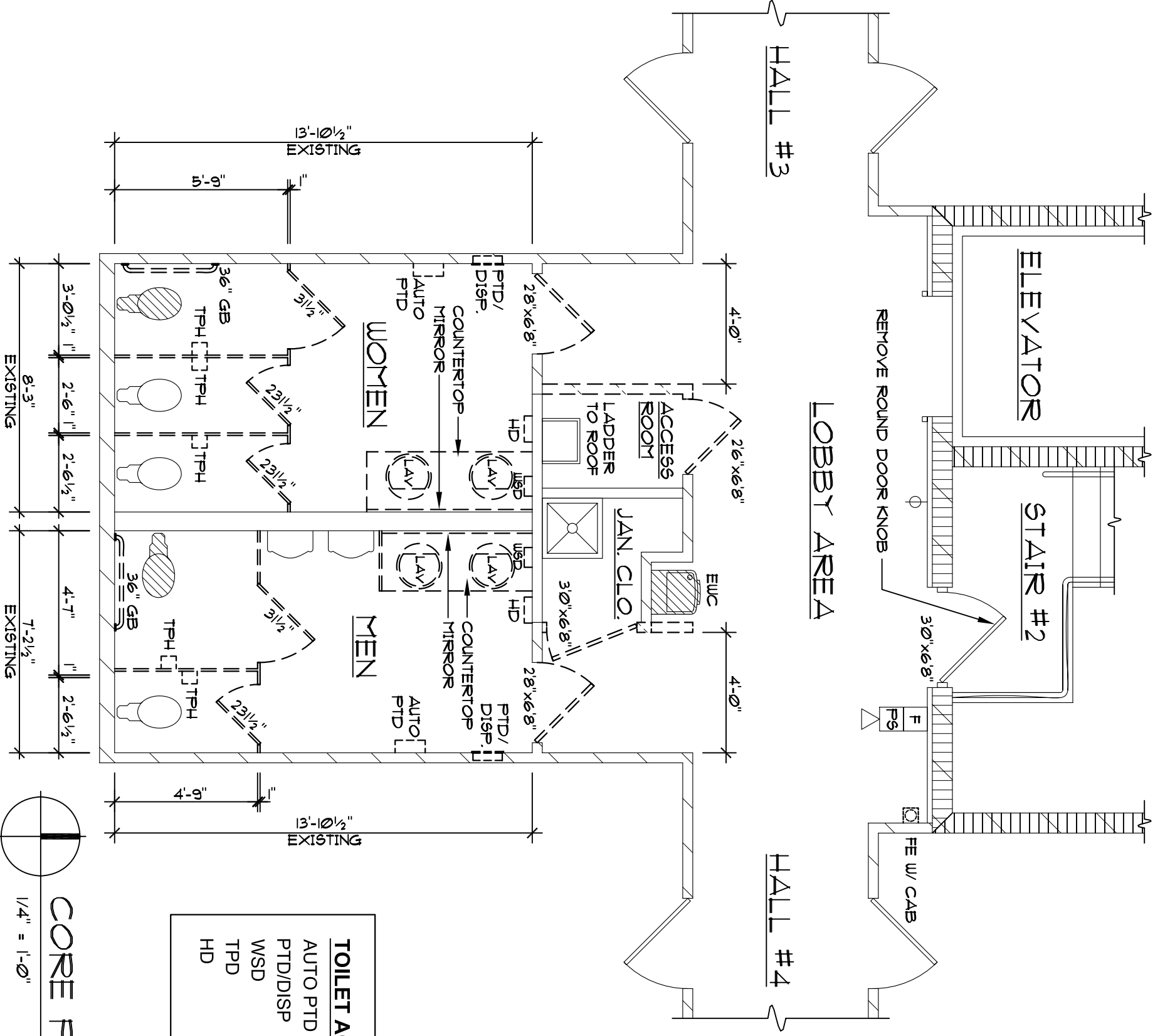
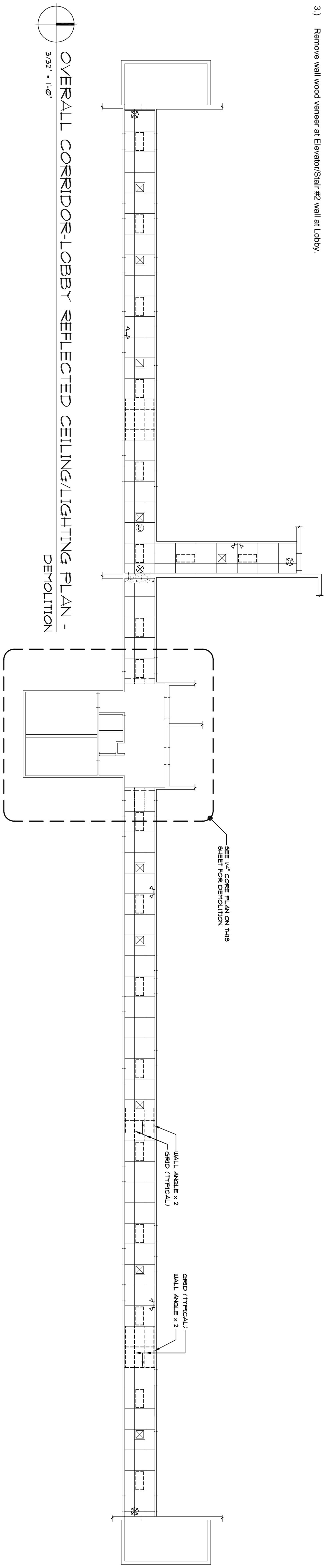
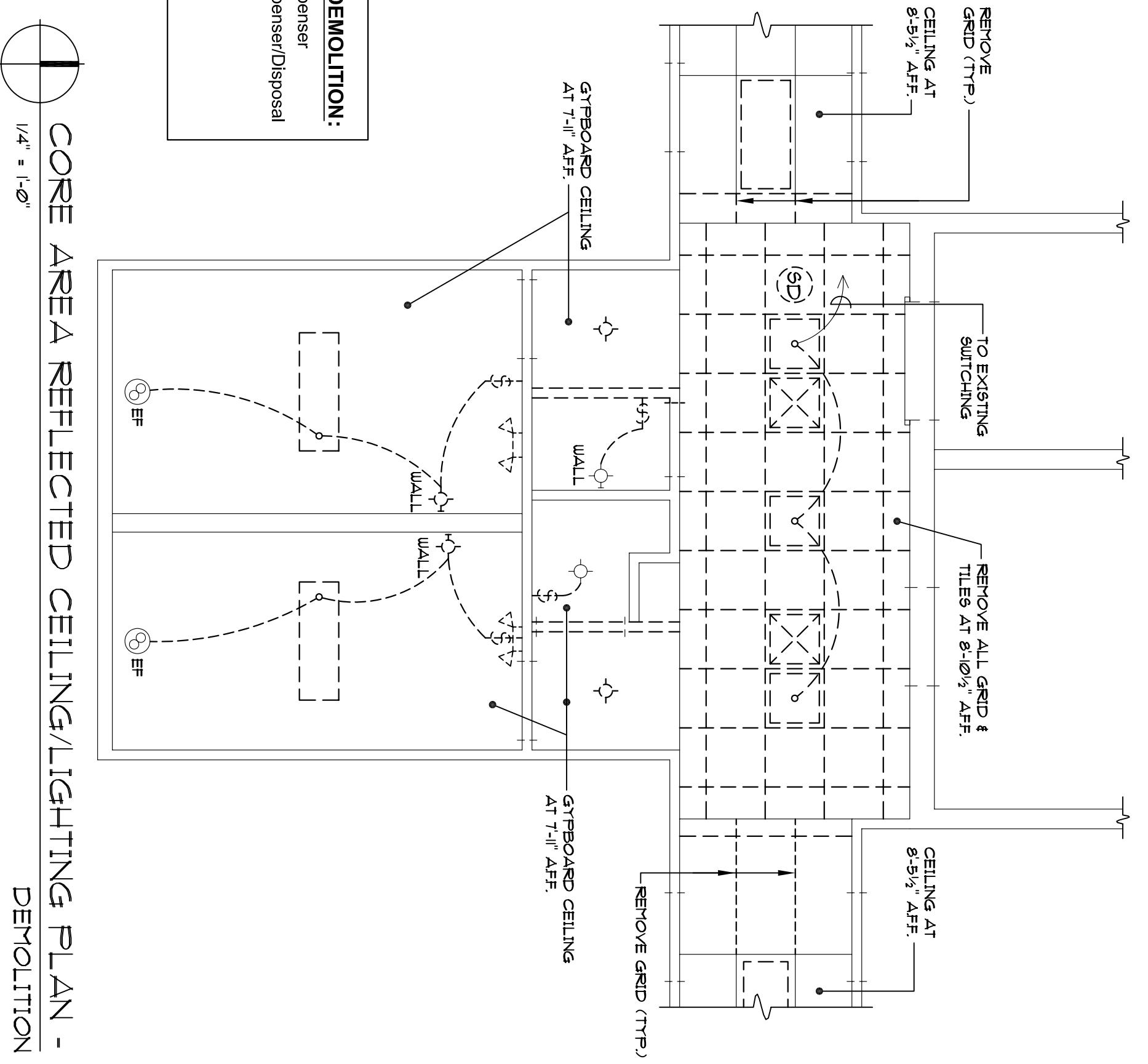


