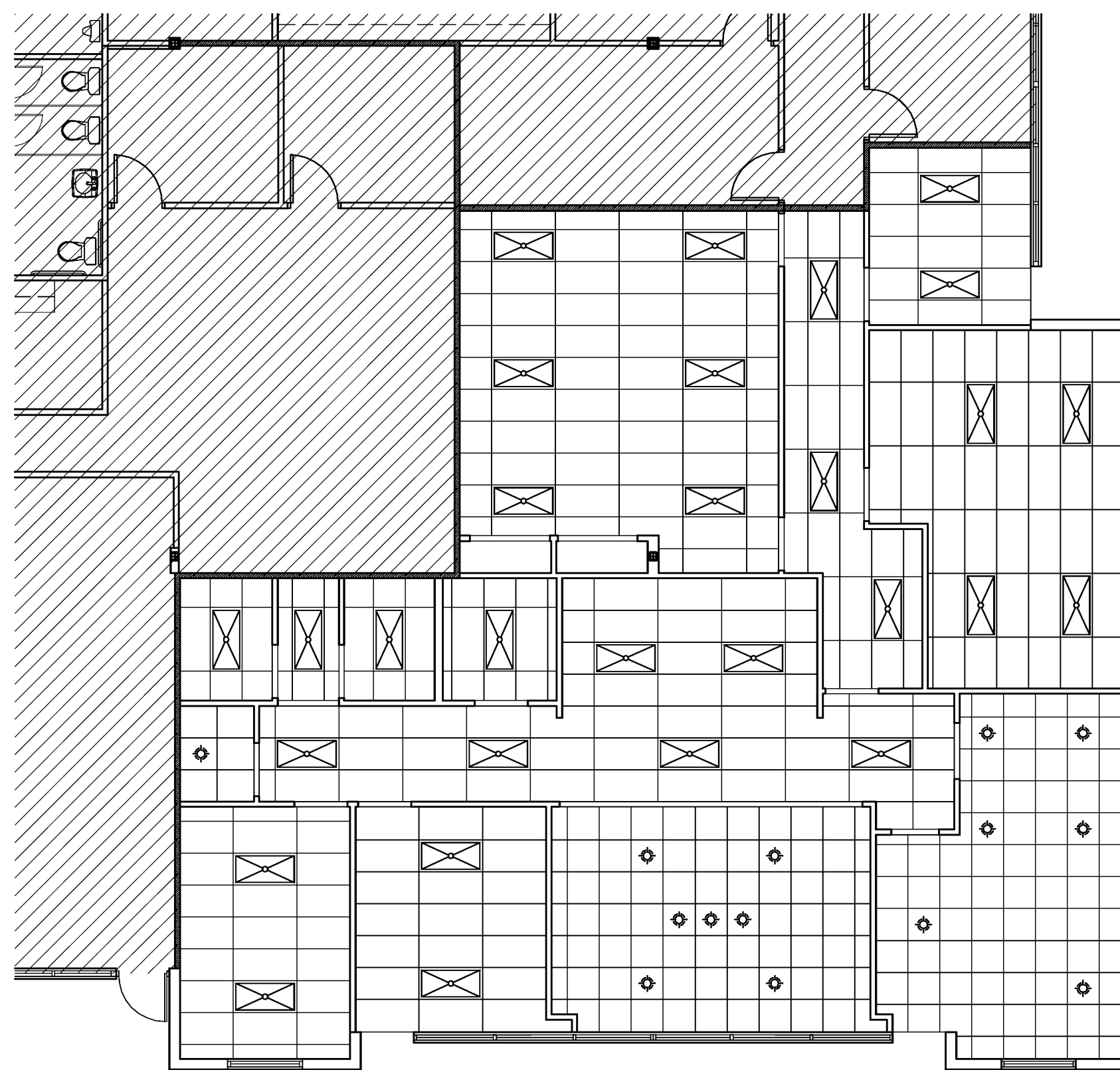
1. DEMO WALLS/DOORS AS PER DEMO FLOOR PLAN 3/A-1. STORE ALL DOORS FOR REUSE
  2. DEMO RECEPTION DESK AS PER DEMO FLOOR PLAN 3/A-1
  3. DEMO OPENING FOR NEW DOOR AS PER DEMO FLOOR PLAN 3/A-1
  4. REMOVE ALL ELECTRICAL/DATA WIRING FROM DEMO'D WALLS. CAP BACK TO FIRST JUNCTION BOX
  5. REMOVE ALL EXISTING DATA WIRING FROM CEILING
  6. PROVIDE ADD ALTERNATE PRICING TO REMOVE MOP SINK BASIN AS INDICATED IN 3/A-1.
- \* STRUCTURES UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL COMPLY WITH NFPA 241
- \* ACCUMULATIONS OF COMBUSTIBLE WASTE AND DUST DEBRIS SHALL BE REMOVED FROM THE STRUCTURE AND ITS IMMEDIATE VICINITY AT THE END OF THE SHIFT OR MORE FREQUENTLY AS NECESSARY FOR SAFE OPERATIONS
- \* EXIT AND ACCESS CORRIDORS ARE TO BE MAINTAINED AND REMAIN CLEAR AND UNOBSTRUCTED
- \* THE MAIN BUILDINGS FIRE PROTECTION SYSTEMS SHALL BE MAINTAINED AND OPERATIONAL AT ALL TIMES

WALL LEGEND	
	EXIST PARTITION TO REMAIN
	EXIST WALLS TO BE DEMO'D

AS PER SECTION 704.5 IN THE INSTALLATION OR REMOVAL OF ANY PART OF A DRAINAGE SYSTEM DEAD ENDS SHALL BE PROHIBITED. ALL LINES SHALL BE CAPPED OFF WITHIN 2 FEET OF ALIVE BRANCH OR COMPLETELY REMOVED.

3 (DEMO) FLOOR PLAN

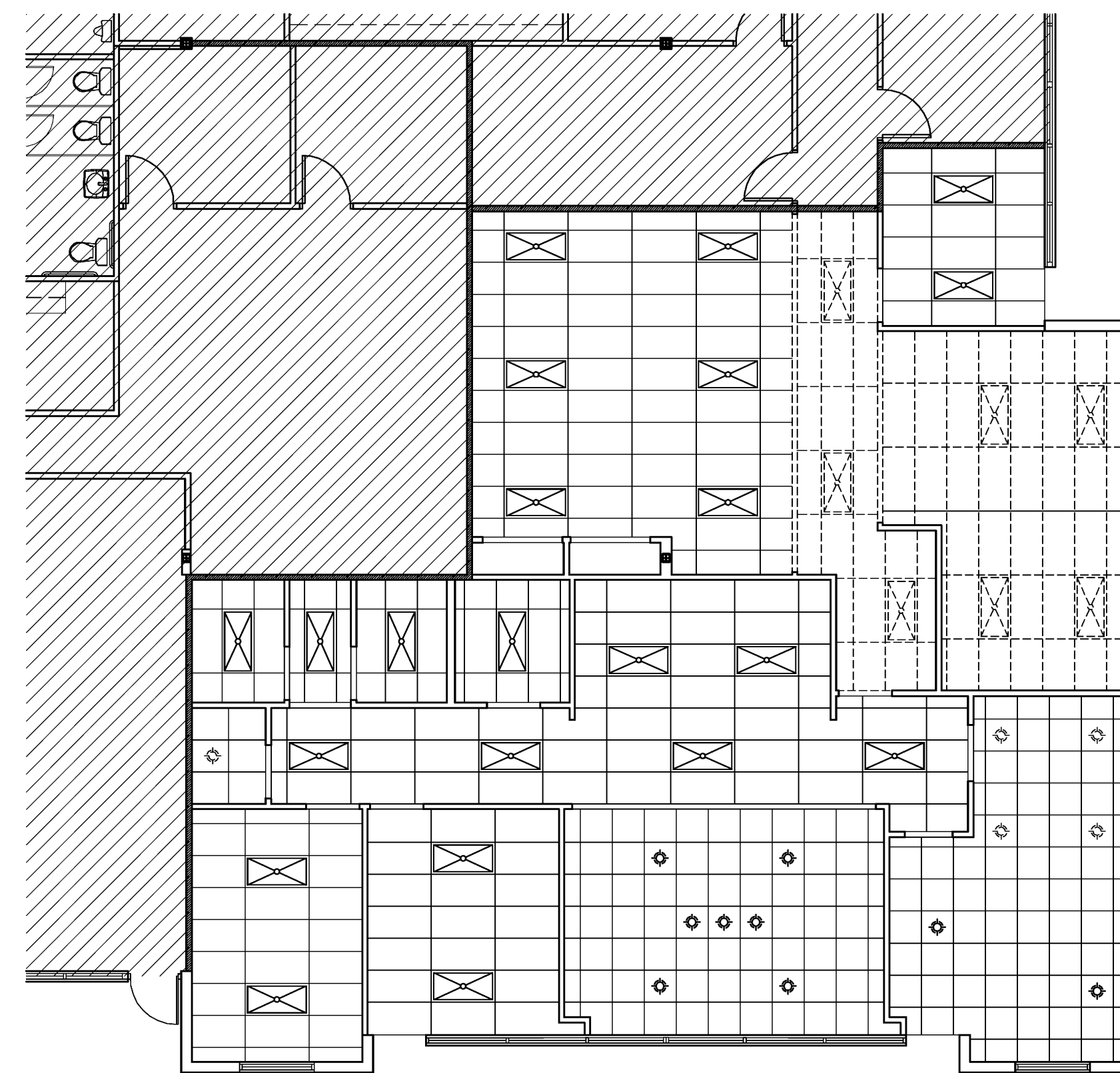
1/8" = 1'-0"



1. ALL CEILING/GRID/LIGHTS ARE EXISTING AS PER 2/A-1

2 (EXISTING) CEILING PLAN

1/8" = 1'-0"



1. DEMO CEILING GRID/LIGHT/TILES AS PER DEMO CEILING PLAN 2/A-2
2. REMOVE ALL ELECTRICAL/DATA WIRING FROM DEMO'D CEILING. CAP BACK TO FIRST JUNCTION BOX
3. STORE ALL CEILING GRID/LIGHTS/TILES FOR REUSE

4 (DEMO) CEILING PLAN

1/8" = 1'-0"

Bd

birse design inc.

