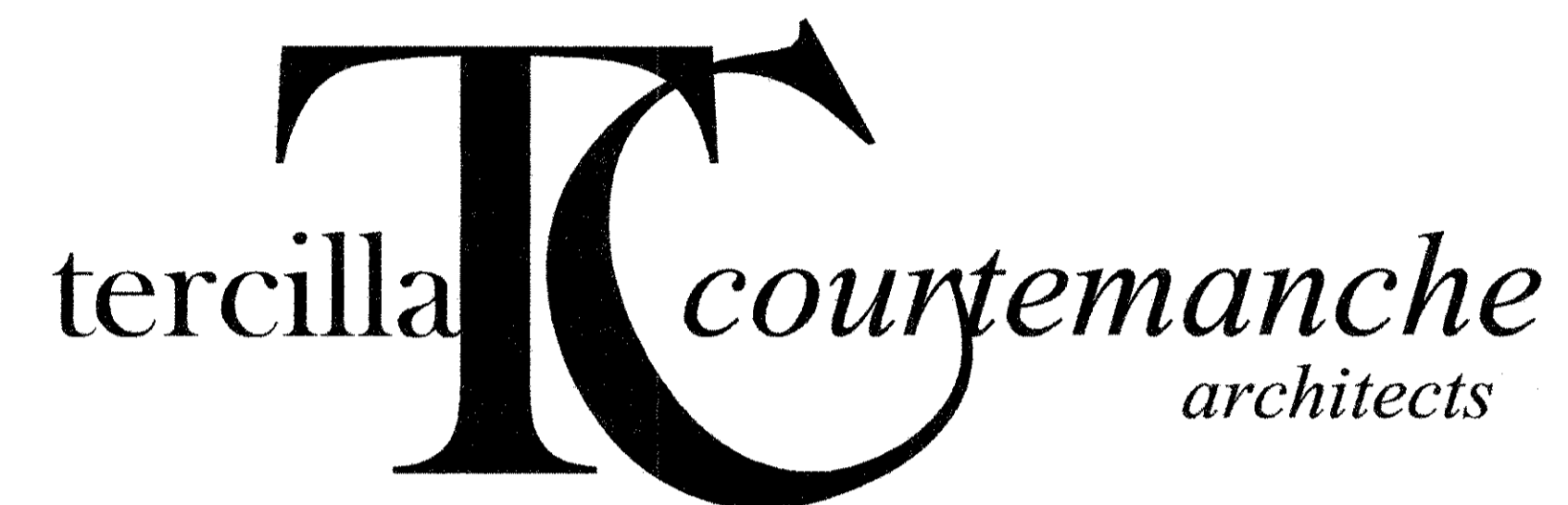


TENANT RENOVATION FOR:
SECURITY NETWORKS

3223 COMMERCE PLACE, SUITE 101
WEST PALM BEACH, FLORIDA



AA 0003414

TO THE BEST OF MY KNOWLEDGE,
THESE DRAWINGS ARE COMPLETE AND
COMPLY WITH THE FLORIDA BUILDING CODE, THE FLORIDA
FIRE PREVENTION CODE AND ALL OTHER APPLICABLE
CODES AND REGULATIONS.

ARCHITECT:

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SHEET INDEX

ARCHITECTURAL

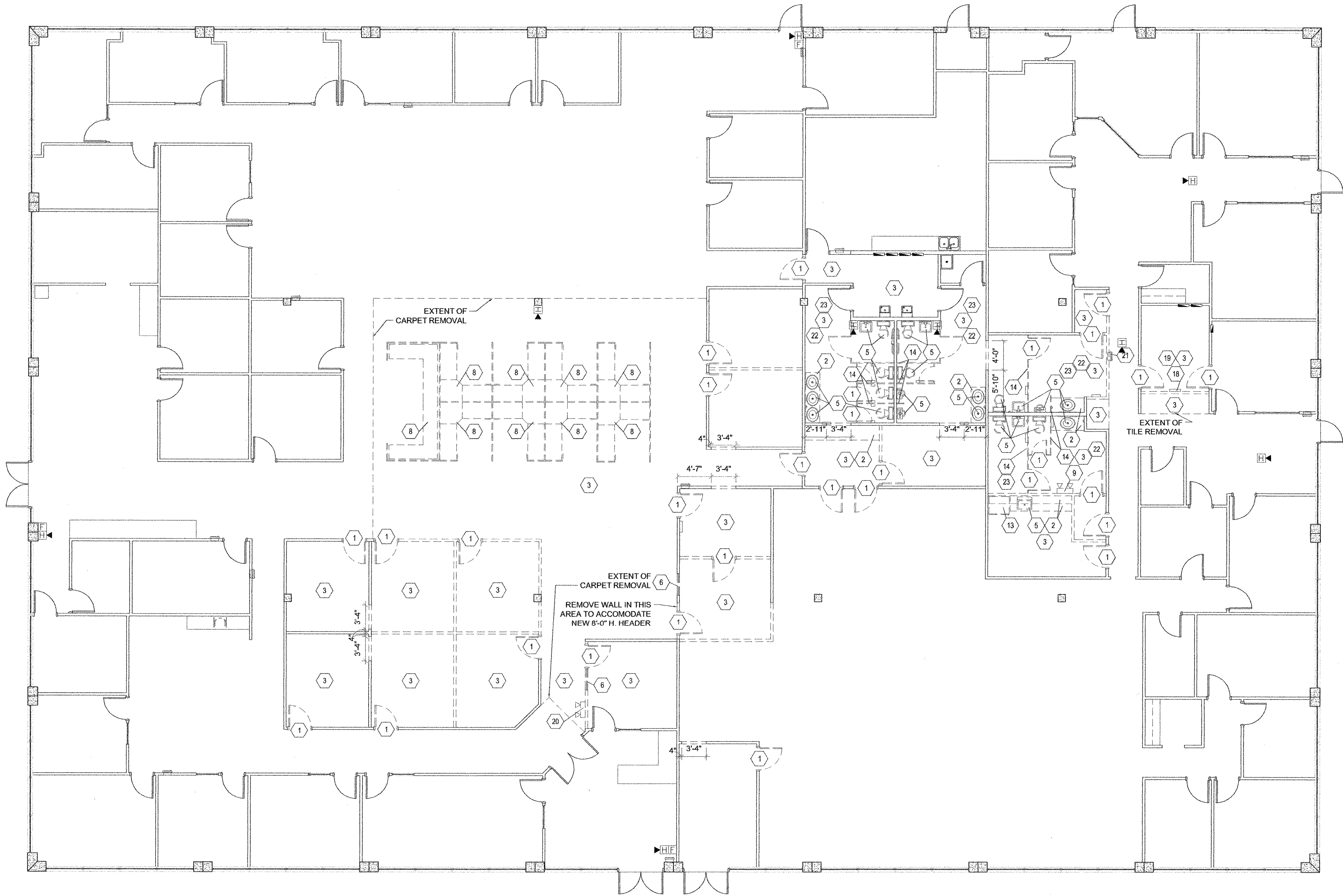
AD 1.1	DEMOLITION PLAN & NOTES
LS 1.1	LIFE SAFETY PLAN
A 1.1	FLOOR PLAN, NOTES & SCHEDULES
A 2.1	CEILING PLAN & DETAILS
A 3.1	WALL TYPES & DETAILS