- DEMOLITION NOTES:**
- 1) Remove all carpet, ceramic tile, baseboard, wall covering, C.T., wallboard and acoustical ceiling tiles. (Grid to remain U.O.N.)
 - 2) Remove all work shown on plans.
 - 3) Remove wall wood veneer at Elevator/Stair #2 wall at Lobby.

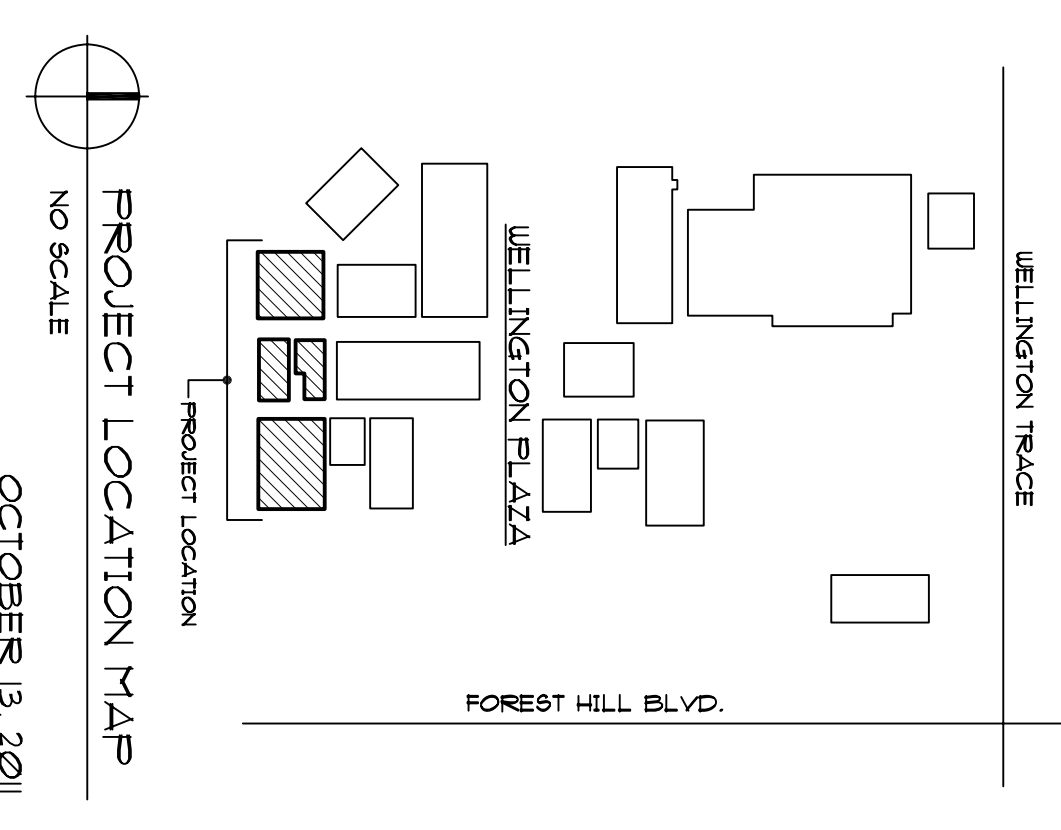


- TOILET ACCESSORY ABBREVIATIONS - DEMOLITION:**
- AUTO PTD Automatic Paper Towel Dispenser
 - PTD/DISP Recessed Paper Towel Dispenser/Dispenser
 - WSD Wall Soap Dispenser
 - TPD Toilet Paper Dispenser
 - HD Hand Dryer



CORE PLAN - DEMOLITION
1/4" = 1'-0"

CORE AREA REFLECTED CEILING/LIGHTING PLAN - DEMOLITION
1/4" = 1'-0"



PROJECT LOCATION MAP
NO SCALE
OCTOBER 13, 2011

PROJECT DATA AT THIS TENANT:

CONSTRUCTION TYPE: TYPE 9B, UNSPRINKLED, UNPROTECTED

FLOOR AREA: = 2,742 S.F.