5300 Woodland Lakes Drive  
Palm Beach Gardens, FL 32918  
phone 561-219-4001  
fax 772-409-9884  
AA26001615

ALLEN S BIRSE  
AR94279

TOSHIBA

2101 CENTRER PARK WEST DRIVE  
SUITE #100  
WEST PALM BEACH, FL 33401

PROJECT NUMBER 21014

REVISIONS

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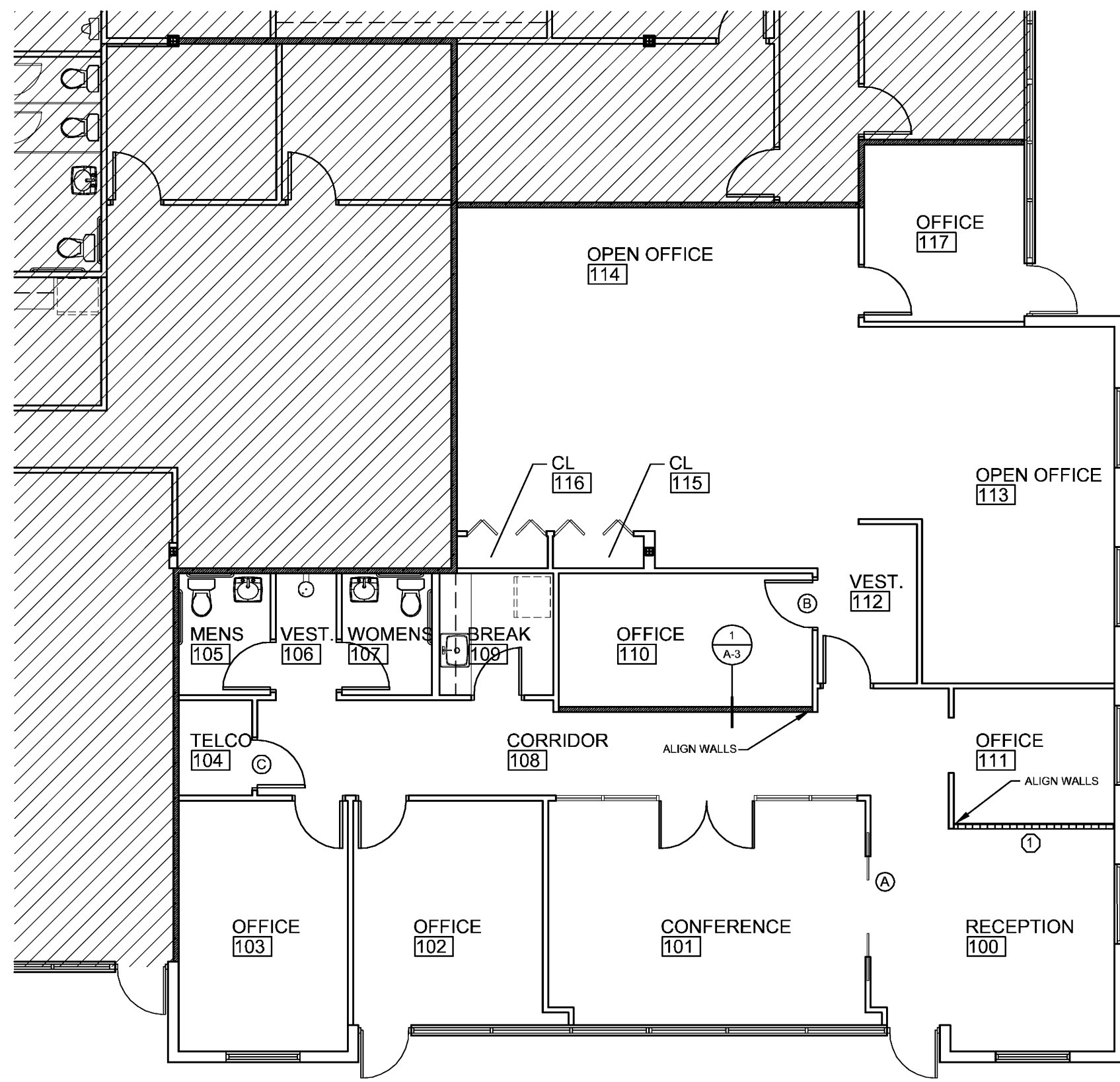
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A-1



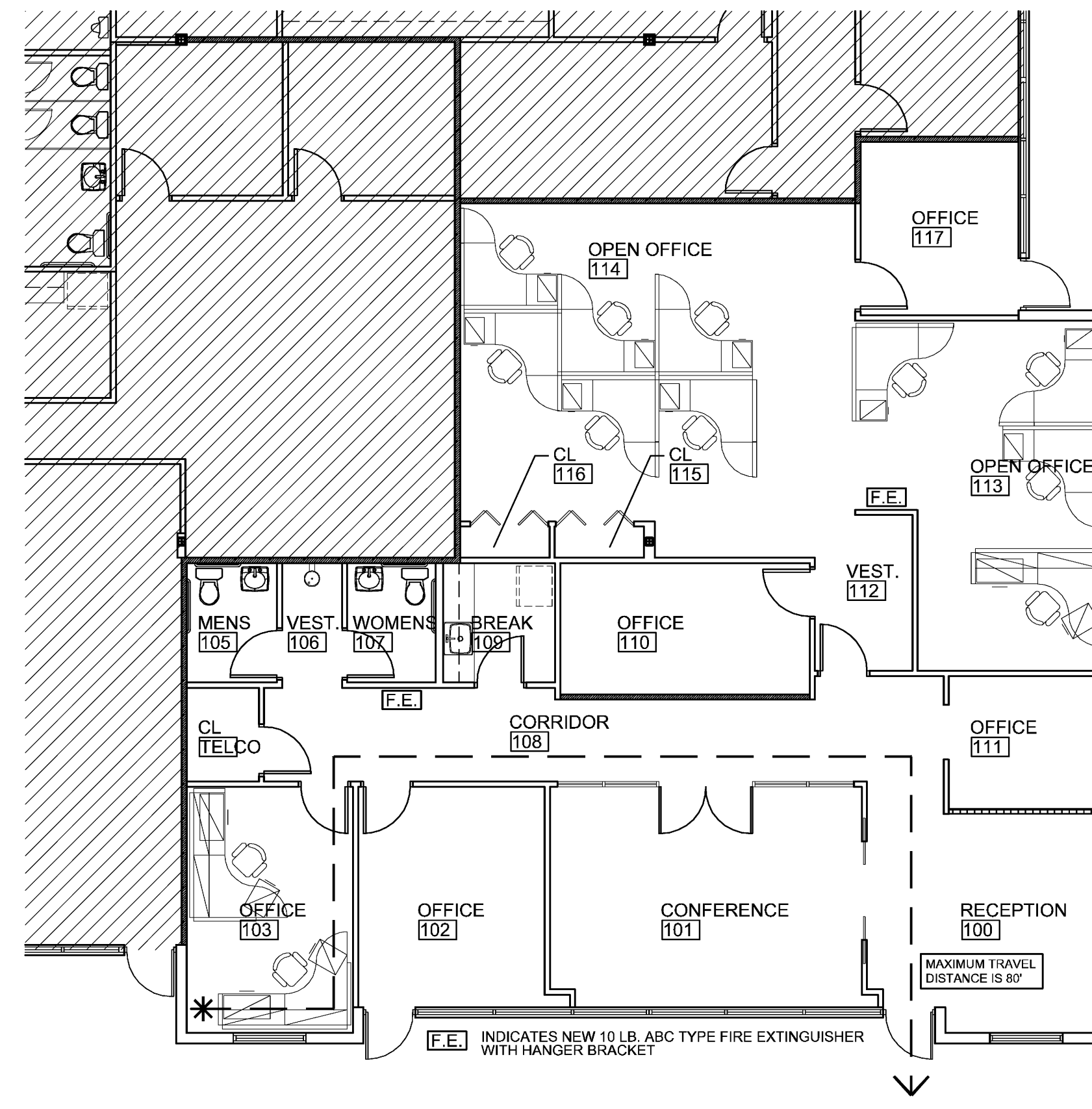
1. PROVIDE NEW PARTITIONS/DOORS AS INDICATED IN 1/A-2
  2. ALL WOOD BASE, WOOD TRIM AND CHAIR RAILS ARE TO REMAIN AS EXISTING  
ALL NEW DOORS/FRAMES/WOOD TRIM TO BE PAINTED TO MATCH EXISTING
  3. REMOVE WALL COVERING IN RECEPTION #100 AND CONFERENCE #101  
WALLS TO RECEIVE PAINT
  4. ALL WORKSTATIONS TO BE PROVIDED AND INSTALLED BY TENANT  
ALL ELECTRICAL CONNECTIONS BY CONTRACTOR
  5. REGROUT 1/2" LONG CRACKED GROUT JOINT IN RECEPTION AREA
  6. EXISTING WOOD BASE TO REMAIN AS EXISTING. ADD WOOD BASE TO NEW WALL @ CORR. #108
  7. PROVIDE NEW FINISHES AS PER 3/A-3
  8. PATCH/REPAIR/PAINT EXISTING WALLS AS NECESSARY
- \* PROVIDE ADD ALTERNATE PRICING TO REMOVE TELCO #104 DOOR AND REPLACE WITH TYPE "C" DOOR

**WALL LEGEND**

	EXIST PARTITION TO REMAIN
	NEW METAL STUD PARTITION
	NEW GLASS BLOCK WALL

1 (PROPOSED) FLOOR PLAN

1/8" = 1'-0"



- \* ALL INTERIOR WALL AND CEILING FINISHES TO HAVE A MIN CLASS "C" FLAME SPREAD CLASSIFICATION
- \* ALL INTERIOR FLOOR FINISH SHALL BE NOT LESS THAN CLASS II

**WALL LEGEND**

	EXIST PARTITION TO REMAIN
	NEW METAL STUD PARTITION
	NEW GLASS BLOCK WALL

3 (LIFE SAFETY) FLOOR PLAN

1/8" = 1'-0"



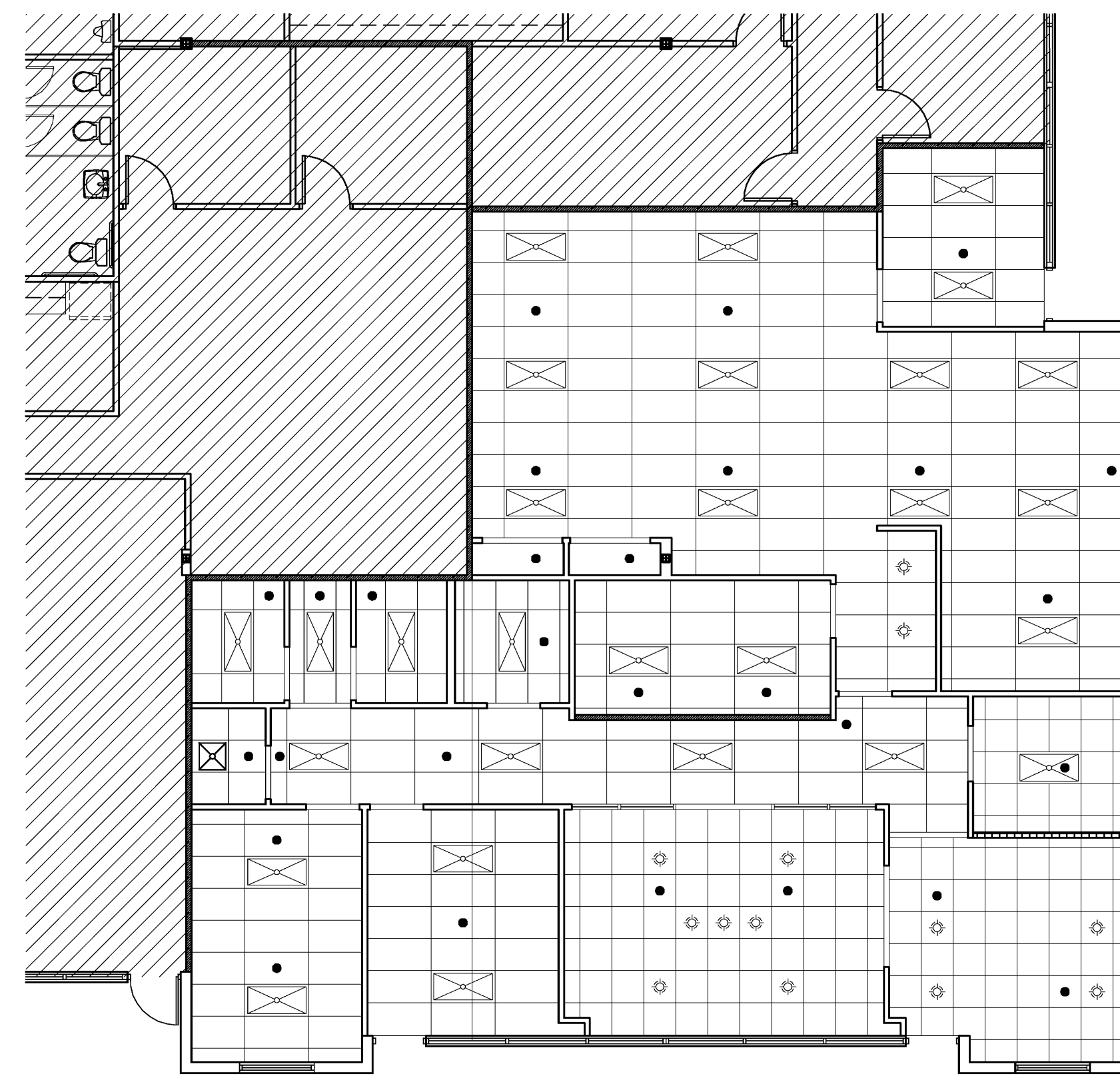
1. EXTEND CEILING GRID AND RELOCATE LIGHTS AS PER 1/A-2
2. REUSE EXISTING CEILING GRID/LIGHTS/TILES IF POSSIBLE
3. ALL CEILING HEIGHTS TO MATCH EXISTING CEILING HEIGHTS

**NEW LIGHT**

**EXISTING LIGHT TO REMAIN**

2 (PROPOSED) CEILING PLAN

1/8" = 1'-0"



- \* FIRE SPRINKLER SHOP DRAWINGS ARE TO BE SUBMITTED UNDER A SEPARATE FIRE SPRINKLER PERMIT
- \* COMPLY WITH NFPA 13 2010 EDITION

**SPRINKLER HEAD**

SYMBOL	TYPE	TEMP	SIZE
	QUICK TYPE RECESSED PENDANT	150°	1/2"

4 FIRE PROTECTION PLAN

1/8" = 1'-0"

Bd

birse design inc.