ELECTRICAL/MECHANICAL/PLUMBING

M 1	HVAC PLAN, PLUMBING PLAN, NOTES, SCHEDULES & DETAILS
E 1	ELECTRICAL LIGHTING PLAN, NOTES & RISERS
E 2	ELECTRICAL POWER PLAN & SCHEDULE

DEMOLITION PLAN GENERAL NOTES

- DEMOLITION CONSISTS OF THE COMPLETE DISASSEMBLING, REMOVAL AND DISPOSAL OFF-SITE OF PORTIONS OF THE EXISTING BUILDING AS INDICATED.
- IF HAZARDOUS MATERIAL (LEAD PAINT, ETC.) OR MATERIALS SUSPECTED OF CONTAINING ASBESTOS ARE ENCOUNTERED DURING THE DEMOLITION WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY. ASBESTOS CONTAINING MATERIAL SHALL BE REMOVED AND DISPOSED OF BY THE OWNER.
- CONDITIONS OF STRUCTURES: THE OWNER AND ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACTUAL CONDITION OF STRUCTURES TO BE DEMOLISHED.
 - CONDITIONS EXISTING AT THE TIME OF INSPECTION, FOR BIDDING PURPOSES WILL BE MAINTAINED BY THE OWNER IN SO FAR AS PRACTICAL.
 - THE OWNER WILL REMOVE DESIRED ITEMS, NOT SCHEDULED OR SELECTED TO BE SALVAGED BY THE CONTRACTOR, FROM THE BUILDING PRIOR TO START OF DEMOLITION.
- SALVAGING
 - THE OWNER SHALL DETERMINE WHICH ITEMS ARE TO BE REMOVED BY THIS CONTRACTOR AND TURNED OVER TO THE OWNER TO BE REINSTALLED. THE CONTRACTOR SHALL INQUIRE AT BID TIME WHICH ITEMS SHOULD BE INCLUDED.
 - OTHER ITEMS TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF-SITE.
- STORAGE OR SALE OF REMOVED ITEMS AND MATERIALS WILL NOT BE PERMITTED ON THE OWNER'S PROPERTY.
- UTILITIES SHALL BE DISCONNECTED BY THE GENERAL CONTRACTOR PRIOR TO THE START OF DEMOLITION.
- PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT OR SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND ADJACENT FACILITIES TO REMAIN AS REQUIRED.
- BUILDING DEMOLITION: DEMOLISH THOSE PORTIONS OF THE EXISTING BUILDING DENOTED ON THE DRAWINGS AS BEING TOTALLY DEMOLISHED. USE SUCH METHODS AS REQUIRED TO COMPLETE THE WORK WITHIN THE LIMITATIONS OF GOVERNING REGULATIONS.
 - PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER FROM THE TOP OF THE STRUCTURE TO THE GROUND.
 - DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
 - LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS TO NOT IMPOSE EXCESSIVE WALLS TO SUPPORTING WALLS, FLOOR, OR FRAMING.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ADJACENT AREAS AS A RESULT OF DEMOLITION WORK PERFORMED BY THE CONTRACTOR.
- DISPOSAL OF DEMOLISHED MATERIAL
 - STORAGE OF REMOVED MATERIALS ON THE SITE WILL NOT BE PERMITTED.
 - REMOVE AND LEGALLY DISPOSE OF OFF-SITE METAL ITEMS, DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS AT CONTRACTOR EXPENSE.
 - GENERAL CONTRACTOR SHALL PROVIDE A DUMPSTER FOR DEMOLISHED ITEMS. THE BUILDING DUMPSTER SHALL NOT BE USED.
- PROTECT FROM DAMAGE, WHEN AND AS DIRECTED, EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND BECOME EXPOSED DURING DEMOLITION OPERATIONS.
- PROVIDE TEMPORARY WEATHER PROTECTION DURING INTERVALS BETWEEN DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION ON EXTERIOR SURFACES, AND INSTALLATION OF NEW CONSTRUCTION TO INSURE THAT NO WATER LEAKAGE OR DAMAGE OCCURS TO STRUCTURE OF INTERIOR AREAS OF EXISTING BUILDING.
- UTILITY SERVICES: MAINTAIN ALL EXISTING UTILITIES NOT INDICATED TO BE DEMOLISHED, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS. COORDINATE WITH THE OWNER.
THE GENERAL CONTRACTOR SHALL TAKE CARE TO ENSURE THAT ALL ELECTRICAL POWER IS TURNED OFF PRIOR TO DEMOLITION OF ELECTRICAL COMPONENTS. ALL WIRING SHALL BE PROPERLY TERMINATED TO COMPLY W/ APPLICABLE CODES AND AVOID UNSAFE CONDITIONS.
- TRAFFIC: CONDUCT DEMOLITION OPERATIONS AND THE REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
 - DO NOT CLOSE OR OBSTRUCT STREETS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY GOVERNING REGULATIONS.
- CEASE OPERATIONS AND NOTIFY ARCHITECT AND OWNER'S REPRESENTATIVE IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO SUPPORT STRUCTURE UNTIL DETERMINATION IS MADE FOR CONTINUING OPERATIONS.
- COVER AND PROTECT EQUIPMENT, AND FIXTURES TO REMAIN FROM SOILING OR DAMAGE WHEN DEMOLITION WORK IS PERFORMED IN ROOMS OR AREAS FROM WHICH SUCH ITEMS HAVE NOT BEEN REMOVED.
- LOCATE, IDENTIFY, STUB-OFF, AND DISCONNECT UTILITY SERVICES THAT ARE NOT INDICATED TO REMAIN.
 - PROVIDE BYPASS CONNECTIONS AS NECESSARY TO MAINTAIN CONTINUITY OF SERVICE TO BE OCCUPIED AREAS OF BUILDING. PROVIDE MINIMUM 72 HOURS ADVANCE NOTICE TO OWNER IF SHUTDOWN OF SERVICE IS NECESSARY DURING CHANGEOVER.
 - IF UNANTICIPATED, MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS WHICH CONFLICT WITH INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND ACCESS BOTH NATURE AND EXTENT OF THE CONFLICT. SUBMIT REPORT TO THE ARCHITECT IN WRITTEN, ACCURATE DETAIL. PENDING RECEIPT OF DIRECTIVE FROM ARCHITECT, REARRANGE SELECTIVE DEMOLITION SCHEDULE AS NECESSARY TO CONTINUE OVERALL JOB PROGRESS WITHOUT DELAY.
- CONTRACTOR TO COORDINATE TEMPORARY SAFE STORAGE WITH OWNER.
- DEMOLITION AND CONSTRUCTION SHALL NOT INTERFERE WITH BUILDING AND OTHER TENANT OPERATIONS.
- ALL BUILDING LIFE SAFETY EQUIPMENT, I.E. FIRE SPRINKLERS, FIRE ALARMS, ETC. SHALL REMAIN FULLY OPERATIONAL DURING DEMOLITION AND CONSTRUCTION.
- ALL PLUMBING LINES BEING REMOVED SHALL RECEIVE SHUT OFF VALVE AND BE CAPPED. VENTS SHALL BE CAPPED AND SEALED OFF ON ROOF.
- REMOVE EACH ITEM SHOWN WITH DASHED LINES ON THIS DRAWING WHETHER OR NOT EACH ITEM IS SPECIFICALLY NOTED TO BE REMOVED.
- AFTER THE DEMOLITION OF MATERIALS, THE RESULTING EXPOSED SURFACE SHALL BE SMOOTH AND FLUSH WITH EXISTING CONDITIONS.
- MAINTAIN THE EGRESS REQUIRED IN ALL AREAS PER ALL APPLICABLE CODES AND STANDARDS DURING CONSTRUCTION.
- ALL CONSTRUCTION AND DEMOLITION PROCEDURES SHALL COMPLY W/ NFPA 241.