OCCUPANCY: = BUSINESS

EXITS: = TWO REQUIRED PER SECTION 1016.1

MAXIMUM DEAD END: = 20 FEET PER 1017.3

MAXIMUM TRAVEL: = 200 FEET PER TABLE 1016.1

NO OCCUPANCY CHANGE

COPES FROM THIS PROJECT:
2008 NFPA 101
2007 FIRE PREVENTION CODE (NFPA 1)
2007 LEBEL 2 ALTERNATIONS
2008 NEC (NFPA 70)

INTERIOR REMODEL - SECOND FLOOR COMMON AREA

WELLINGTON PLAZA

12773 WEST FOREST HILL BLVD
WELLINGTON, FLORIDA

KUOPPALA & ASSOCIATES, P.A.

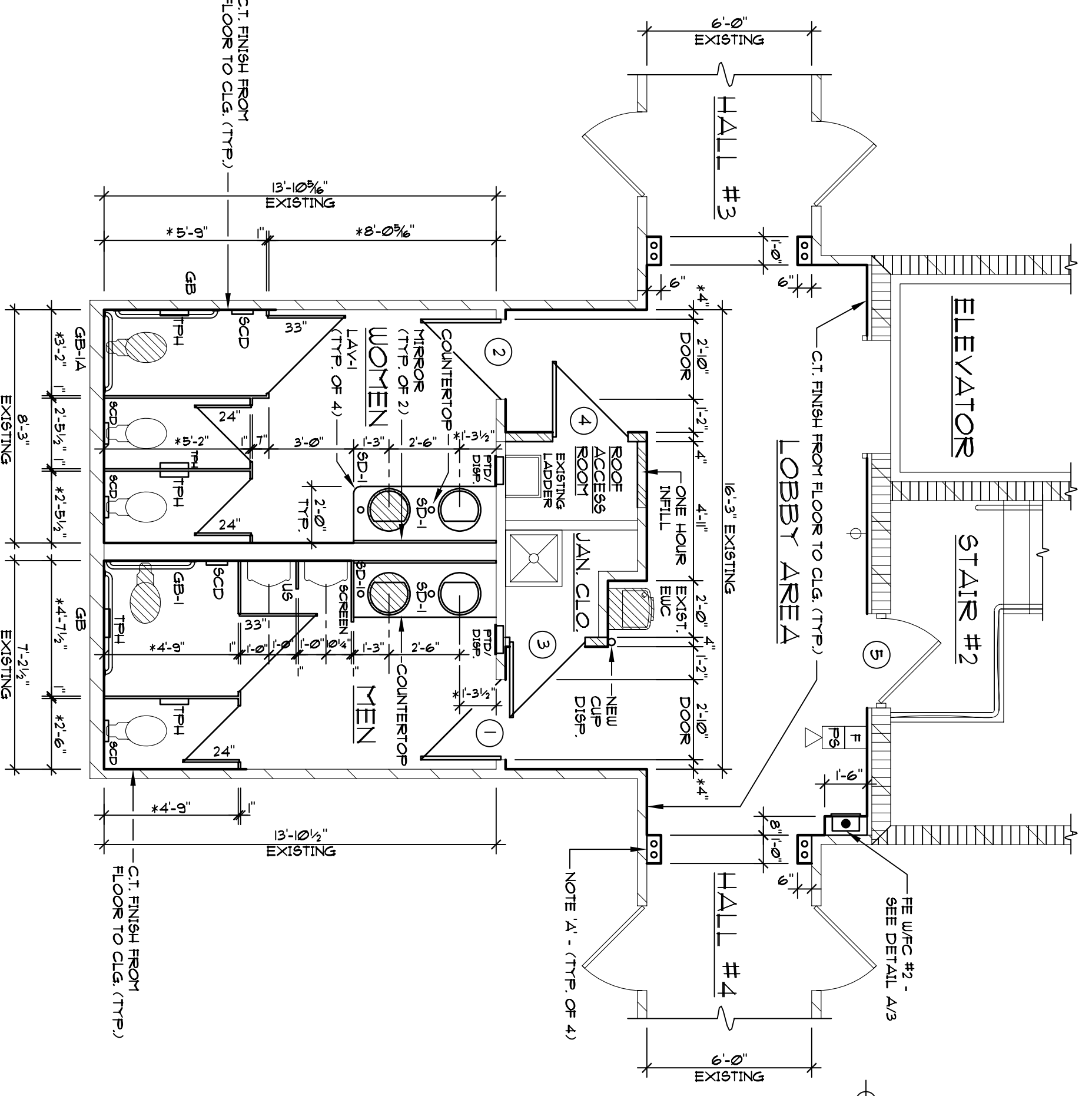
ROBERT E. KUOPPALA ARCHITECTS
FLORIDA ARCHITECT #9481 LICENSE #AAC-001656

925 SOUTH MILITARY TRAIL, SUITE D-10 (561) 682-1909-OFF.
WEST PALM BEACH, FLORIDA 33415 (561) 682-1975-FAX.

REVISIONS	BY

DATE	BY	REVISION
OCTOBER 13, 2011 <td>REK <td>AS NOTED </td></td>	REK <td>AS NOTED </td>	AS NOTED
11-3-0 <td> </td> <td> </td>		
1		
3		

REVISIONS	BY



CORE PLAN - REMODEL

1/4" = 1'-0"

- NOTES:**
- A) 1 layer 1/2" moisture resistive gypsum board on one side 6" x 25 gauge metal studs from floor to 1/2" above ceiling.
- REMODEL NOTES:**
- 1) All work shall conform to applicable national, state, and local codes.
 - 2) Verify all dimensions and conditions in field prior to construction.
 - 3) Fire extinguishers shall be relocated per plan (10# ABC minimum).
 - 4) FIRE EXTINGUISHER CABINETS:
 - FC #1 - Larsen #2409-R2 (fully recessed)
 - FC #2 - Larsen #2409-RR (2 1/2" semi-recessed)
 - 5) Units shall be Vertical Duo with tempered safety glass, clear satin anodized finish and factory lock. Mount units to comply with Florida ADA codes.
 - 6) Room finishes and colors specified by owner.
 - 7) Patch all finishes to match existing.
 - 8) Verify responsibilities with owner prior to construction.
 - 9) Dimensions shown thus: * shall be measured from existing gypsum board.
- ELECTRICAL NOTES:**
- 1) Wire new lights to existing circuits with minimum #12 copper wire.
 - 2) Cap electrical at removed hand-dryers.