5300 Westchase Lakes Drive  
Palm Beach Gardens, FL 33418  
phone 561-219-4001  
fax 772-409-8884  
AA26001615

ALLEN S BIRSE  
AR94279

TOSHIBA

2101 CENTRER PARK WEST DRIVE  
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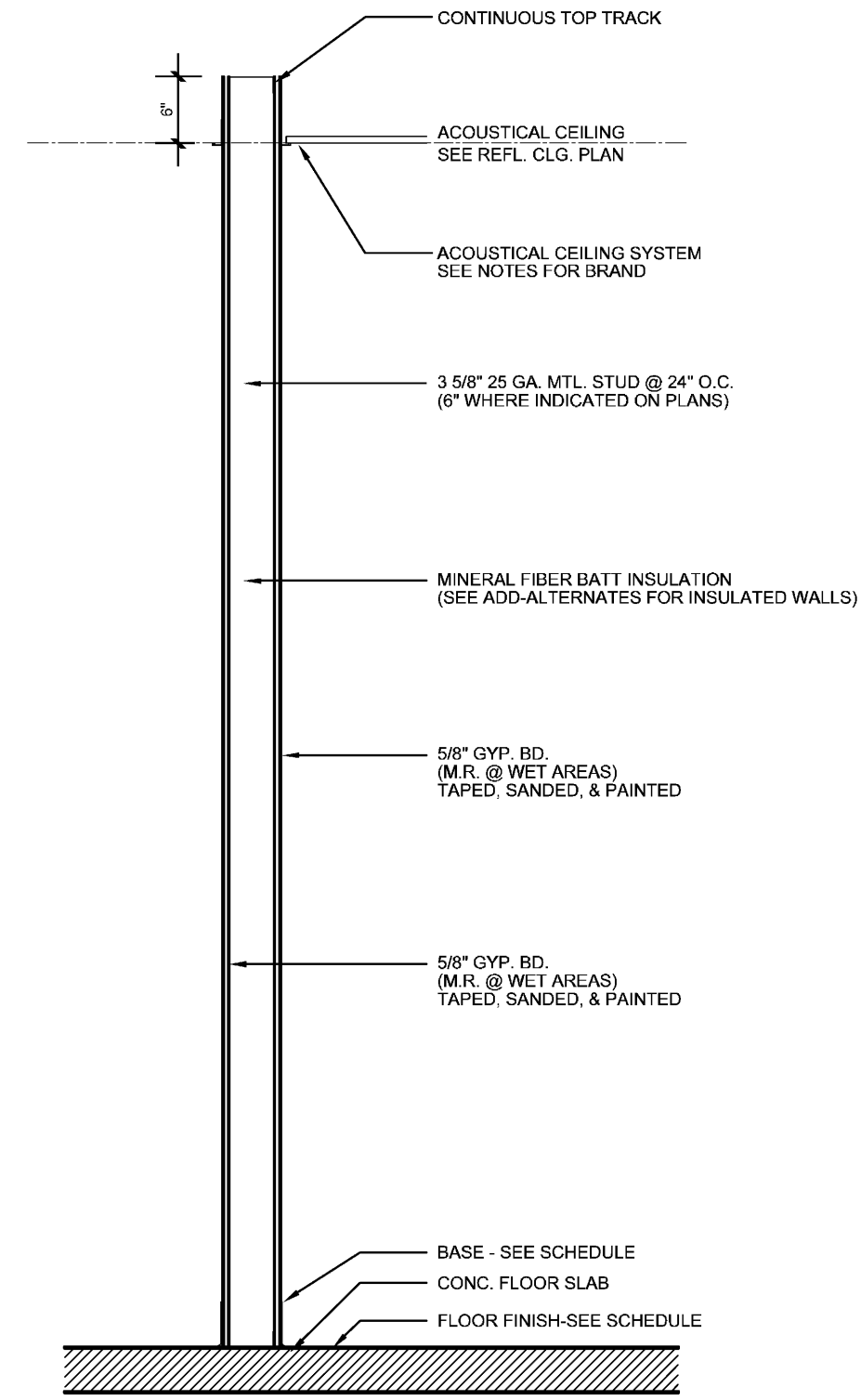
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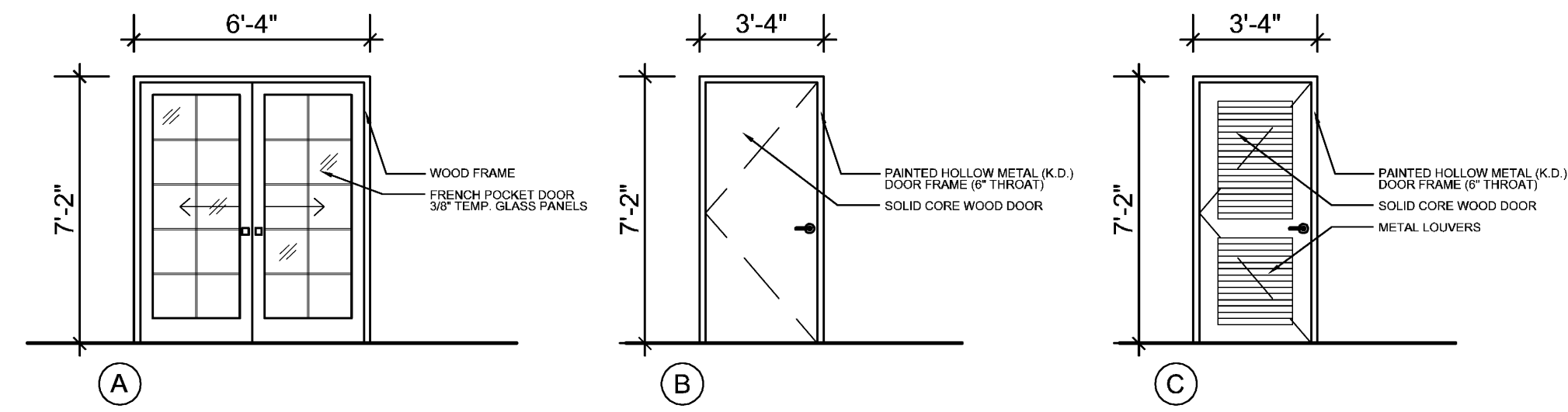
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A-2



**1 WALL TYPE (INT. PARTITION)**  
3/4" = 1'-0"



- \* NEW TENANT INTERIOR DOOR HARDWARE TO MATCH EXISTING (REUSE HARDWARE FROM DEMO'D DOOR IF POSSIBLE)
- \* ALL EXTERIOR TENANT DOORS TO HAVE 5" SOLID TOP RAIL (NO THROUGH BOLTING)
- \* ALL DOOR STOPS ARE TO BE FLOOR MOUNTED (NOT WALL MOUNTED)
- \* DOOR HARDWARE IS REQUIRED TO COMPLY WITH FBC 11-4.13.9 FOR ACCESSIBILITY

**DOOR SCHEDULE**

MARK	LABEL	DOOR				FRAME	REMARKS	
		MAT	TYPE	SIZE				SIZE/MAT.
		W	H	T				
A		WD	FLUSH	(2)3'0"	7'0"	1-3/4"	2" WD	FRENCH POCKET DOOR
B		WD	FLUSH	3'0"	7'0"	1-3/4"	2" WD	STAIN TO MATCH EXISTING
B		WD	FLUSH	3'0"	7'0"	1-3/4"	2" WD	METAL LOUVER PANELS

**2 DOORS**  
1/4" = 1'-0"

MK	ROOM NAME	FLOOR	BASE		WALLS		CEILING			REMARKS
		MAT	MAT	HT	MAT	FIN	MAT	FIN	HT	
SUITE #100										
100	RECEPTION	CPT1	VL	4"	GWB	PT1	EXISTING			
101	CONFERENCE	CPT1	VL	4"	GWB	PT1	EXISTING			
102	OFFICE	CPT1	VL	4"	GWB	PT1	EXISTING			
103	OFFICE	CPT1	VL	4"	GWB	PT1	EXISTING			
104	TELCO	VCT	VL	4"	GWB	PT1	EXISTING			
105	MENS	EXISTING			GWB	PT1	EXISTING			
106	VESTIBULE	CPT1	VL	4"	GWB	PT1	EXISTING			
107	WOMENS	EXISTING			GWB	PT1	EXISTING			
108	CORRIDOR	CPT1	VL	4"	GWB	PT1	EXISTING			
109	BREAK	VCT	VL	4"	GWB	PT1	EXISTING			
110	OFFICE	VCT	VL	4"	GWB	PT1	EXISTING			
111	OFFICE	CPT1	VL	4"	GWB	PT1	EXISTING			
112	VESTIBULE	CPT1	VL	4"	GWB	PT1	EXISTING			
113	OPEN OFFICE	CPT1	VL	4"	GWB	PT1	ACT1			
114	OPEN OFFICE	CPT1	VL	4"	GWB	PT1	EXISTING			
115	CLOSET	CPT1	VL	4"	GWB	PT1	EXISTING			
116	CLOSET	CPT1	VL	4"	GWB	PT1	EXISTING			
117	OFFICE	CPT1	VL	4"	GWB	PT1	EXISTING			

- \* ALL INTERIOR WALL AND CEILING FINISHES TO HAVE A MIN CLASS "C" FLAME SPREAD CLASSIFICATION
- \* ALL INTERIOR FLOOR FINISH SHALL BE NOT LESS THAN CLASS II
- \* SAMPLES ARE REQUIRED TO BE APPROVED PRIOR TO ORDERING

**FINISH SELECTIONS**

PAINT (PT1) MANUFACTURER: SHERWIN WILLIAMS  
 COLOR: SW #6112 BISCUIT (NO VOC)  
 FINISH: FLAT FINISH

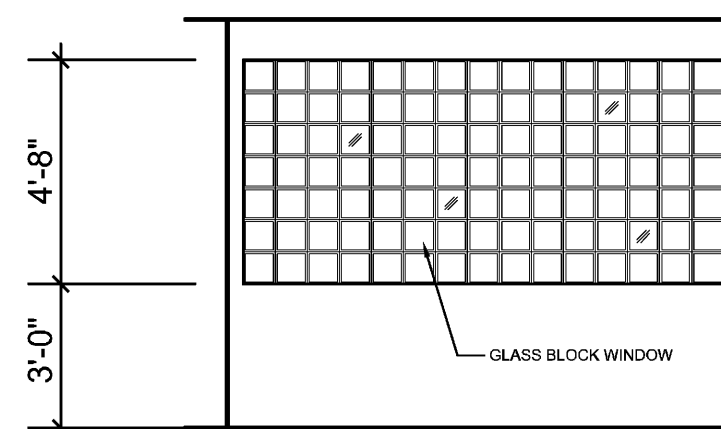
ACOUSTIC CEILING TILE (ACT1)  
 MANUFACTURER: MATCH EXISTING  
 COLOR: AMATCH EXISTING