01

DEMOLITION PLAN

SCALE: 1/8"=1'-0"

DEMOLITION PLAN KEY NOTES	
	EXISTING TO BE REMOVED.
	EXISTING DOORS TO BE REMOVED.
	EXISTING STUD WALL TO REMAIN.
	EXISTING MASONRY WALL TO REMAIN. (SEE A1.1 FOR RELOCATED DOORS)
	REMOVE EXISTING BUILT-IN CASEWORK AND SHELVING.
	REMOVE EXISTING FLOOR FINISH.
	REMOVE EXISTING CEILING/ SOFFIT AS REQ'D.
	REMOVE EXISTING PLUMBING FIXTURES AND CAP UTILITIES @ LOCATIONS NOT BEING REUSED.
	REMOVE EXISTING WINDOW.
	REMOVE EXISTING FIRE EXTINGUISHERS AND STORE FOR FUTURE REUSE.
	REMOVE FURNITURE.
	REMOVE EXISTING LIGHT FIXTURES.
	REMOVE EXISTING FIRE ALARM DEVICE AND STORE FOR FUTURE REUSE.
	REMOVE EXISTING EXIT/ EMERGENCY LIGHT.
	REMOVE EXISTING RETURN AND SUPPLY GRILLES AND DISCONNECT DUCTWORK FROM GRILLES AND LEAVE SUSPENDED FOR FUTURE REUSE PER MECHANICAL PLANS.
	REMOVE EXISTING REFRIGERATOR.
	REMOVE EXISTING TOILET PARTITION.
	REMOVE EXISTING SECURITY CAMERA AND STORE FOR FUTURE REUSE.
	REMOVE EXISTING SWITCHES AND OUTLETS AND TERMINATE WIRING AND CIRCUITS FOR FUTURE REUSE.
	CUT OPENING IN ROOF TO ACCOMMODATE ROOF FAN. COORDINATE OPENING SIZE WITH MANUFACTURER. (SEE MECHANICAL PLANS & STRUCTURAL DETAILS FOR ADDITIONAL INFORMATION)
	RELOCATE EXISTING MINI SPLIT SYSTEM TO ROOM 103.
	REMOVE EXISTING SERVER & RELOCATED EQUIPMENT TO ROOM 103.
	RELOCATE EXISTING LIGHT FIXTURE TO LOCATION SHOWN ON SHEET LS1.1
	RELOCATE EXISTING FIRE EXTINGUISHER TO LOCATION SHOWN ON SHEET LS1.1
	REMOVE EXISTING WALL TILE.
	REMOVE ALL REST ROOM ACCESSORIES & FIXTURES.

TENANT RENOVATION FOR:
SECURITY NETWORKS

3928 COMMERCE PLACE, SUITE 101
WEST PALM BEACH, FLORIDA

commission 29010

date: 01-20-10

revision date

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BUILDING CODE INFORMATION	
(BASED ON FBC 2007 W/ 2009 SUPPLEMENTS)	
DESIGN: EXISTING ONE STORY BUILDING TYPE II B CONSTRUCTION UNSPRINKLERED	
LEVEL OF ALTERATION PER EXISTING BUILDING CODE: LEVEL 2	
OCCUPANCY CLASSIFICATION: BUSINESS - GROUP B	
TOTAL BUILDING OCCUPANT LOAD: 20,125 SF / 100 = 201 OCCUPANTS	
LIFE SAFETY SYSTEM:	
Emergency Lighting and Exit Signs	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Fire Alarm and Smoke Detection Systems	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Panic Hardware	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
EXIT REQUIREMENTS:	
Dead end limit-maximum condition	20 Feet
Travel distance to exit-maximum condition	200 Feet