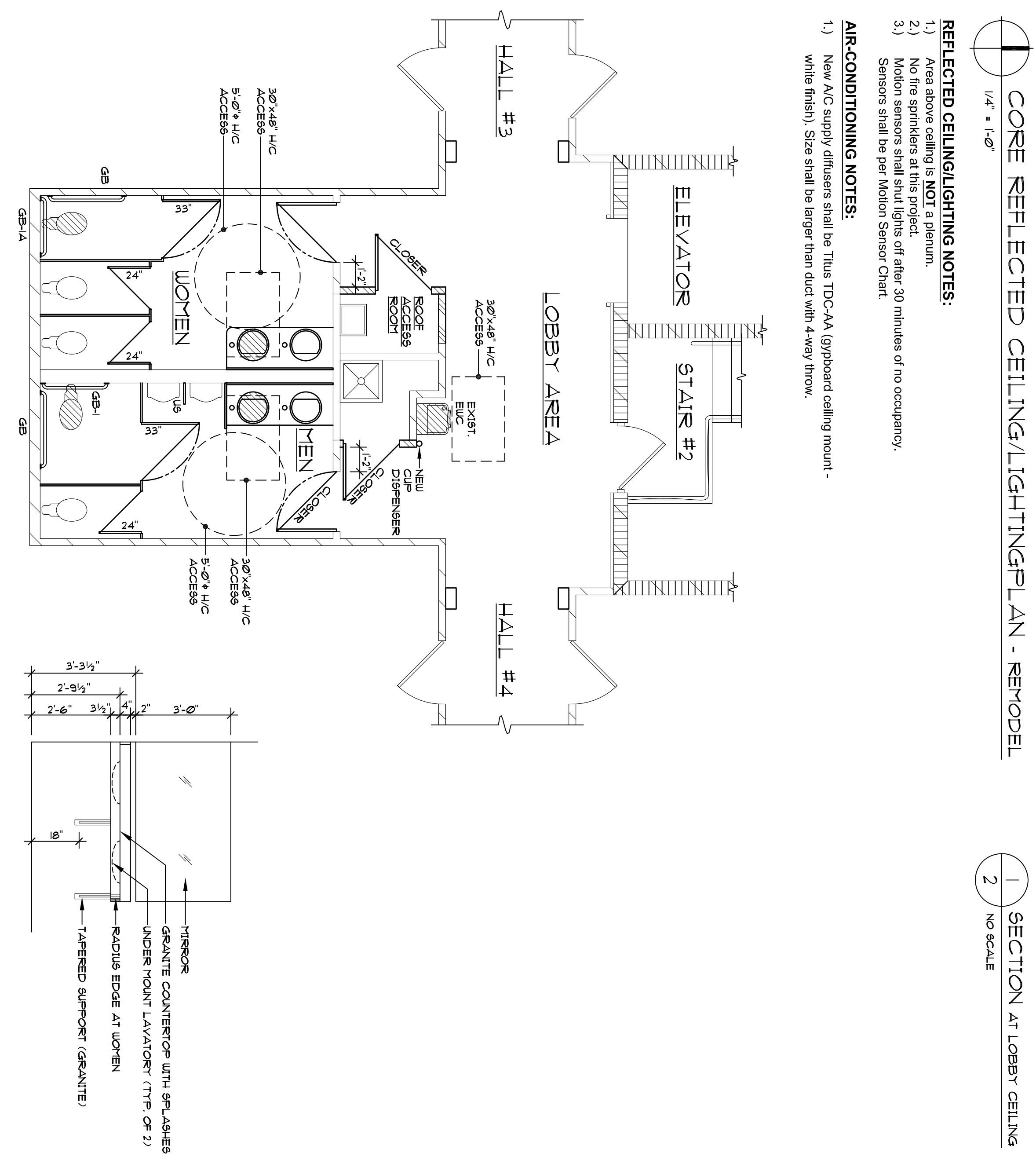
PLUMBING FIXTURE SCHEDULE

MARK	DESCRIPTION	CONNECTION	NOTES
LAV-1	AS ORBIT #0630 (under mount) with #2881 faucet with pop-up drain (ADA) - white	1/2" - 1/2"	Connected plumbing to existing - New
EWC	Existing water cooler with spout at 36" A.F.F.	Exist. - Exist.	Exist. - New

TOILET ACCESSORY SCHEDULE

MARK	DESCRIPTION	NOTES
CB-1	CENTER @ 31" - 36" A.F.F. - MAXIMUM 17" FROM CORNER - HIC	EXIST. - NEW
CB-2	CENTER @ 31" - 36" A.F.F. - MAXIMUM 6" FROM CORNER - HIC	EXIST. - NEW
CB-3	CENTER @ 31" - 36" A.F.F. - MAXIMUM 6" FROM CORNER - HIC	EXIST. - NEW
CB-4	CENTER @ 31" - 36" A.F.F. - MAXIMUM 6" FROM CORNER - HIC	EXIST. - NEW
CB-5	CENTER @ 31" - 36" A.F.F. - MAXIMUM 6" FROM CORNER - HIC	EXIST. - NEW
CB-6	CENTER @ 31" - 36" A.F.F. - MAXIMUM 6" FROM CORNER - HIC	EXIST. - NEW
CB-7	CENTER @ 31" - 36" A.F.F. - MAXIMUM 6" FROM CORNER - HIC	EXIST. - NEW
CB-8	CENTER @ 31" - 36" A.F.F. - MAXIMUM 6" FROM CORNER - HIC	EXIST. - NEW
CB-9	CENTER @ 31" - 36" A.F.F. - MAXIMUM 6" FROM CORNER - HIC	EXIST. - NEW
CB-10	CENTER @ 31" - 36" A.F.F. - MAXIMUM 6" FROM CORNER - HIC	EXIST. - NEW