CARPET (CPT1)  
 MANUFACTURER: PATCRAFT  
 COLLECTION: COLOR YOUR WORLD #10131  
 COLOR: CHIPS #00522

VINYL COMPOSITION TILE (VCT)  
 MANUFACTURER: ARMSTRONG  
 COLOR: #51836 SHELTER WHITE

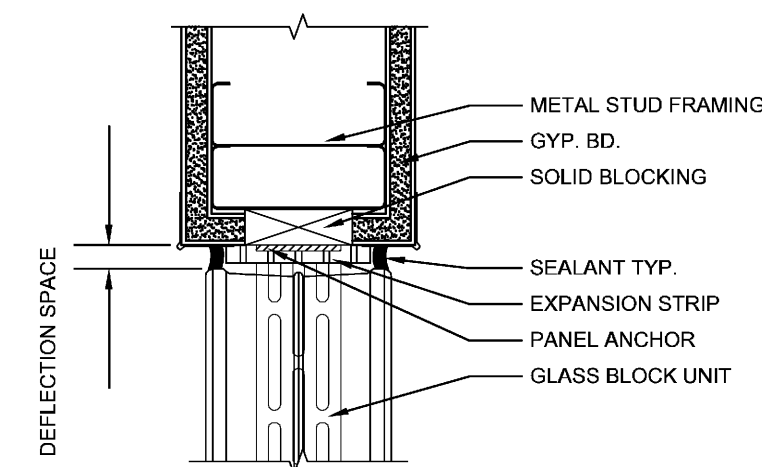
VINYL BASE (VL)  
 MANUFACTURER: JOHNSONITE  
 COLOR: BURNT UMBER

**3 FINISH SCHEDULE**

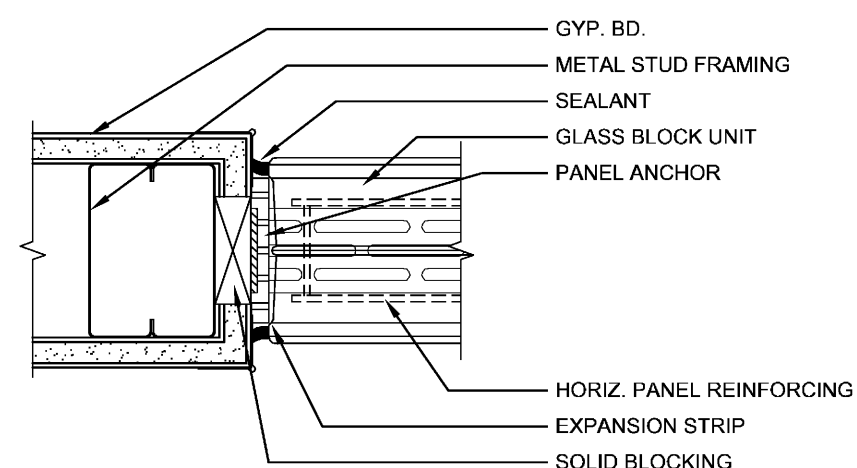


\* PROVIDE 8"x8" INTERIOR GLASS BLOCK SAMPLES FOR TENANT APPROVAL

**4 GLASS BLOCK WINDOW**  
1/4" = 1'-0"



**5 GLASS BLOCK HEAD DETAIL**  
3" = 1'-0"



**6 GLASS BLOCK JAMB DETAIL**  
3" = 1'-0"

**REVISIONS**

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- THESE DRAWINGS ARE DIAGRAMMATIC. ALL OFFSETS, FITTINGS, TRANSITIONS AND ACCESSORIES ARE NOT SHOWN. THE CONTRACTOR SHALL INCLUDE IN HIS BID ALL ITEMS REQUIRED TO PROVIDE A COMPLETE AND OPERATIONAL SYSTEM. DO NOT SCALE DRAWINGS FOR INSTALLATION.
- ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER BY LICENSED CONTRACTORS.
- THE CONTRACTOR SHALL OBTAIN AT HIS EXPENSE ALL NECESSARY FEES PERMITS, AND TESTS.
- ALL WORK SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES. NO CONTRACTOR SHALL BID UNLESS FAMILIAR WITH THESE CODES.
- CORRECTION OF DEFECTS TO THIS WORK SHALL BE MADE PROMPTLY WITHOUT CHARGE TO THE OWNER. REPAIR AND REPLACEMENT FOR DAMAGE CAUSED BY THIS CONTRACTOR SHALL BE MADE PROMPTLY WITHOUT CHARGE TO THE OWNER.
- ALL WORK OF THIS TRADE SHALL BE COORDINATED WITH ALL OTHER TRADES TO AVOID ANY INTERFERENCES THAT MAY DELAY PROGRESS OF CONSTRUCTION.
- THE CONTRACTOR SHALL INCLUDE THE WORK OF ALL REQUIRED SUB-CONTRACTORS, SUCH AS ELECTRICAL, INSULATING, TEST & BALANCE, ETC., AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM.
- EQUIPMENT SHALL BEAR A U.L. OR OTHER RECOGNIZED LABEL, NAMEPLATES, WIRING DIAGRAMS, AND ENERGY RATINGS AS APPLICABLE.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND ACCESSORIES TO BE READILY ACCESSIBLE FOR SERVICING, TESTING, BALANCING, AND REPLACEMENT.
- THE CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE AGAINST DEFECTS IN ALL MATERIALS AND WORKMANSHIP FOR ONE YEAR FROM ACCEPTANCE, WITH FOUR ADDITIONAL YEARS OF WARRANTY ON COMPRESSORS.
- THE CONTRACTOR SHALL PROVIDE THREE COPIES OF SUBMITTAL DATA, SHOP DRAWINGS, AND AT COMPLETION OF THE PROJECT TWO SETS OF OPERATION AND MAINTENANCE MANUALS FOR ALL PROJECT ITEMS.
- PROVIDE ALL CONTROLS, STARTERS, CONTROL WIRING, DISCONNECTS, AND OTHER ELECTRICAL EQUIPMENT AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM.
- THE HVAC CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, ON SITE, A DETAILED AS-BUILT PLAN SHOWING ACTUAL INSTALLATIONS. THE CONTRACTOR IS TO PROVIDE A NEATLY DRAWN COMPREHENSIVE AS-BUILT SET OF PLANS UPON COMPLETION, WHICH ARE SUITABLE FOR SUBMISSION TO THE BUILDING DEPARTMENT AND TO THE OWNER.
- PRIOR TO ACCEPTANCE BY THE OWNER THE SYSTEMS SHALL BE TESTED AND BALANCED BY AN INDEPENDENT NEBB CERTIFIED T&B CONTRACTOR EXPERIENCED WITH THIS SYSTEM, AND CERTIFIED T&B REPORTS SUBMITTED.
- SUPPLY AND INSTALL DUCT MOUNTED SMOKE DETECTORS AS REQUIRED.
- COORDINATE LOCATION OF CEILING DIFFUSERS, GRILLES AND REGISTERS IN THE FIELD WITH LIGHTS AND ARCHITECTURAL ELEMENTS.
- ALL GRILLES TO BE TITUS OR METALLAIRE UNLESS OTHERWISE NOTED, SIZES AS SHOWN ON PLANS, ALUMINUM CONSTRUCTION.
- ALL DUCT WORK SHALL BE BUILT AND INSTALLED IN ACCORDANCE WITH SMACNA STANDARDS AND LOCAL BUILDING CODES.
- ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS.
- ALL OUTSIDE AIR DUCTWORK SHALL BE SHEETMETAL WITH EXTERIOR R-6 INSULATION. PROVIDE BLANKET TYPE INSULATION IN CONCEALED SPACES, AND BOARD TYPE IN EXPOSED AREAS.
- ALL EXHAUST AIR DUCT SHALL BE GALVANIZED SHEET METAL CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH ASHRAE AND SMACNA STANDARDS.
- FLEXIBLE DUCT, WHERE SHOWN, SHALL BE U.L. CLASS 1, R-6 INSULATION.
- LOW PRESSURE SUPPLY AND RETURN DUCTWORK IS RIGID DUCTBOARD WITH VAPOR BARRIER, 1 IN. THICK, R-4.2 INSULATION, EXCEPT AS NOTED.
- PROVIDE ELBOW TURNING VANES IN ALL RECTANGULAR DUCTS WHERE TURNS ARE GREATER THAN 45 DEGREES.
- PROVIDE BACKDRAFT DAMPERS FOR ALL EXHAUST FANS.
- VERIFY ALL THERMOSTAT LOCATIONS WITH THE ARCHITECT.
- CONDENSATE DRAIN PIPING IS COPPER WITH SOLDERED FITTINGS AND ARMAFLEX INSULATION.

**GENERAL DEMOLITION NOTES**

- UNLESS OTHERWISE NOTED, ALL EQUIPMENT AND DUCTWORK IN THE PROJECT AREA WHICH IS NOT INDICATED TO REMAIN, IS TO BE REMOVED. THE CONTRACTOR SHALL INVESTIGATE THE PROJECT AREA PRIOR TO BID TO DETERMINE ALL REQUIRED DEMOLITION.
- EXISTING CONDITIONS SHOWN ON THIS DRAWING ARE TAKEN FROM ORIGINAL DRAWINGS AND FIELD INVESTIGATION. ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO BID. FIELD CONDITIONS SHALL GOVERN.
- DEMOLITION WORK IS NOT SPECIFICALLY IDENTIFIED ON THESE PLANS, AND MAY BE DESCRIBED ON THE ARCHITECTS PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED DEMOLITION WHETHER SHOWN ON THE PLANS OR NOT.
- ALL MECHANICAL SYSTEMS SERVING OTHER SPACES OR FLOORS, THAT RUN THROUGH THE PROJECT AREA SHALL REMAIN ACTIVE DURING CONSTRUCTION, SO AS NOT TO CAUSE ANY DISRUPTION TO THESE OTHER SPACES.
- ALL ITEMS REMOVED UNDER THIS PROJECT SHALL BE DISPOSED OF OR TURNED OVER TO THE OWNER AT THE OWNER'S DISCRETION.
- PROPERLY REMOVE AND DISPOSE OF ALL HVAC DUCTWORK AND AIR DISTRIBUTION DEVICES WHICH ARE TO BE REMOVED. CONSULT WITH OWNER AND OBTAIN THE OWNER'S APPROVAL PRIOR TO DISPOSAL OF REMOVED MATERIAL.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL PIPING AND DUCTS, NEW OR EXISTING, WITHIN THE PROJECT AREA, ARE PROPERLY SUPPORTED.
- ANY UN-USED DUCT OPENINGS ARE TO BE CLOSED, SEALED AND INSULATED WITH MATERIALS AND METHODS TO MATCH EXISTING INSTALLATIONS.

**LEGEND**

- EXISTING EQUIPMENT TO REMAIN
- SUPPLY AIR DIFFUSER AS NOTED
- RETURN/TRANSFER AIR GRILLE AS NOTED
- EXISTING SUPPLY AIR DIFFUSER
- EXISTING EXHAUST/RETURN GRILLE
- EXISTING DUCTWORK TO REMAIN
- MANUAL VOLUME DAMPER
- PROGRAMMABLE THERMOSTAT
- FLEXIBLE DUCT, U.L. CLASS 1
- DUCT SMOKE DETECTOR WITH AUDIBLE AND VISIBLE INDICATORS
- REMOTE TEST & INDICATOR STATION (FOR DUCT SMOKE DETECTOR)
- CONNECTION TO EXISTING

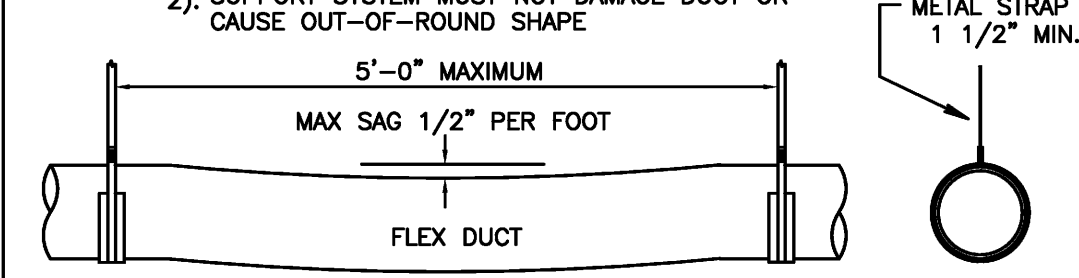
**ABBREVIATIONS**

- CFM - CUBIC FEET PER MINUTE
- E/A - EXHAUST AIR
- S/A - SUPPLY AIR
- R/A - RETURN AIR
- AHU - AIR HANDLING UNIT
- CU - CONDENSING UNIT
- E - EXISTING
- R - RELOCATED
- RC - ROOF CAP

**HVAC PROJECT SPECIFIC NOTES**

CONTRACTOR IS TO INSPECT ALL EXISTING DUCTWORK SHOWN ON THESE PLANS AS REMAINING. REPAIR AS REQUIRED ANY DAMAGED DUCTWORK OR INSULATION. WHERE DUCTWORK IS SHOWN TO BE PARTIALLY REMOVED, CAP, SEAL, AND INSULATE TO MATCH EXISTING METHODS AND MATERIALS. EXISTING EQUIPMENT WHICH IS REMAINING IS TO BE INSPECTED, ADJUSTED AND REPAIRED WHERE NECESSARY.