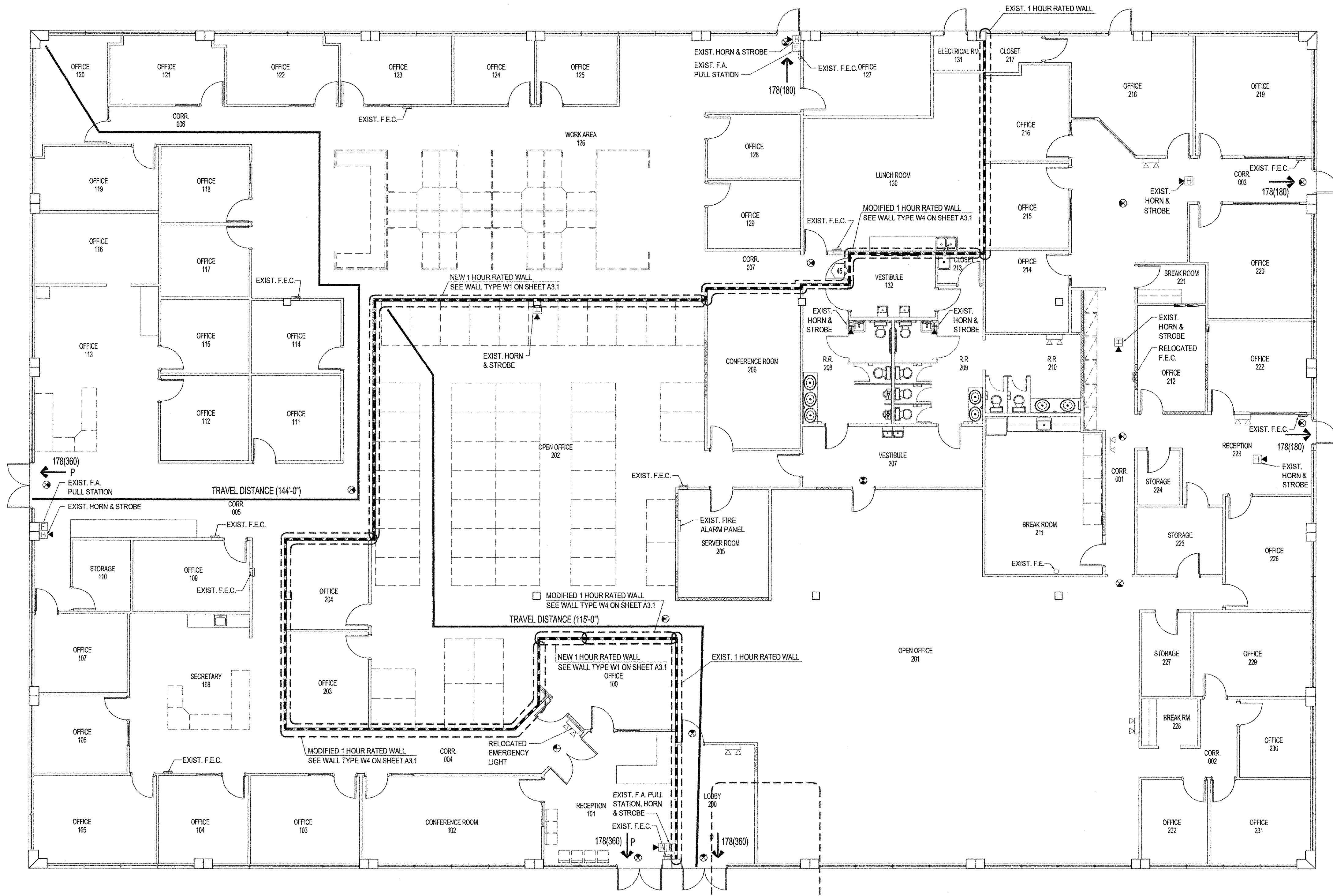
LIFE SAFETY NOTES

- OCCUPANCY TYPE SHALL BE "BUSINESS"
 - FIRE STOPPING AND DRAFT STOPPING SHALL BE PROVIDED AT ANY CONCEALED SPACE IN WHICH EXPOSED MATERIAL HAS A FLAME-SPREAD RATING LESS THAN CLASS-A.
- RATED ASSEMBLIES**
- FIRE RATED WALL ASSEMBLIES SHALL EXTEND FULLY FROM THE FLOOR TO THE STRUCTURE & DECK ABOVE. ALL PENETRATIONS OF RATED ASSEMBLIES SHALL BE PROTECTED PER NFPA 101, BY FIRE DAMPERS, SLEEVES OR FIRE CAULKING BY A U.L. APPROVED METHOD.
 - PROVIDE FIRE CAULKING AT ALL PIPE, DUCTWORK, STRUCTURAL STEEL AND METAL JOIST PENETRATION OF FIRE-RATED WALLS.
 - BUILDING EXIT DOORS REQUIRED BY CODE SHALL HAVE PANIC DEVICES AND SWING IN THE DIRECTION OF EGRESS.
- REQUIREMENTS**
- ALL CORRIDORS AND NORMALLY OCCUPIED ROOMS SHALL BE EQUIPPED WITH EMERGENCY LIGHTING.
 - FIRE EXTINGUISHERS SHALL BE PLACED AT INTERVAL NOT EXCEEDING A TRAVEL DISTANCE OF 75'.
 - APPROVED AUTOMATIC FIRE ALARM SYSTEM WITH MANUAL OPERATION CAPABILITIES SHALL BE INCORPORATED WITHIN THE DESIGN.
 - CONTRACTOR TO PROVIDE COMPLETED CONTRACTOR'S INSTALLATION AFFIDAVIT/CERTIFICATION FORM PER THE REQUIREMENTS OF NFPA 24-85-9.2.

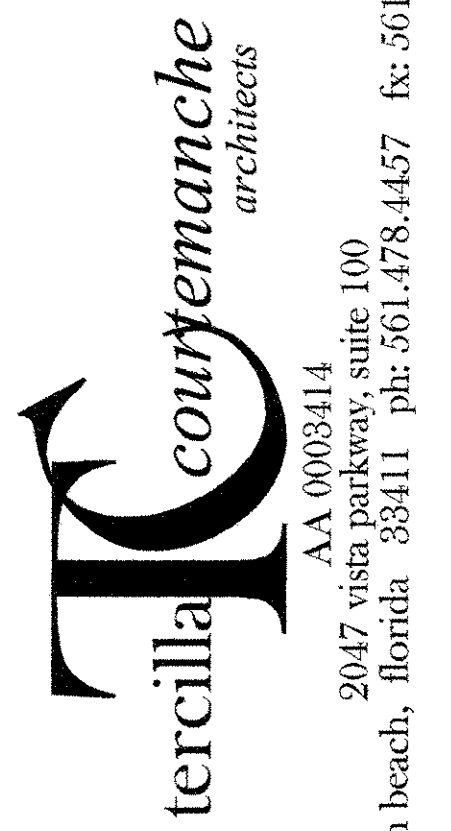
LIFE SAFETY SYMBOLS LEGEND

	PRIMARY MEANS OF EGRESS
	EMERGENCY EXIT LIGHT
	FIRE EXTINGUISHER & CABINET
	WALL HUNG FIRE EXTINGUISHER
	DOOR FIRE RATING IN MINUTES
	OCCUPANT LOAD
	OPENING EGRESS CAPACITY
	EMERGENCY LIGHTS
	EMERGENCY LIGHTS
	FIRE ALARM HORN / STROBE
	FIRE PULL FIRE ALARM

PROVIDE STENCILING ON WALLS ABOVE CEILING FOR PROTECTED WALLS STATING FIRE AND SMOKE BARRIER, PROTECT ALL OPENINGS(TYPICAL FOR ALL RATED PARTITIONS)