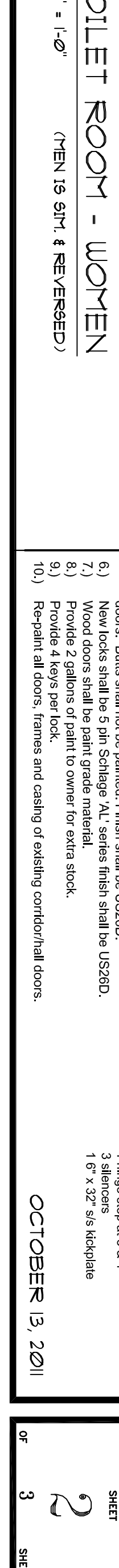
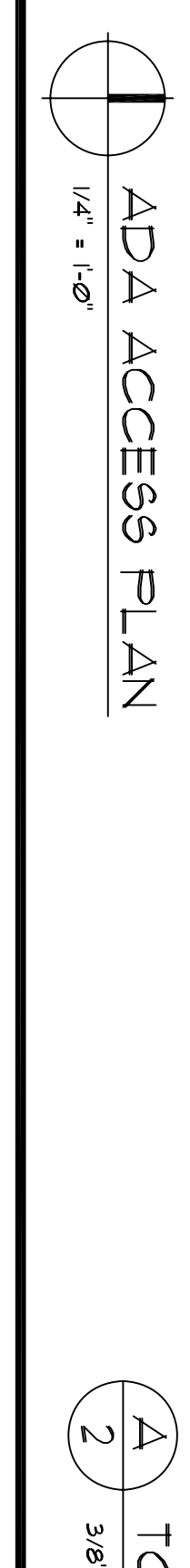
- TOILET ACCESSORY SCHEDULE NOTES:**
- 1) Equal substitutions are permitted.
 - 2) Where substitutions are used, the contractor shall submit a submittal log to the architect for approval.
 - 3) Standard hardware. Urinal screens shall be Bidtek #1030 Trimline series - 18" deep X 42" high.
 - 4) Screens shall be 24" deep X 42" high. Plastic laminate shall be Wilson-Art #724 Blinnon Cherry.
 - 5) Frames & install shall be wood blocking for grid bars.



REFLECTED CEILING/LIGHTING PLAN - REMODEL

1/4" = 1'-0"

- REFLECTED CEILING/LIGHTING NOTES:**
- 1) Area above ceiling is NOT a plenum.
 - 2) No fire sprinklers at this project.
 - 3) Motion sensors shall shut lights off after 30 minutes of no occupancy. Sensors shall be per Motion Sensor Chart.
- AIR-CONDITIONING NOTES:**
- 1) New A/C supply diffusers shall be Tiltu TD-CA (gypsum ceiling mount - white finish). Size shall be larger than duct with 4-way throw.



LIGHT FIXTURE SCHEDULE

MARK	DESCRIPTION
A	Down 850-21812185 with 2 x 42 watt R-7 LED fluorescent, 6" from top of globe to ceiling.
B	Progress 17188-30818 with 2 x 28 ballast and 1 x 8 ballast - Surface Mount.
C	H.E. Williams P903-595-024-C35-UNV - Recessed H.E.H.L.
D	Dynalite Alpha Z92VAL-C526-PMW-120 (VIM) with 3 x T8T15 bulbs & electronic ballast.
E	Lithonia D4L-SM-4-G-120 EL with LED bulbs with battery pack and bulbs - white). (2)
F	Lithonia D4L-SM-4-G-120 EL with LED bulbs with battery pack and bulbs - white). (2)
G	Universal LED S. 6" 250-MH with halogen bulbs (with 90 minute battery pack and bulbs - white). (2)

NOTES:

- 1) Units specified are performance specifications.
- 2) Wire lights to general lighting circuit of the same branch of switchgear.
- 3) Motion sensors shall be per Motion Sensor Chart.
- 4) Additional notes shall be located on existing drawings.

MOTION SENSOR CHART:

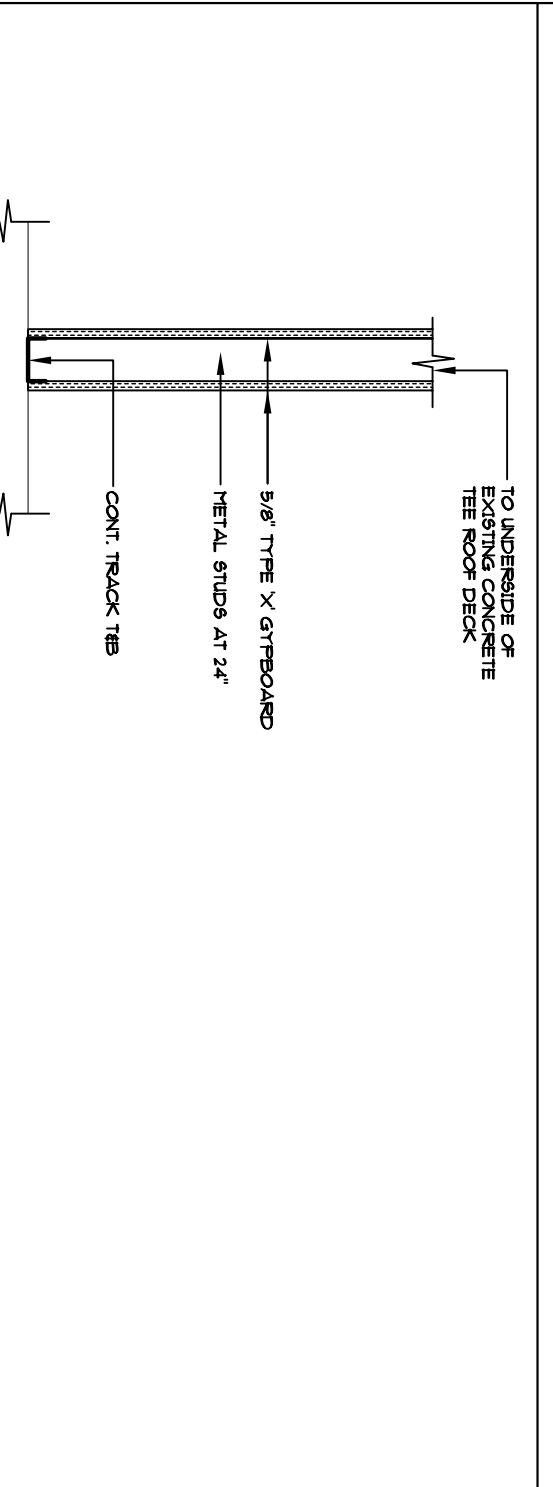
MS (CLG) Sensor Switch WSD-PDT- 48" A.F.F. to center (line voltage) - white
Sensor Switch CMR-PDT-10 (line voltage) - white

NOTES:

- 1) Wall mounted units shall be at 48" A.F.F.
- 2) Motion sensors are 8' from microphone units.