- NOTES:**
- DUCT SHOULD EXTEND STRAIGHT FOR SEVERAL INCHES FROM A CONNECTION BEFORE BENDING
  - SUPPORT SYSTEM MUST NOT DAMAGE DUCT OR CAUSE OUT-OF-ROUND SHAPE

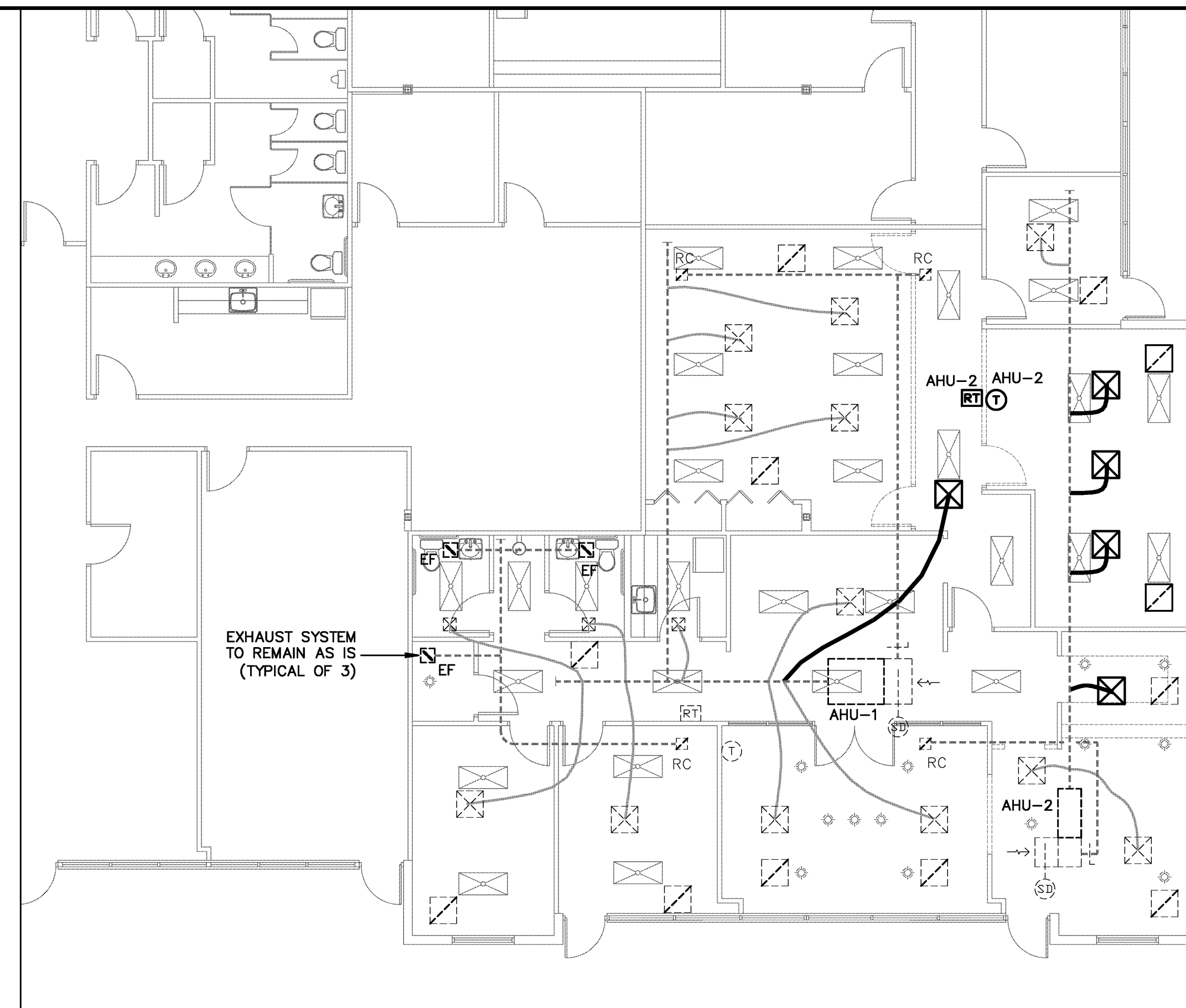


**FLEX DUCT SUPPORT DETAIL**  
NO SCALE

**VENTILATION CALCULATIONS**

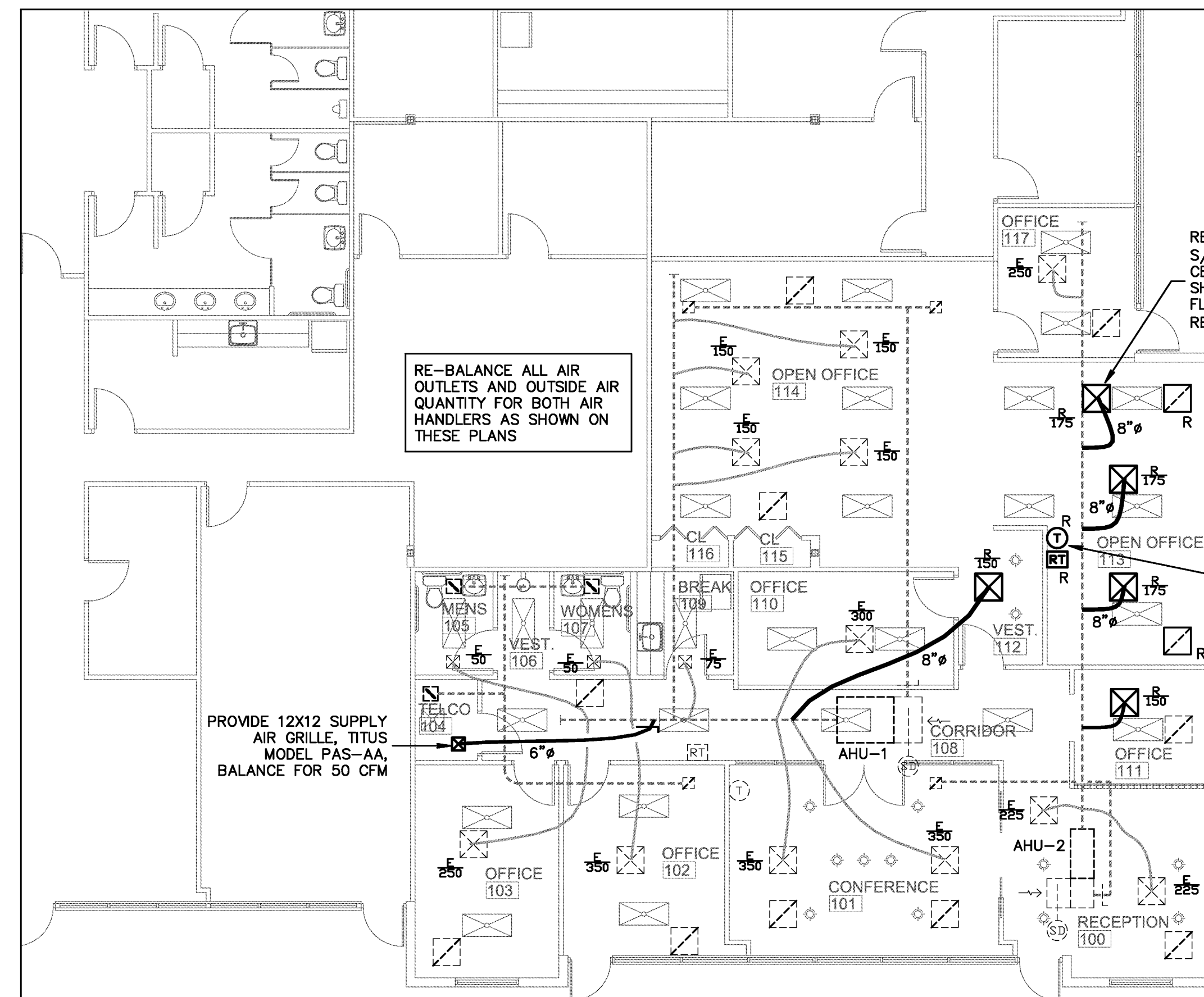
SYSTEM	AHU-1				AHU-2	
	OFFICE	BREAK	CORRIDOR	CONFERENCE	OFFICE	RECEPTION
SQUARE FEET OF AREA	1140	56	310	282	540	218
CFM/SQ.FT. REQUIRED	0.06	0.06	0.06	0.06	0.06	0.06
TOTAL OCCUPANTS	9	1	-	14	4	7
CFM/PERSON REQUIRED	5	5	-	5	5	5
ZONE CFM REQUIRED	113	8	19	87	52	48
TOTAL SYSTEM CFM	227				100	

- NOTES**
- ABOVE CALCULATIONS AND OCCUPANCY RATES PER ASHRAE 62.1, 2007



**EXISTING HVAC FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**PROPOSED HVAC FLOOR PLAN**

SCALE: 1/8" = 1'-0"

**Bd**

birse design inc.

5300 woodland lakes drive  
palm beach gardens, fl 33418  
phone: 561-249-4001  
fax: 772-409-8864  
AA26001615

**TOSHIBA**

2101 CENTRER PARK WEST DRIVE  
SUITE #100  
WEST PALM BEACH, FL 33401  
PROJECT NUMBER 21014

**REVISIONS**

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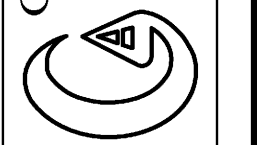
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**M-1**

PROJ.# 11-001  
**Gilman & Associates, Inc.**  
MECHANICAL & ELECTRICAL ENGINEERS  
129 N. FEDERAL HIGHWAY SUITE 202  
Lake Worth, FL 33460 C.A.#009078  
3351 STATE ROAD 7 SUITE 202  
ROSALE D. GILMAN P.E. #37583