01 LIFE SAFETY PLAN SCALE: 1/8"=1'-0"



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commission	29010
date:	01-20-10
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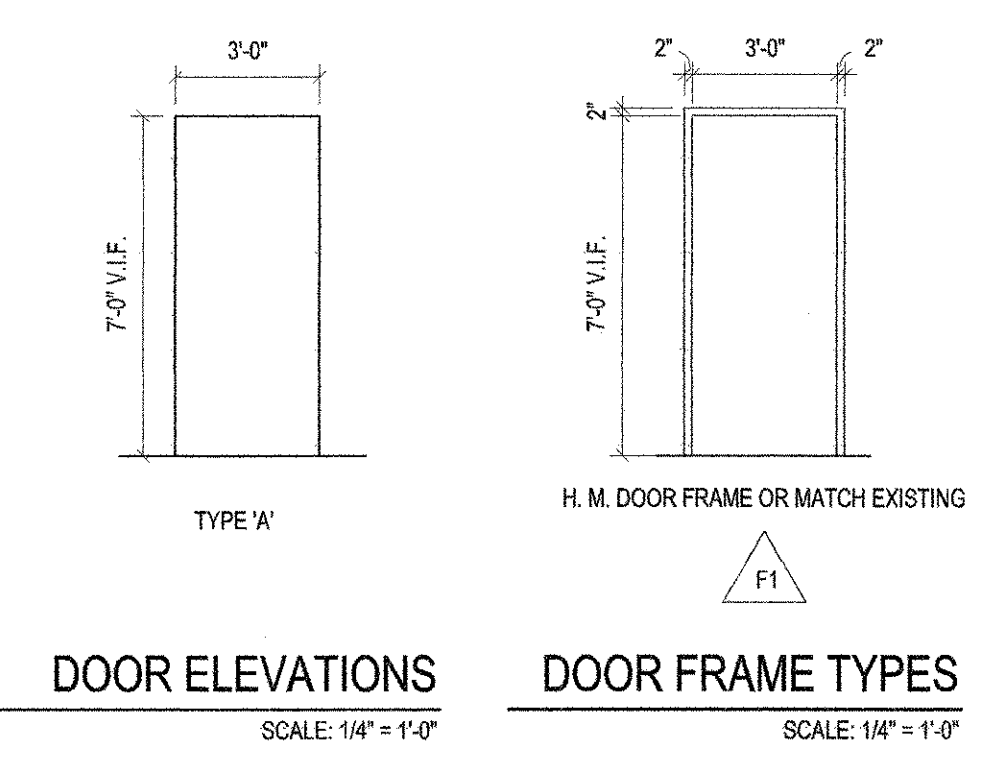
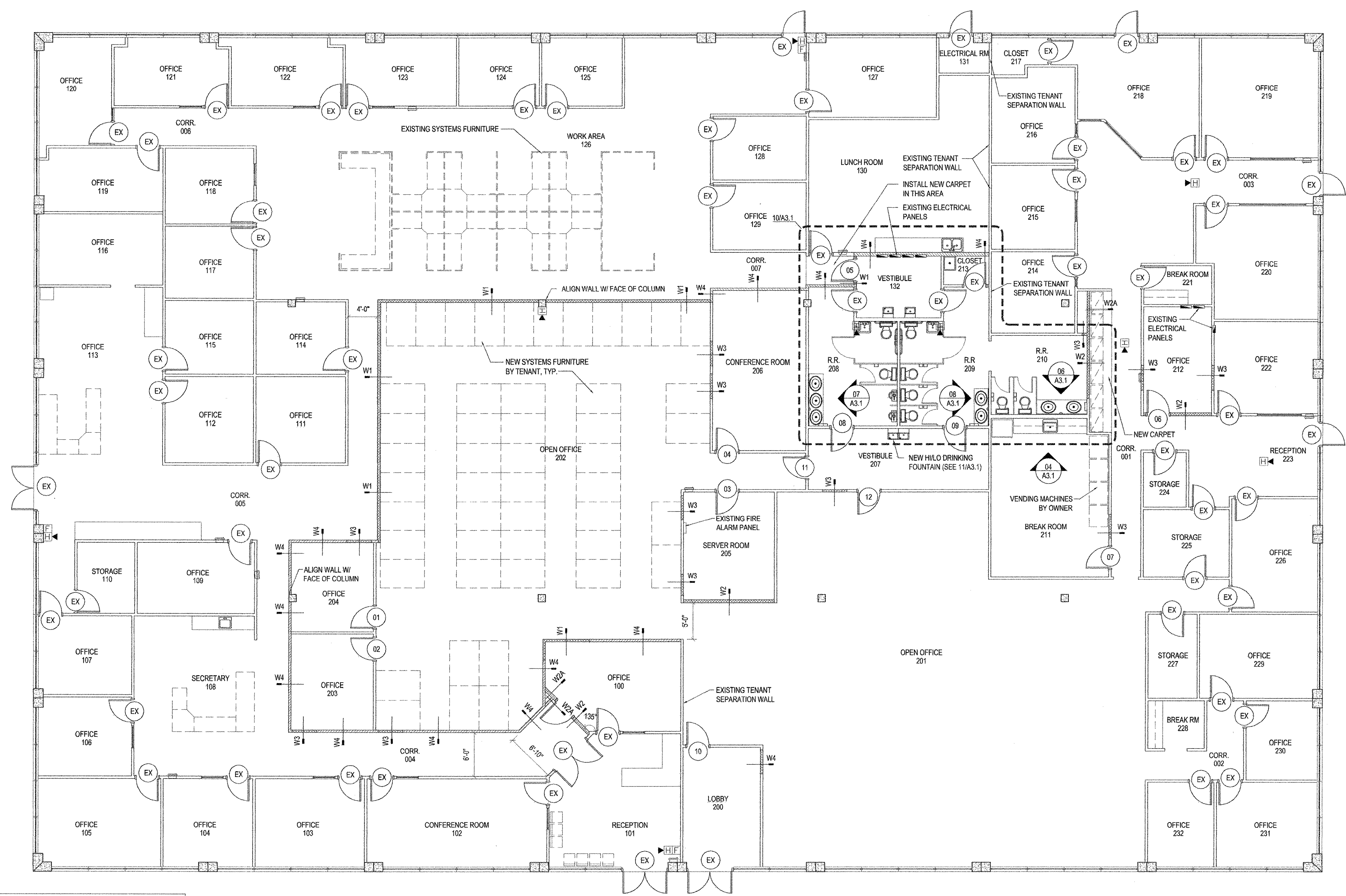
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DOOR ELEVATIONS
SCALE: 1/4" = 1'-0"

DOOR FRAME TYPES
SCALE: 1/4" = 1'-0"

FINISH SCHEDULE							
ROOM #	ROOM NAME	FLOOR	BASE	WALLS	CEILING	CLNG. HGT.	REMARKS
100	OFFICE	CARPET	4" VINYL	G.W.B./PAINTED	EXISTING	EXISTING	REPAIR EXISTING FINISHES AS REQ'D
101-131	EXISTING TO REMAIN						
132	VESTIBULE	VCT	4" VINYL	G.W.B./PAINTED	EXISTING	EXISTING	
200	LOBBY	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	PAINT NEW DOOR INFILL TO MATCH EXISTING REPAIR EXISTING FINISHES AS REQ'D
201	OPEN OFFICE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	REPAIR EXISTING FINISHES AS REQ'D
202	OPEN OFFICE	CARPET	4" CARPET	G.W.B./PAINTED	EXISTING	EXISTING	
203	OFFICE	CARPET	4" CARPET	G.W.B./PAINTED	EXISTING	EXISTING	REPAIR EXISTING FINISHES AS REQ'D
204	OFFICE	CARPET	4" CARPET	G.W.B./PAINTED	EXISTING	EXISTING	REPAIR EXISTING FINISHES AS REQ'D
205	SERVER ROOM	VCT	4" VINYL	G.W.B./PAINTED	EXISTING	EXISTING	
206	CONFERENCE ROOM	CARPET	4" CARPET	G.W.B./PAINTED	EXISTING	EXISTING	
207	VESTIBULE	VCT	4" VINYL	G.W.B./PAINTED	EXISTING	EXISTING	
208	MENS RESTROOM	TILE	TILE/G.W.B./PAINTED	EXISTING	EXISTING	EXISTING	EPOXY PAINT, 56" TILE WAINSCOT
209	WOMENS RESTROOM	TILE	TILE	TILE/G.W.B./PAINTED	EXISTING	EXISTING	EPOXY PAINT, 56" TILE WAINSCOT
210	WOMENS RESTROOM	TILE	TILE	TILE/G.W.B./PAINTED	EXISTING	EXISTING	EPOXY PAINT, 56" TILE WAINSCOT
211	BREAK ROOM	TILE	TILE	G.W.B./PAINTED	EXISTING	EXISTING	EPOXY PAINT
212	OFFICE	CARPET	4" CARPET	G.W.B./PAINTED	EXISTING	EXISTING	REPAIR EXISTING FINISHES AS REQ'D
213-232	EXISTING TO REMAIN						
001	CORRIDOR	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	REPAIR EXISTING FINISHES AS REQ'D
002-007	EXISTING CORRIDORS	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	

FINISH SCHEDULE NOTES:
 1. ALL FLOORING FINISHES TO BE SELECTED BY OWNER AND INSTALLED BY CONTRACTOR.
 2. CONFIRM ALL FINISH MATERIALS WITH OWNER PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, FLOORING, WALL BASE, CABINETRY, ETC.
 3. PAINT TO BE APPLIED AS FOLLOWS: ONE (1) COAT OF PRIMER AND TWO (2) COATS OF FINISH PAINT.
 4. CONTRACTOR TO PROVIDE TRANSITION STRIPS AT THE CENTER OF DOOR OPENINGS WHERE DIFFERING FLOORING MATERIALS MEET AND AT AREAS OF DIFFERING FLOORING MATERIALS WHERE DOORS DO NOT EXIST.
 5. REPAIR ALL DAMAGED FINISHES TO MATCH EXISTING.
 6. PROVIDE A \$3.00 PER SQUARE FOOT MATERIAL ALLOWANCE FOR TILE. TILE TO BE INSTALLED OVER THIN SET
 7. PROVIDE A \$20.00 PER YARD ALLOWANCE FOR CARPET.
 8. VCT TO BE ARMSTRONG STANDARD EXCELON