LEGEND - NOT ALL SYMBOLS APPLY TO THIS PROJECT

---	EXISTING TO BE REMOVED
----	EXISTING EXTERIOR CURB
=====	EXISTING ONE HOUR CURB WALL
	NEW DOOR
▭	EXISTING PARTITION - NO LOCK
▭	EXISTING ONE HOUR TRANSIT PARTITION PARTITION - NO LOCK
▭	NEW GYM PARTITION - 1 LAYER 5/8" TYPE X GYPSUM BOARD EACH SIDE 3/4" x 3/8 GAGE METAL STUDS AT 24" R/C TO UNDERSIDE OF CONCRETE TIE ROOF DECK AT 10'6" A.F.F. - ONE HOUR RATED PER G.A. U9070
○	EXISTING NEW OUTLET
○	EXISTING 8 AMP V. AIR GLETTE
○	EXISTING 20 AMP AIR GLETTE
○	EXISTING 30 AMP PAN
○	EXISTING 20 AMP PAN
○	EXISTING 15 AMP PAN
○	EXISTING 10 AMP PAN
○	EXISTING 5 AMP PAN
○	EXISTING 15 AMP PAN
○	EXISTING 20 AMP PAN
○	EXISTING 30 AMP PAN
○	EXISTING 40 AMP PAN
○	EXISTING 50 AMP PAN
○	EXISTING 60 AMP PAN
○	EXISTING 75 AMP PAN
○	EXISTING 90 AMP PAN
○	EXISTING 100 AMP PAN
○	EXISTING 125 AMP PAN
○	EXISTING 150 AMP PAN
○	EXISTING 200 AMP PAN
○	EXISTING 300 AMP PAN
○	EXISTING 400 AMP PAN
○	EXISTING 500 AMP PAN
○	EXISTING 600 AMP PAN
○	EXISTING 750 AMP PAN
○	EXISTING 1000 AMP PAN



ROOM FINISH SCHEDULE

FLOOR	BASE	WALLS	CEILING
HALL #1	CARPET (1)	1/2" UCCO (3)	AC TIE (8)
HALL #2	CARPET (1)	1/2" UCCO (3)	AC TIE (8)
HALL #3	CARPET (1)	1/2" UCCO (3)	AC TIE (8)
HALL #4	CARPET (1)	1/2" UCCO (3)	AC TIE (8)
LOBBY	CARPET (1)	1/2" UCCO (3)	AC TIE (8)
TOILET ROOM - WOMEN	CARPET (1)	1/2" UCCO (3)	AC TIE (8)
JANITOR	CARPET (1)	1/2" UCCO (3)	AC TIE (8)
ROOF ACCESS ROOF	CARPET (1)	1/2" UCCO (3)	AC TIE (8)

DOOR SCHEDULE

SIZE	DOOR PANEL	FRAME	HANDLE	LOCK	FINISH	REMARKS
1' x 1'	MATERIAL FINISH	MATERIAL FINISH	SCROOP RATING	---	---	---
1' x 1'	MATERIAL FINISH	MATERIAL FINISH	SCROOP RATING	---	---	---
1' x 1'	MATERIAL FINISH	MATERIAL FINISH	SCROOP RATING	---	---	---
1' x 1'	MATERIAL FINISH	MATERIAL FINISH	SCROOP RATING	---	---	---
1' x 1'	MATERIAL FINISH	MATERIAL FINISH	SCROOP RATING	---	---	---
1' x 1'	MATERIAL FINISH	MATERIAL FINISH	SCROOP RATING	---	---	---

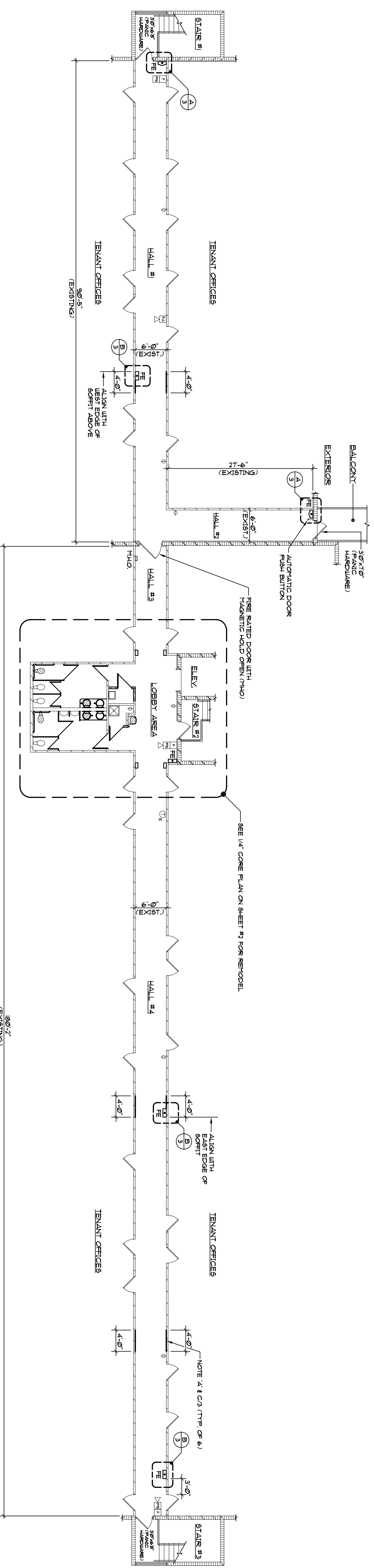
DOOR SCHEDULE NOTES:

- 1) Finish new wood with one coat latex primer and 2 coats gloss latex enamel.
- 2) Finish existing wood with 2 coats gloss latex enamel.
- 3) Finish all hollow metal with 2 coats gloss latex enamel.
- 4) Finish all metal doors with 1 coat primer and 2 coats gloss latex enamel. If existing wood or HM, is finished with oil based paint, contact Architect.
- 5) New units shall be 3 1/2" x 3 1/2" minimum at wood doors. Ball bearing units at doors. Burs shall not be painted. Finish shall be US250.
- 6) New lock shall be pin tumbler. Finish shall be US250.
- 7) New lock shall be pin tumbler. Finish shall be US250.
- 8) Provide 2 gallons of paint to owner for extra stock.
- 9) Provide 4 keys per lock.
- 10) Repaint all doors, frames and casing of existing conventional doors.