### ELECTRICAL NOTES

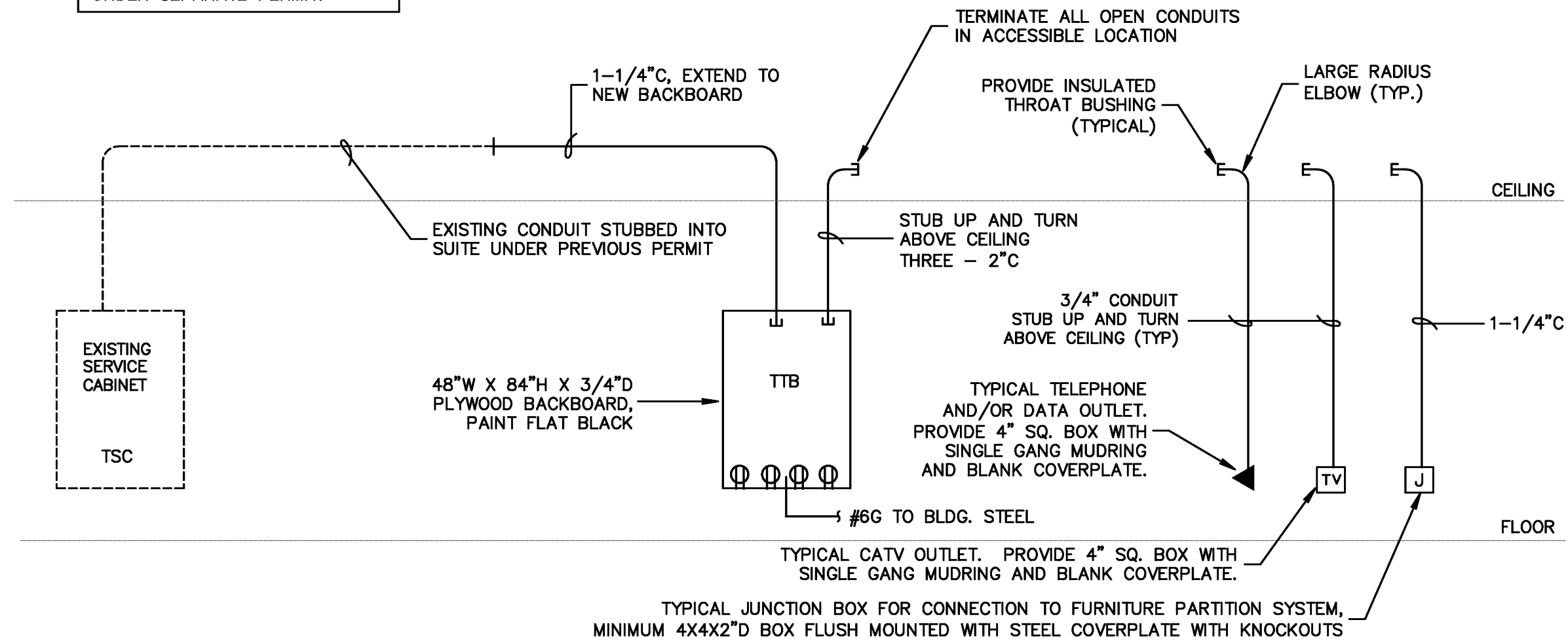
- DO NOT SCALE THE ELECTRICAL DRAWINGS. REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT. CONFIRM WITH OWNERS REPRESENTATIVE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE NFPA-70 (2008), THE LIFE SAFETY CODE NFPA-101 (2006), THE NATIONAL FIRE ALARM CODE NFPA-72 (2002), AND THE FLORIDA BUILDING CODE (FBC 2007 WITH 2009 SUPPLEMENTS).
- MINIMUM WIRE SIZE SHALL BE #12 A.W.G., EXCLUDING CONTROL WIRING. UNLESS OTHERWISE NOTED ALL CONDUCTORS SHALL BE COPPER WITH THWN INSULATION.
- OUTLET BOXES SHALL BE SHEET STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET OR DAMP LOCATIONS AND SPECIAL ENCLOSURES AS REQUIRED FOR OTHER CLASSIFIED AREAS.
- DISCONNECT SWITCHES SHALL BE H.P. RATED, HEAVY DUTY, QUICK-MAKE, QUICK-BREAK ENCLOSURES AS REQUIRED BY EXPOSURE.
- MOTOR STARTERS SHALL BE MANUAL OR MAGNETIC, WITH OVERLOAD RELAYS IN EACH HDT LEG.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
- ELECTRICAL SYSTEM SHALL BE COMPLETE AND EFFECTIVELY GROUNDED AS REQUIRED BY THE LATEST EDITION OF THE N.E.C.
- ALL MATERIALS SHALL BE NEW AND BEAR UNDERWRITERS' LABELS WHERE APPLICABLE.
- ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE, AND ACCEPTED BY ENGINEER/ARCHITECT.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE.
- CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
- CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS, AND TESTING.
- THE ELECTRICAL INSTALLATION SHALL MEET ALL STANDARD REQUIREMENTS OF POWER AND TELEPHONE COMPANIES.
- FURNISH AND INSTALL DISCONNECT SWITCHES AND WIRING FOR AIR CONDITIONING SYSTEM AS PER MANUFACTURERS RECOMMENDATIONS. CONTROLS ARE TO BE SUPPLIED BY AIR CONDITIONING CONTRACTOR AND CONNECTED BY ELECTRICAL CONTRACTOR.
- ALL RACEWAYS UNDERGROUND SHALL BE A MINIMUM OF 3/4" CONDUIT.
- ALL CIRCUIT BREAKERS, TWO AND THREE POLE, TO BE COMMON TRIP. NO TIE HANDLES, OR TANDEM WILL BE ACCEPTED.
- ALL FUSES, UNLESS NOTED ON DRAWING, SHALL BE CURRENT LIMITING (C.L.) RATED FOR 200,000 A.I.C.
- ALL ELECTRICAL EQUIPMENT, DEVICES, WIRE, ETC., SHALL BE LISTED, FOR THE INTENDED USE, WITH UNDERWRITERS LABORATORIES, INC. (UL), WHERE STANDARDS HAVE BEEN ESTABLISHED BY UL.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN, ON SITE, A DETAILED AS-BUILT PLAN SHOWING ACTUAL INSTALLATIONS. THE CONTRACTOR IS TO PROVIDE A NEATLY DRAWN COMPREHENSIVE AS-BUILT SET OF PLANS UPON COMPLETION, WHICH ARE SUITABLE FOR SUBMISSION TO THE BUILDING DEPARTMENT AND THE OWNER.
- ALL WIRING IS TO BE IN CONDUIT, EXCEPT THAT METAL CLAD (MC) CABLES MAY BE USED FOR FINAL CONNECTIONS TO RECESSED LIGHTING FIXTURES AND 30 AMP MAXIMUM BRANCH CIRCUITS.

### ELECTRICAL LEGEND

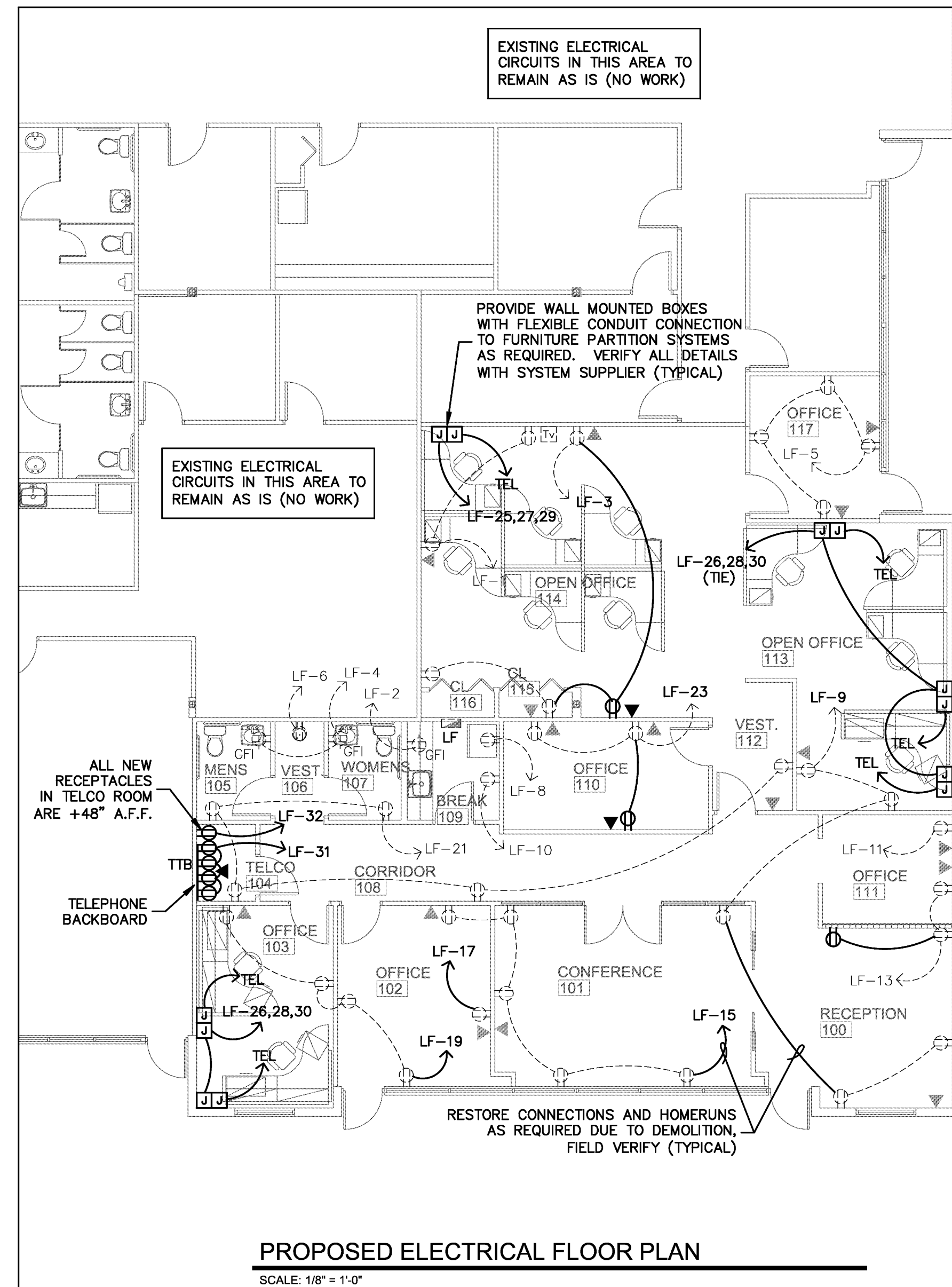
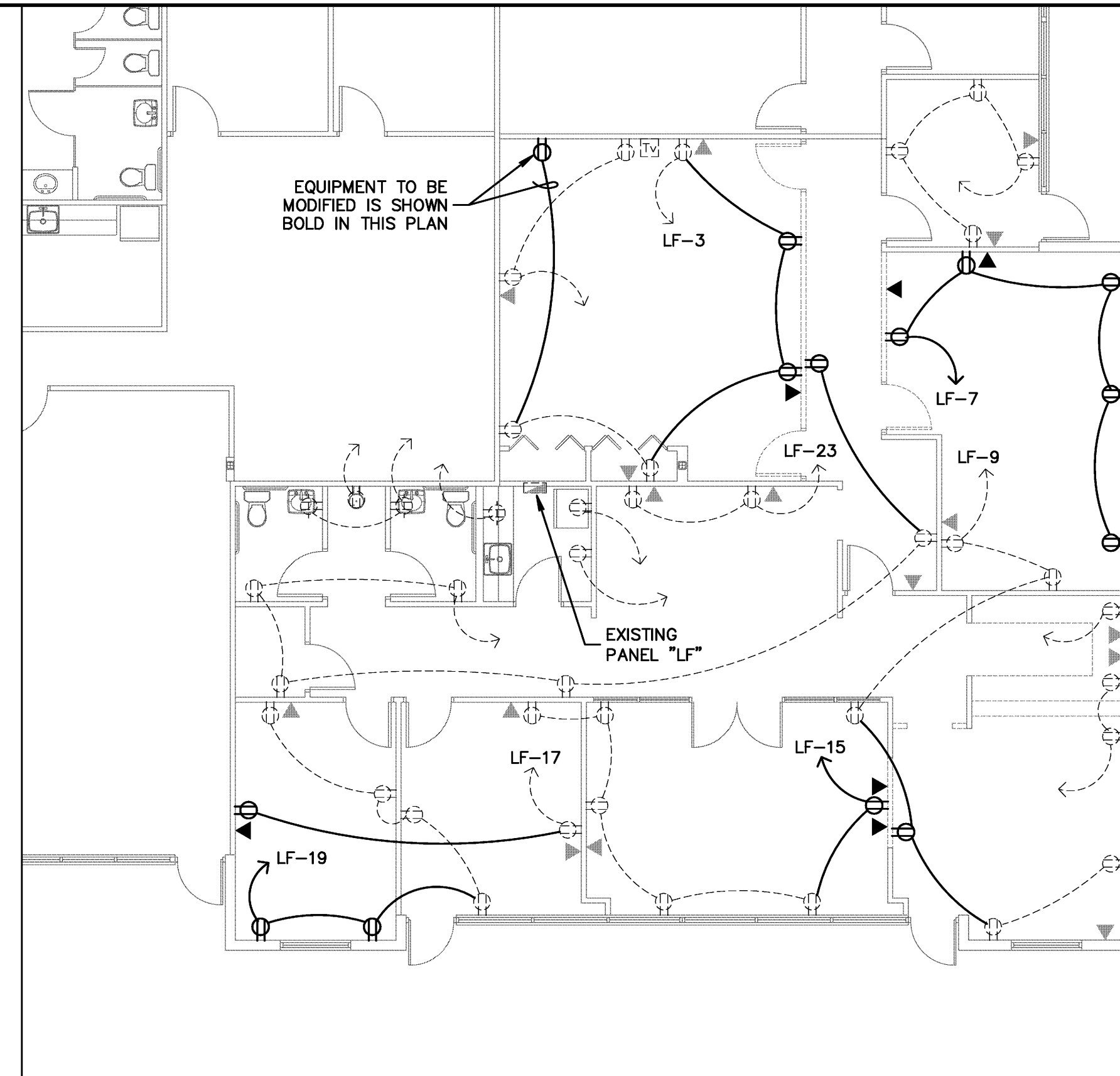
- LIGHTING FIXTURE IDENTIFICATION
- ⊠ RECTANGULAR LIGHTING FIXTURE - AS NOTED
- ⊡ RECTANGULAR LIGHTING FIXTURE - EXISTING AS NOTED
- ROUND LIGHTING FIXTURE
- DIRECTIONAL LIGHTING FIXTURE
- WALL MOUNTED LIGHTING FIXTURE
- LINEAR STRIP LIGHTING FIXTURE
- ⊕ EXIT LIGHT WITH EMERGENCY BATTERY BACKUP
- ⊕ DUAL-LITE L22 EMERGENCY LIGHTING FIXTURE WITH BATTERY BACKUP
- ⊕ RECTANGULAR LIGHTING FIXTURE WITH EMERGENCY BATTERY BACKUP
- ⊕ ROUND LIGHTING FIXTURE WITH EMERGENCY BATTERY BACKUP
- ⊕ DUPLEX RECEPT - 20 AMP (18" A.F.F.)
- ⊕ SINGLE RECEPT - 20 AMP (18" A.F.F.)
- ⊕ DUPLEX RECEPT MOUNTED ABOVE COUNTER - 20 AMP (42" A.F.F.)
- ⊕ DUPLEX RECEPT FLUSH FLOOR MOUNTED - 20 AMP
- ⊕ SPECIAL PURPOSE RECEPT (18" A.F.F. - MATCH EQUIPMENT PROVIDED)
- ⊕ QUAD-PLEX RECEPT - 20 AMP (18" A.F.F.)
- ⊕ SINGLE POLE TOGGLE SWITCH, 48" AFF
- ⊕ 3-WAY TOGGLE SWITCH, 48" AFF
- ⊕ SLIDE TYPE DIMMER SWITCH, WATTAGE AS REQUIRED, 48" AFF
- ⊕ JUNCTION BOXES
- ⊕ FUSIBLE DISCONNECT (SWITCH POLES, AMPS/FUSES AS SHOWN)
- ⊕ MOTOR RATED SWITCH (WITH OVERLOADS)
- ⊕ ELECTRICAL PANELBOARD
- ⊕ MOTOR LOAD
- ⊕ CIRCUIT HOME RUN TO PANELBOARD OR OTHER DEVICE AS INDICATED
- ⊕ CONDUIT CONCEALED
- ⊕ EXISTING CIRCUIT AS NOTED
- ⊕ CAPPED CONDUIT
- ⊕ TELEVISION OUTLET (18" A.F.F.)
- ⊕ TELEPHONE/DATA OUTLET (18" A.F.F.)
- ⊕ TEL/DATA OUTLET FLUSH FLOOR MOUNTED
- ⊕ EXISTING DUPLEX RECEPTACLE OUTLET BOX TO REMAIN.
- ⊕ EXISTING TELEPHONE/DATA OUTLET BOX TO REMAIN
- ⊕ EXISTING DEVICE TO REMAIN, UNLESS NOTED OTHERWISE
- ⊕ EXISTING DEVICE, RELOCATED AS SHOWN
- ⊕ EXISTING DEVICE TO BE DEMOLISHED OR RELOCATED
- ⊕ OCCUPANCY SENSOR WITH MANUAL SWITCH, HUBBELL LHMTS1, 48" AFF
- ⊕ OCCUPANCY SENSOR, CEILING MOUNT, HUBBELL DMNI DT-2000