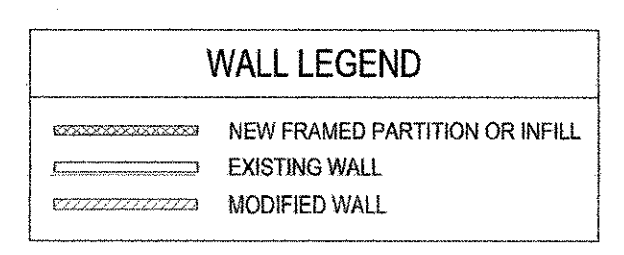
01 FLOOR PLAN
SCALE: 1/8"=1'-0"

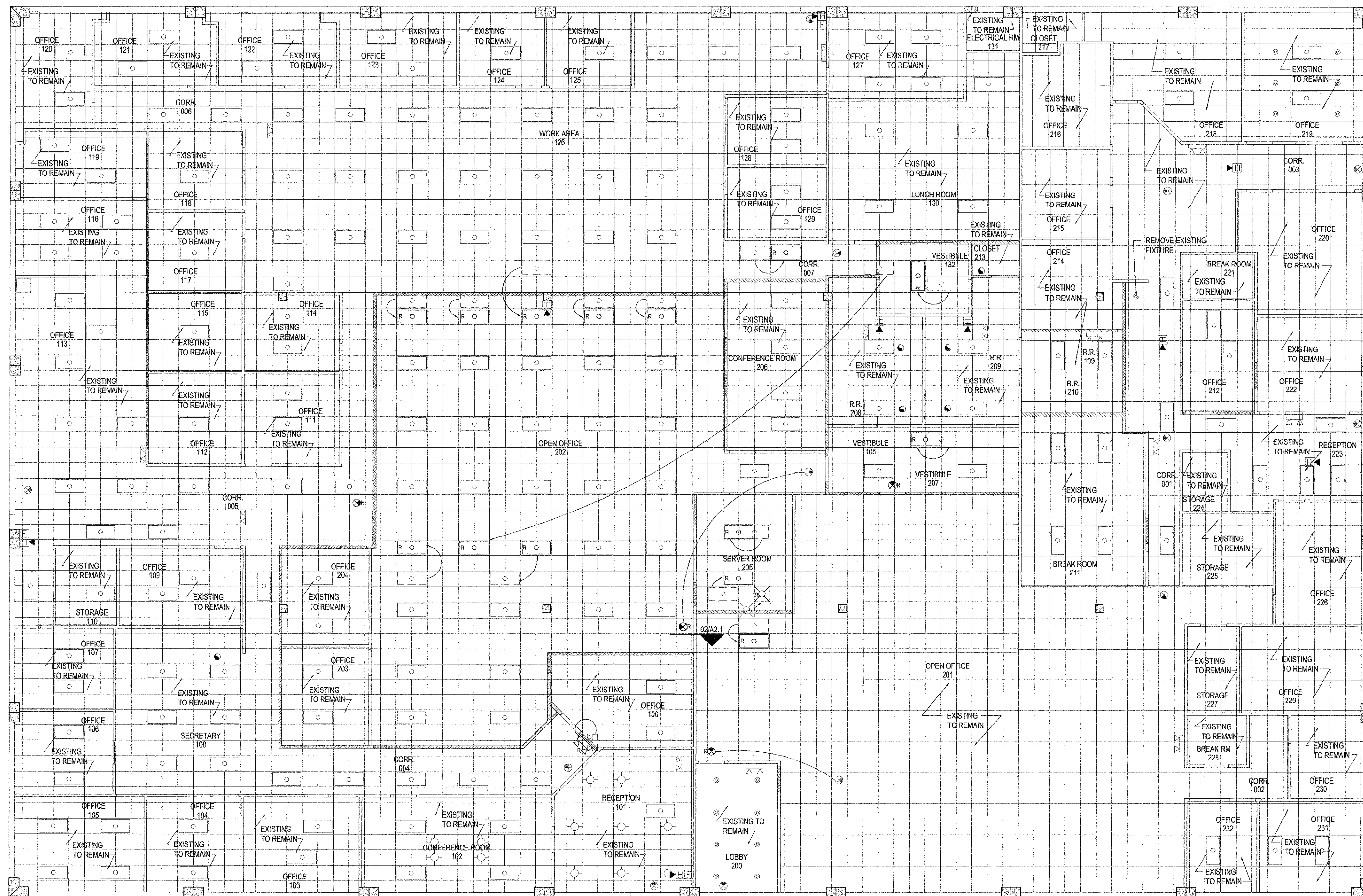
DOOR SCHEDULE											
OPENING NUMBER	DOOR			FRAME				HARDWARE GROUP	LABEL	REMARKS	
	SIZE	MAT'L	TYPE	MAT'L	TYPE	DETAILS	SILL				
01	3'-0" x 7'-0" x 1 3/4"	WOOD	A	HM	F1	04/A3.1	05/A3.1	06/A3.1		RELOCATED DOOR & FRAME	
02	3'-0" x 7'-0" x 1 3/4"	WOOD	A	HM	F1	04/A3.1	05/A3.1	06/A3.1		RELOCATED DOOR & FRAME	
03	3'-0" x 7'-0" x 1 3/4"	WOOD	A	HM	F1	04/A3.1	05/A3.1	06/A3.1		RELOCATED DOOR & FRAME	
04	3'-0" x 7'-0" x 1 3/4"	WOOD	A	HM	F1	04/A3.1	05/A3.1	06/A3.1		RELOCATED DOOR & FRAME	
05	3'-0" x 7'-0" x 1 3/4"	WOOD	A	HM	F1	04/A3.1	05/A3.1	06/A3.1	45 MIN.	PROVIDE CLOSER & ADA THRESHOLD	
06	3'-0" x 7'-0" x 1 3/4"	WOOD	A	HM	F1	04/A3.1	05/A3.1	06/A3.1		RELOCATED DOOR & FRAME	
07	3'-0" x 7'-0" x 1 3/4"	WOOD	A	HM	F1	04/A3.1	05/A3.1	06/A3.1		RELOCATED DOOR & FRAME	
08	3'-0" x 7'-0" x 1 3/4"	WOOD	A	HM	F1	04/A3.1	05/A3.1	06/A3.1		RELOCATED DOOR & FRAME	
09	3'-0" x 7'-0" x 1 3/4"	WOOD	A	HM	F1	04/A3.1	05/A3.1	06/A3.1		RELOCATED DOOR & FRAME	
10	3'-0" x 7'-0" x 1 3/4"	WOOD	A	HM	F1	04/A3.1	05/A3.1	06/A3.1		RELOCATED EXIST. LOBBY DOOR & FRAME	
11	3'-0" x 7'-0" x 1 3/4"	WOOD	A	HM	F1	04/A3.1	05/A3.1	06/A3.1		RELOCATED DOOR & FRAME	
12	3'-0" x 7'-0" x 1 3/4"	WOOD	A	HM	F1	04/A3.1	05/A3.1	06/A3.1		RELOCATED DOOR & FRAME	
EX	EXISTING TO REMAIN										

DOOR HARDWARE SETS:
 1. RE-USE EXIST. DOORS & HARDWARE WHERE POSSIBLE.
 2. REFINISH RELOCATED DOORS AS REQ'D TO MATCH EXIST.
 3. CONTRACTOR TO VERIFY ALL DOOR HARDWARE REQUIREMENTS W/ OWNER PRIOR TO BID.