DATE: OCTOBER 13, 2011
SCALE: AS NOTED
DRAWN BY: GUY
CHECKED BY: REK
PROJECT: WELINGTON PLAZA
SHEET: 2

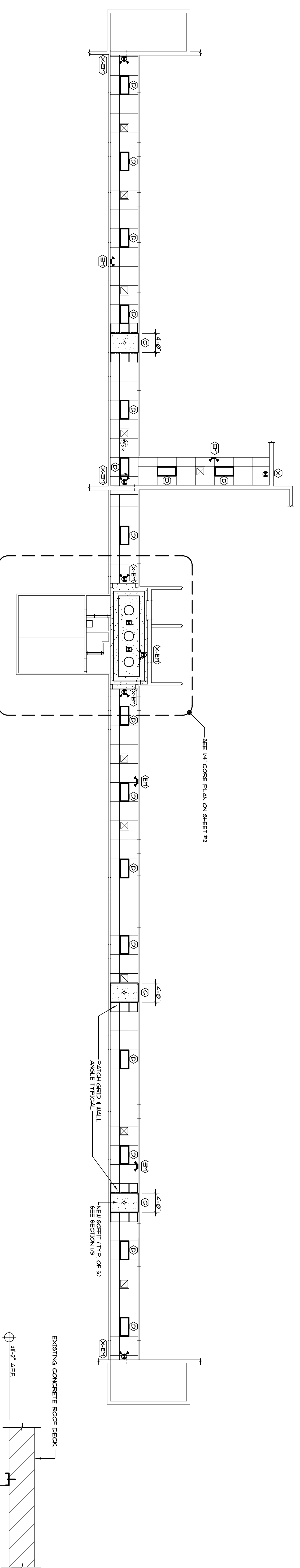
INTERIOR REMODEL - SECOND FLOOR COMMON AREA
WELLINGTON PLAZA
12773 WEST FOREST HILL BLVD
WELLINGTON, FLORIDA

KUOPPALA & ASSOCIATES, P.A.
ROBERT E. KUOPPALA ARCHITECTS
FLORIDA ARCHITECT #9481 LICENSE #AAC-001656
925 SOUTH MILITARY TRAIL, SUITE D-10 (561) 682-1909-OFF.
WEST PALM BEACH, FLORIDA 33415 (561) 682-1975-FAX.



OVERALL CORRIDOR-LOBBY FLOOR PLAN/POWER PLAN - REMODEL
 3/32" = 1'-0"

- NOTES:**
- A) 1 layer 1/2" gypboard on 1 1/2" X 25 gage metal studs @ 24" o.c. from floor to 8'-0" A.F.F. (DO NOT PENETRATE ONE HOUR CORRIDOR)
 - Align with new soffit above. See Detail C/3.



OVERALL CORRIDOR-LOBBY REFLECTED CEILING/LIGHTING PLAN - REMODEL
 3/32" = 1'-0"

- REFLECTED CEILING/LIGHTING NOTES:**
- 1) Area above ceiling is **NOT** a plenum.
 - 2) No fire sprinklers at this project.
 - 3) Motion sensors shall shut lights off after 30 minutes of no occupancy. Sensors shall be per Motion Sensor Chart.

ENERGY CODE COMPLIANCE NOTE (2007 FBC WITH 2009 AMENDMENTS):

- DRAWINGS:**
- Within 30 days after the date of system acceptance, record drawings of the actual installation shall be provided by the contractor to the building owner, including:
 - 1.) A single-line diagram of the building electrical distribution system, and
 - 2.) Floor plans indicating the location and area served for all distribution.

MANUALS:

- An operating manual and maintenance manual shall be provided by the contractor to the building owner. The manuals shall include, at a minimum, the following:
 - 1.) Submittal data stating equipment rating and selected options for each piece of equipment requiring maintenance.
 - 2.) Operation manuals and maintenance manuals for each piece of equipment requiring maintenance. Required routine maintenance actions shall be clearly identified.
 - 3.) Names and addresses of at least one qualified service agency.

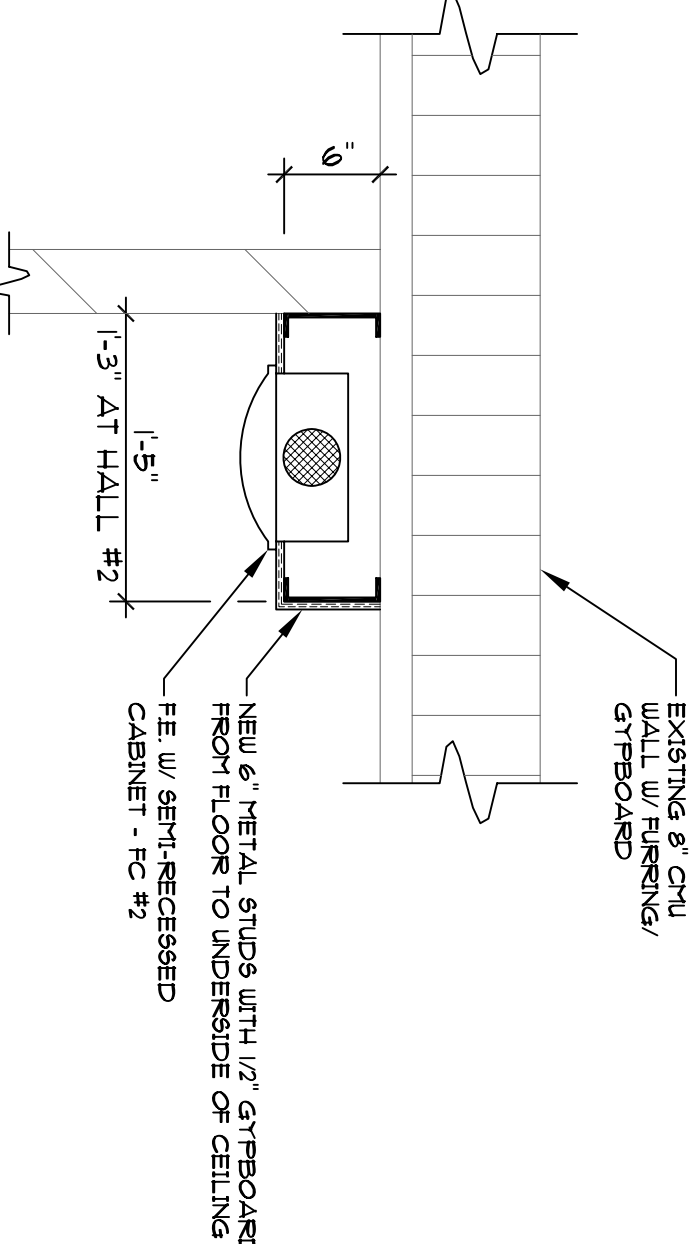
LIGHTING:

- 1) New general lighting level conforms to 2007 FBC with 2009 Revisions.