THESE DRAWINGS PROVIDE AN EMPTY RACEWAY AND OUTLET SYSTEM FOR FUTURE USE BY THE TENANT. THERE IS NO WIRING INCLUDED. ANY SUCH WIRING IS TO BE PROVIDED UNDER SEPARATE PERMIT.

ALL EMPTY RACEWAYS ARE TO BE CLEANED, AND A PULL STRING INSTALLED. PROVIDE A TEMPORARY CAP FOR ALL CONDUITS WHICH ORIGINATE FROM EXTERIOR OF THE BUILDING.



TELEPHONE/DATA RISER DIAGRAM  
NO SCALE



Bd

birse design inc.

5300 woodland lakes drive  
palm beach gardens, fl 33418  
phone: 561-219-4001  
fax: 772-409-8884  
AA26001615

TOSHIBA

2101 CENTREPARK WEST DRIVE  
SUITE #100  
WEST PALM BEACH, FL 33401  
PROJECT NUMBER 21014

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E-1

PROJ.# 11-001  
Gilman & Associates, Inc.  
MECHANICAL & ELECTRICAL ENGINEERS  
129 N. FEDERAL HIGHWAY SUITE 202  
Lake Worth, FL 33460 C.A. 009078  
RONALD D. GILMAN, P.E. #37553



**GENERAL DEMOLITION NOTES**

- UNLESS OTHERWISE NOTED, ALL EQUIPMENT, WIRING DEVICES, LIGHT FIXTURES, CONDUIT AND WIRE IN THE PROJECT AREA WHICH IS NOT INDICATED TO REMAIN, IS TO BE REMOVED. THE CONTRACTOR SHALL INVESTIGATE THE PROJECT AREA PRIOR TO BID TO DETERMINE ALL REQUIRED DEMOLITION.
- EXISTING CONDITIONS SHOWN ON THIS DRAWING ARE TAKEN FROM ORIGINAL DRAWINGS AND FIELD INVESTIGATION. ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO BID. FIELD CONDITIONS SHALL GOVERN.
- DEMOLITION WORK IS NOT SPECIFICALLY IDENTIFIED ON THESE PLANS, AND MAY BE DESCRIBED ON THE ARCHITECTS PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED DEMOLITION WHETHER SHOWN ON THE PLANS OR NOT.
- ALL CONDUITS SERVING OTHER SPACES OR FLOORS, THAT RUN THROUGH THE PROJECT AREA SHALL REMAIN ACTIVE DURING CONSTRUCTION, SO AS NOT TO CAUSE ANY DISRUPTION TO THESE OTHER SPACES.
- ALL ITEMS REMOVED UNDER THIS PROJECT SHALL BE DISPOSED OF OR TURNED OVER TO THE OWNER AT THE OWNER'S DISCRETION.
- PROPERLY REMOVE AND DISPOSE OF ALL ELECTRICAL EQUIPMENT, CONDUIT AND WIRING WHICH IS TO BE REMOVED. CONSULT WITH OWNER AND OBTAIN THE OWNER'S APPROVAL PRIOR TO DISPOSAL OF REMOVED MATERIAL.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL CONDUITS, NEW OR EXISTING, WITHIN THE PROJECT AREA, ARE PROPERLY SUPPORTED AND PROVIDED WITH BONDING BUSHINGS IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE.

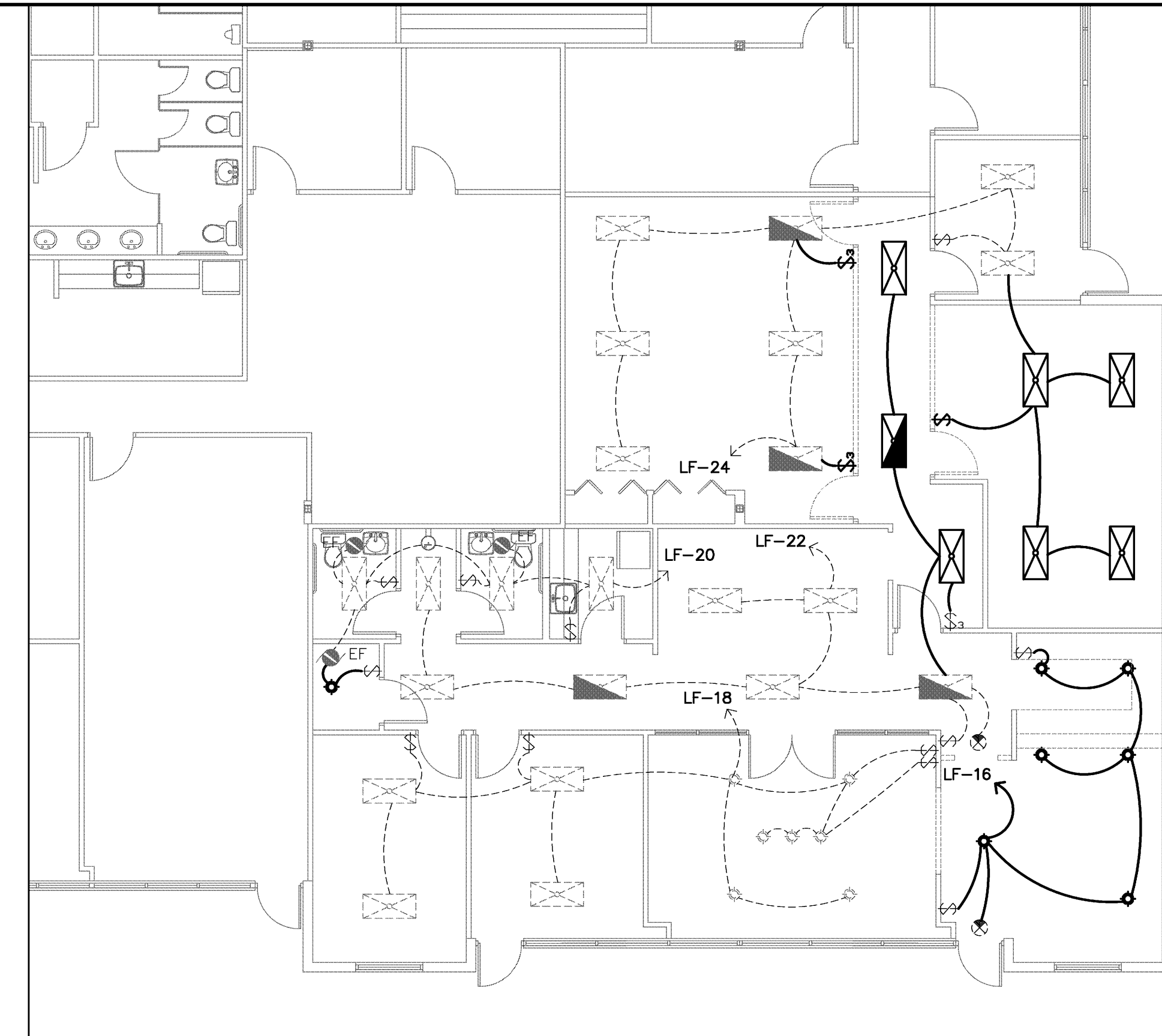
**PANEL PROVIDED UNDER PREVIOUS PERMIT FOR SUITE 110**

TYPE: CUTLER HAMMER CH		MAIN BUS: 225 AMP											
SERVICE: 120/208, 3Ø, 4W		NEUTRAL: FULL											
MOUNTING: FLUSH		MAINS: LUGS ONLY											
POLES: 42		A.I.C. 10K											
DEM. KVA	OTHER KVA	TRIP POLE	CON-DUIT	WIRE	REMARKS	CKT. NO.	CKT. NO.	REMARKS	WIRE	CON-DUIT	TRIP POLE	OTHER KVA	DEM. KVA
	0.4	20-1			RECEPTACLES	1	2	APPLIANCE CKT. BREAK RM.			20-1	1.5	
	0.7		1/2	12	RECEPTACLES ROOM 114	3	4	BATH RECEPTACLES				0.4	
	0.7				RECEPTACLES	5	6	DRINKING FOUNTAIN				0.5	
					SPARE	7	8	REFRIGERATOR				0.8	
	0.9	1/2	12		RECEPTACLES 100,101,113	9	10	VENDING				0.8	
	0.2				RECEPTACLES	11	12	SPARE					
	0.5	1/2	12		RECEPTACLES	13	14	SPARE					
	0.9	1/2	12		RECEPTACLES 101,102	15	16	LIGHTING NORTH SIDE	12	1/2		0.8	
	0.2	1/2	12		RECEPTACLE ROOM 102	17	18	LIGHTING				1.1	
	0.7	1/2	12		RECEPTACLES 102,103	19	20	LIGHTING				0.6	
	0.9				RECEPTACLES	21	22	LIGHTING				0.9	
	0.5	1/2	12		RECEPTACLES ROOM 110	23	24	LIGHTING OPEN OFFICE	12	1/2		0.9	
	0.7	20-1	1/2	12	RM. 114 PARTITION RECEPT.	25	26	RM. 103,113 PARTITION REC.	12	1/2	20-1	0.7	
	0.7	20-1	1/2	12	RM. 114 PARTITION RECEPT.	27	28	RM. 103,113 PARTITION REC.	12	1/2	20-1	0.7	
	0.7	20-1	1/2	12	RM. 114 PARTITION RECEPT.	29	30	RM. 103,113 PARTITION REC.	12	1/2	20-1	0.7	
	0.7	20-1	1/2	12	TELEPHONE BACKBOARD	31	32	SERVER	12	1/2	20-1	0.4	
	10.5	60-2			AHU-2	33	34	CU-2			50-2	(5.3)	
						35	36						
						37	38						
	14.0	60-3			AHU-1	39	40	CU-1			50-3	(11.2)	
						41	42						
												6.5	4.3