GENERAL NOTES

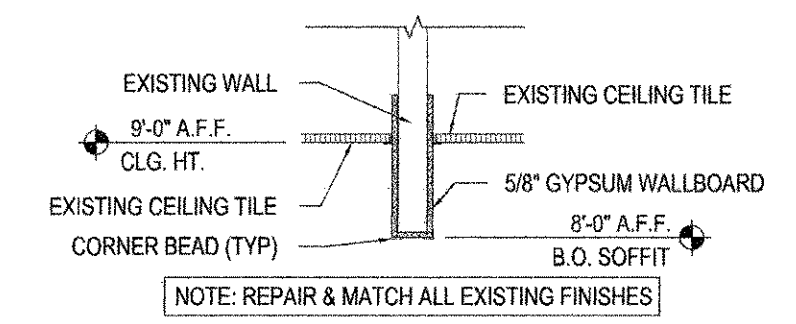
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CURRENT LOCAL AND APPLICABLE CODES
 ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS AND REGULATIONS OF THE LOCAL JURISDICTIONS.
 PROPER CARE AND PROTECTION SHALL BE PROVIDED FOR ALL AREAS ADJACENT TO CONSTRUCTION AND ANY DAMAGE THAT MAY OCCUR TO THESE AREAS AS A RESULT OF THIS CONSTRUCTION SHALL BE PROMPTLY REPAIRED BY THE CONTRACTOR TO THE ORIGINAL CONDITION
 PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS AND VERIFY ALL EXISTING CONDITIONS AND THEIR COMPATIBILITY WITH THE NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES
 ALL WOOD USED IN RATED PARTITION CONSTRUCTION SHALL BE FIRE RETARDANT TREATED
 REFER TO SHEET A3.1 FOR PARTITION TYPES, TYPICAL.
 REVIEW FINAL LOCATIONS AND QUANTITIES OF FIRE EXTINGUISHERS WITH FIRE MARSHALL PRIOR TO CONSTRUCTION.
 FIRE EXTINGUISHERS SHALL BE PLACED AT INTERVALS NOT EXCEEDING A TRAVEL DISTANCE OF 75'





01 REFLECTED CEILING PLAN SCALE: 1/8"=1'-0"

02 CEILING HEADER SCALE: 1/2" = 1'-0"



- CEILING NOTES**
- EXISTING CEILING & GRID SHALL REMAIN
 - REMOVE & REPLACE GRID & TILE AS REQ'D TO ACCOMMODATE NEW WALL, ECT.
 - TRIM & ADJUST EXIST CEILING GRID AS REQ'D TO ACCOMMODATE NEW FULL HEIGHT WALLS.
 - PROVIDE GRID ANGLE WHERE EXISTING GRID IS BEING INTERRUPTED BY NEW WALLS.

CEILING LEGEND	
	2 x 2 LAY-IN ACOUSTICAL CEILING W/ GRID
	2 x 4 LAY-IN ACOUSTICAL CEILING W/ GRID
	RELOCATED 24"x48" FLUORESCENT FIXTURE
	EXISTING 24"x48" FLUORESCENT FIXTURE
	RECESSED CEILING FIXTURE
	EMERGENCY EXIT LIGHT
	EXHAUST FAN
	RELOCATED FIXTURE
	NEW FIXTURE

NOTE: REFER TO MECHANICAL & ELECTRICAL PLANS FOR ADDITIONAL INFORMATION

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 no.

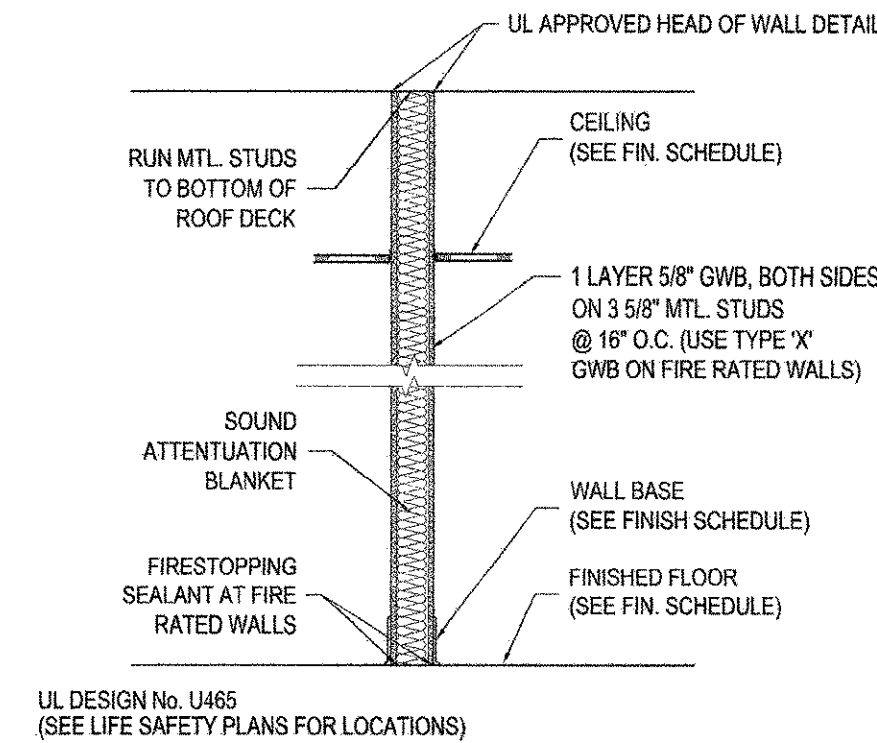
 drawing A2.1
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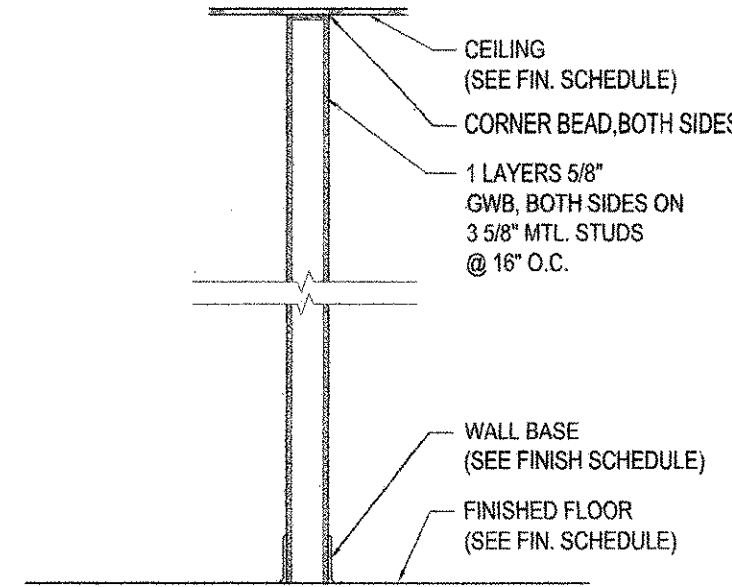
NOTE: SEE FINISH SCHEDULE FOR ALL FINISHES ON WALLS & CEILINGS.