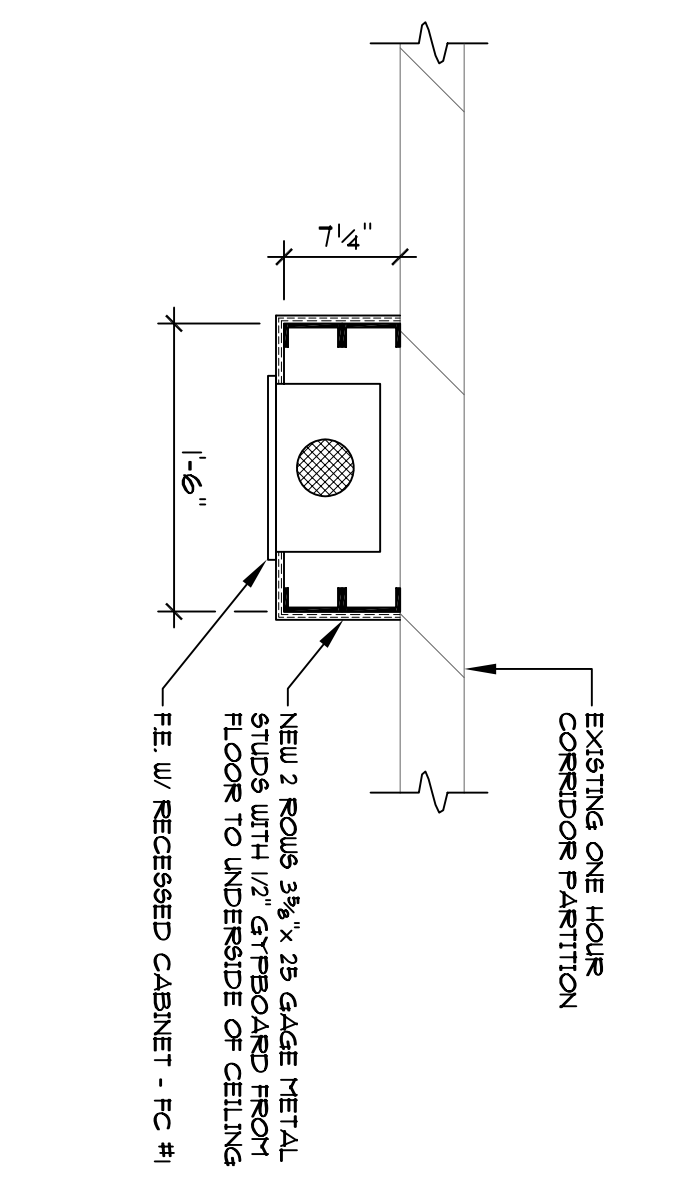
MARK	DESCRIPTION
A	Domie #92-3191216 with 2 - 32 watt P-1 Tubes (pendant, 5' from top of globe to ceiling)
B	Progress P71813031R with 2 - F23 bulbs and 1-4 ballast - Surface Mount.
C	H.E. Williams PH80296-G2A03-CS-LINV - recessed fixture.
D	Dynex Aleva E2AV-C2028-PWV-120 (Vary) with 3 - F23T5 bulbs & electronic ballast.
X	Ultralox OAK-SM-1-50-BL with ED bulbs (with battery pack and bulbs - white), (2)
XEM	Ultralox OAK-SM-1-50-BL with ED bulbs (with battery pack and bulbs - white), (2)
XEM	Ultralox OAK-SM-1-50-BL with ED bulbs (with battery pack and bulbs - white), (2)

- NOTES:**
- 1) Units specified are performance specifications.
 - 2) Wire lights to general lighting panel of this area ahead of switches.
 - 3) Additional load to be placed on existing conduit.

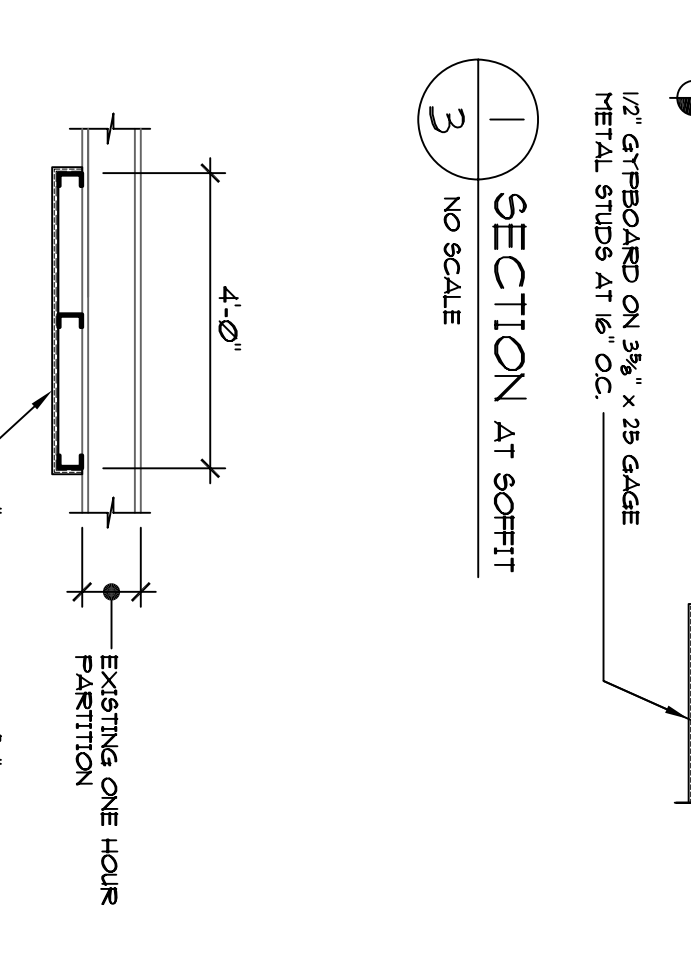
A FE. CABINET DETAIL (SEMI-RECESSED)
 3 1" = 1'-0"



B FE. CABINET DETAIL (RECESSED)
 3 1" = 1'-0"



C HALL ACCENT DETAIL
 3 NO SCALE



REVISIONS	BY

KUOPPALA & ASSOCIATES, P.A.
 ROBERT E. KUOPPALA ARCHITECTS
 FLORIDA ARCHITECT #9481 LICENSE #AAC-001656
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INTERIOR REMODEL - SECOND FLOOR COMMON AREA
WELLINGTON PLAZA
 12773 WEST FOREST HILL BLVD
 WELLINGTON, FLORIDA

DRAWN	CKL
CHECKED	REK
DATE	OCTOBER 13, 2011
SCALE	AS NOTED
CONV. NO.	11-30
SHEET	3
SHEETS	3

OCTOBER 13, 2011