LIGHTING: 4.3 X 1.25 = 5.4 KVA  
 NO-DEMAND LOAD: 40.4 KVA  
 TOTAL DEMAND LOAD: 45.8 KVA = 127 AMPS

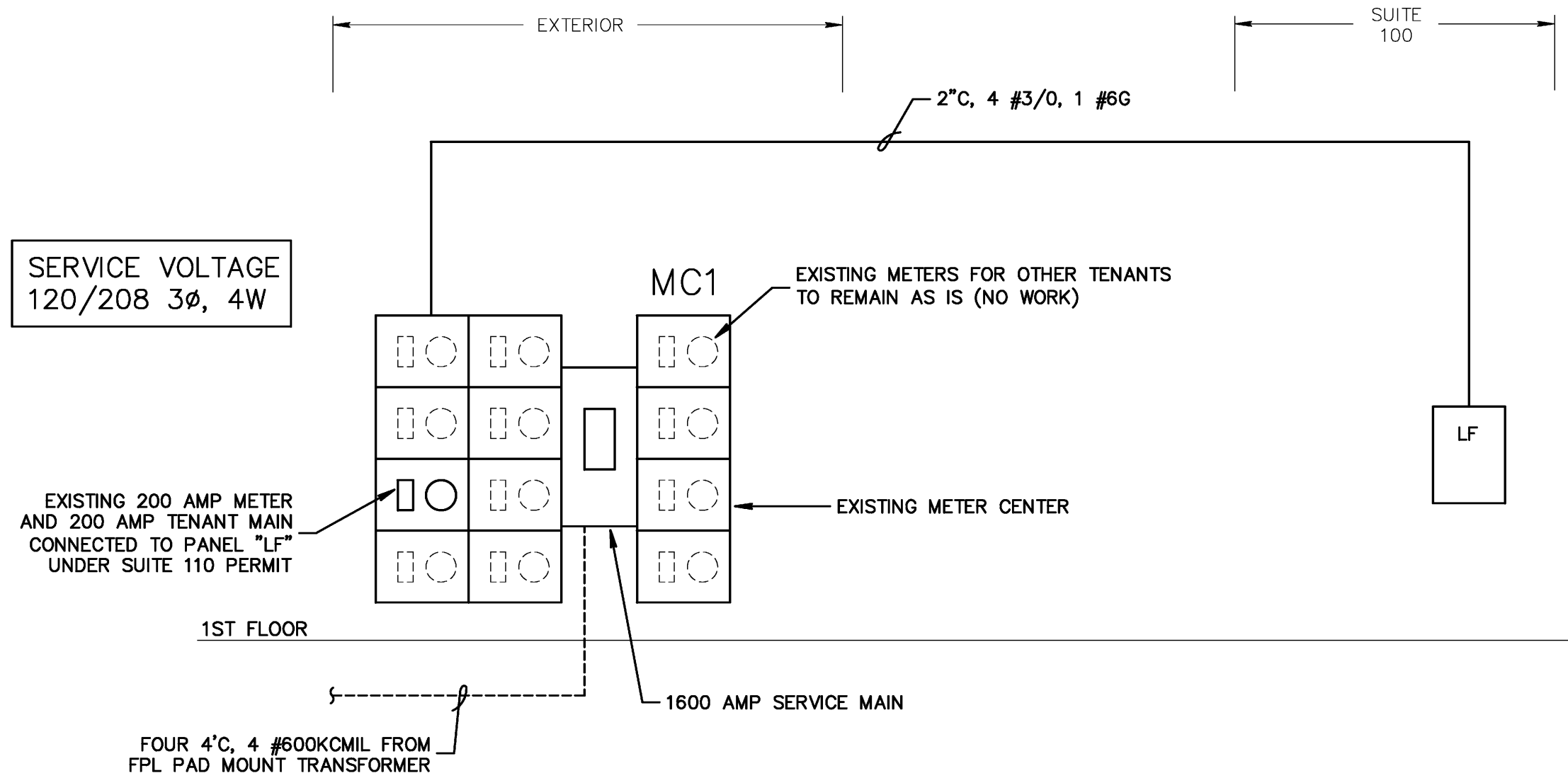
**PANEL SCHEDULES KEYNOTES**

- EXISTING CIRCUIT TO REMAIN AS IS.
- PROVIDE NEW CIRCUIT BREAKER, MATCH EXISTING BREAKERS.
- EXISTING CIRCUIT TO BE MODIFIED AS SHOWN ON FLOOR PLAN.
- CONDENSING UNIT IS NON-COINCIDENT WITH AHU HEAT STRIP.



**EXISTING LIGHTING FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**ELECTRICAL RISER DIAGRAM (EXISTING)**

SCALE: NONE

**LIGHTING POWER COMPLIANCE**

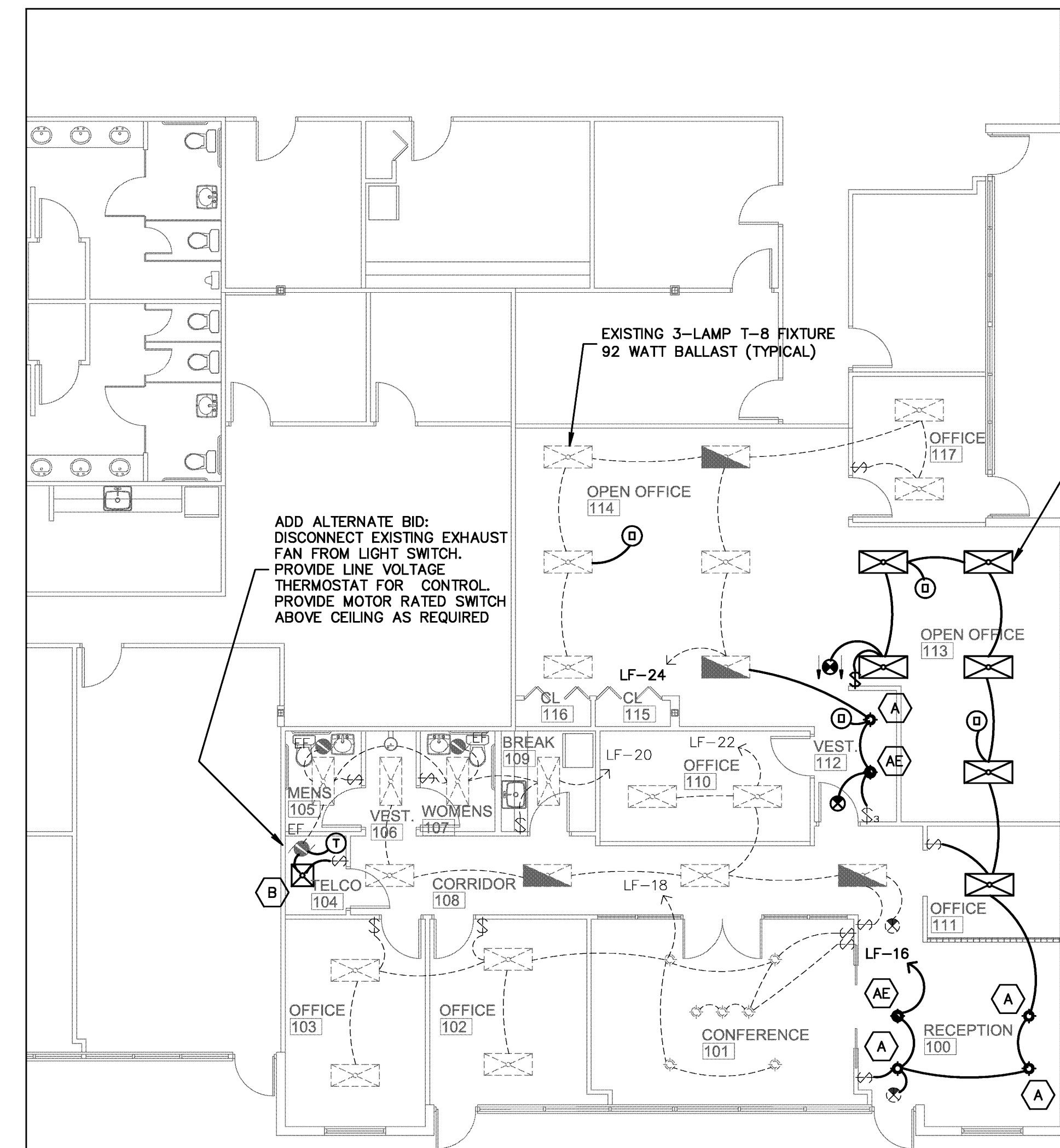
(PER TABLE 13-415.2.B, FBC CHAPTER 13)

SPACE TYPE	TOTAL AREA (SQ.FT.)	ALLOWANCE PER SQ.FT.	SUB-TOTAL ALLOWANCE	DESIGN
RECEPTION	220	1.3	286	176
OFFICE	1,040	1.1	1,144	1,192
ELECT./MECH.	31	1.5	46	62
<b>TOTALS</b>			<b>1,476</b>	<b>1,430</b>

**LIGHTING FIXTURE SCHEDULE**

MARK	TYPE	MOUNT	LAMP	VOLT	MANUFACTURER	CATALOG	NOTES
A	FLUORESCENT DOWNLIGHT	RECESSED	(1)42WTT 41K	120	PRESCOLITE	CFT832HEB-STF802H	
AE	FLUORESCENT DOWNLIGHT	RECESSED	(1)42WTT 41K	120	PRESCOLITE	CFT832HEB-EM STF802H	③
B	LENSED 2X2 TROFFER, 2 LAMP	RECESSED	(2)FB32 T8/41K	120	COLUMBIA	JT82-232U6G-FSA12-EU-GLR	①②
⊙	EXIT LIGHT	SURFACE	BY MFR.	120	DUAL LITE	LXURWE	①②

- PROVIDE SINGLE OR DUAL FACE, WALL OR CEILING MOUNT, AS SHOWN ON PLANS. CONNECT FIXTURES TO UNSWITCHED HOT LEG OF LOCAL LIGHTING CIRCUIT.
- PROVIDE BATTERY/INVERTER EMERGENCY BACKUP FOR 90 MINUTES. CONNECT FIXTURES TO UNSWITCHED HOT LEG OF LOCAL LIGHTING CIRCUIT.
- WHERE SHOWN ON PLAN, PROVIDE BATTERY/INVERTER EMERGENCY BACKUP FOR 90 MINUTES. CONNECT FIXTURES TO UNSWITCHED HOT LEG OF LOCAL LIGHTING CIRCUIT.



**PROPOSED LIGHTING FLOOR PLAN**

SCALE: 1/8" = 1'-0"

**Bd**

birse design inc.

5300 woodland lakes drive  
palm beach gardens, fl 33418  
phone: 561-949-4001  
fax: 561-949-8864  
AA26001615

**TOSHIBA**

2101 CENTERPARK WEST DRIVE  
SUITE #100  
WEST PALM BEACH, FL 33401

PROJECT NUMBER 21014

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PROJ.# 11-001

**Gilman & Associates, Inc.**  
MECHANICAL & ELECTRICAL ENGINEERS  
129 N. FEDERAL HIGHWAY SUITE 202  
Lake Worth, FL 33460 C.A.#009078  
(561) 582-0210 Fax: (561) 582-8912  
RONALD D. GILMAN P.E. #37585