WALL TYPE NOTES:

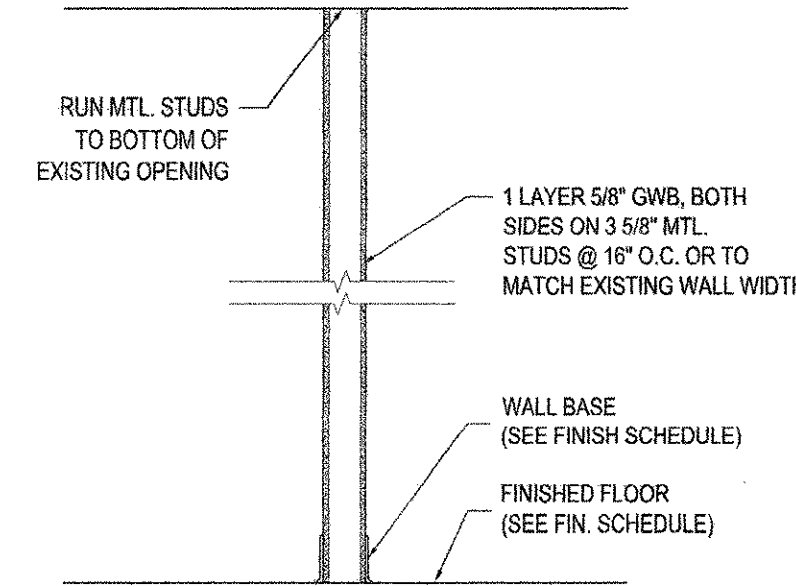
- FOR ALL FIRE RATED WALLS PROVIDE STENCILING ABOVE CEILING STATING "FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS".
- REFER TO FLOOR PLAN FOR LOCATIONS OF RATED WALL ASSEMBLIES; CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NOTED RATINGS.
- WALL BOARD AND SURFACE FINISH MATERIAL SHALL EXTEND A MINIMUM OF 6" ABOVE NEAREST ADJACENT CEILING, UNLESS NOTED OTHERWISE.
- PROVIDE SOUND BATT INSULATION AT ALL RESTROOM PARTITIONS, TYPICAL.
- PROVIDE 1/2" PLYWOOD BACKING AT ALL PARTITIONS TO RECEIVE WALL MOUNTED EQUIPMENT. VERIFY LOCATIONS WITH TENANT.
- ALL PENETRATIONS OF RATED STEEL STUD PARTITION WALLS AND WALL EXTENSIONS, FLOOR AND ROOF SHALL BE CONSTRUCTED IN ACCORDANCE WITH ONE OF THE FOLLOWING UL SYSTEMS:
 SYSTEM NO. C-AJ-218 SYSTEM NO. W-L-1176
 SYSTEM NO. C-AJ-1014 SYSTEM NO. W-L-2154
 SYSTEM NO. W-L-1054 SYSTEM NO. W-L-2148
- ALTERNATE PENETRATION PROTECTION SYSTEMS MUST BE TEST CERTIFIED AND SUBMITTED FOR REVIEW.



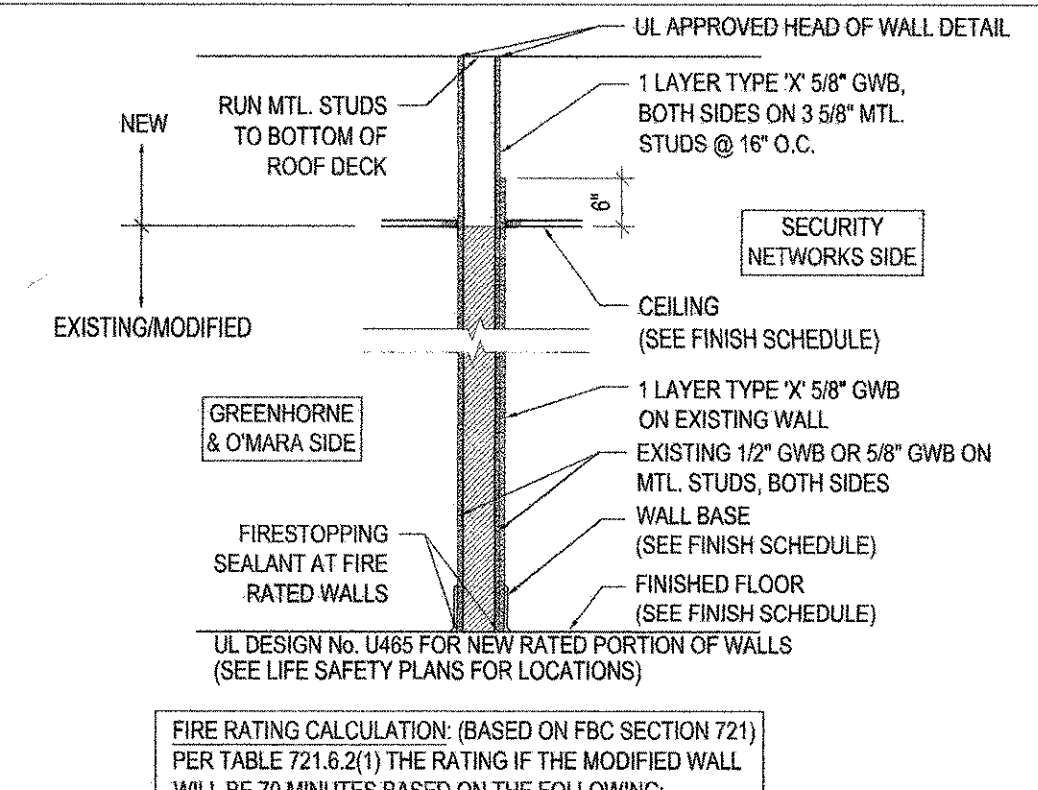
W1 WALL TYPE
1 HOUR RATED WALL
SCALE: 1/2"=1'-0"



W2 WALL TYPE
A = GWB ON ONE SIDE ONLY
SCALE: 1/2"=1'-0"

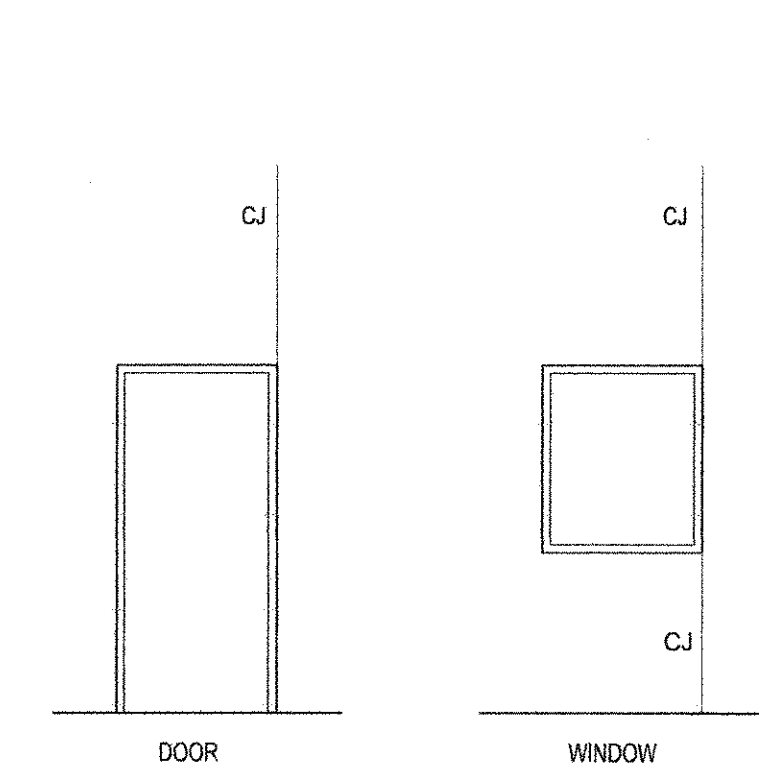


W3 WALL TYPE
SCALE: 1/2"=1'-0"

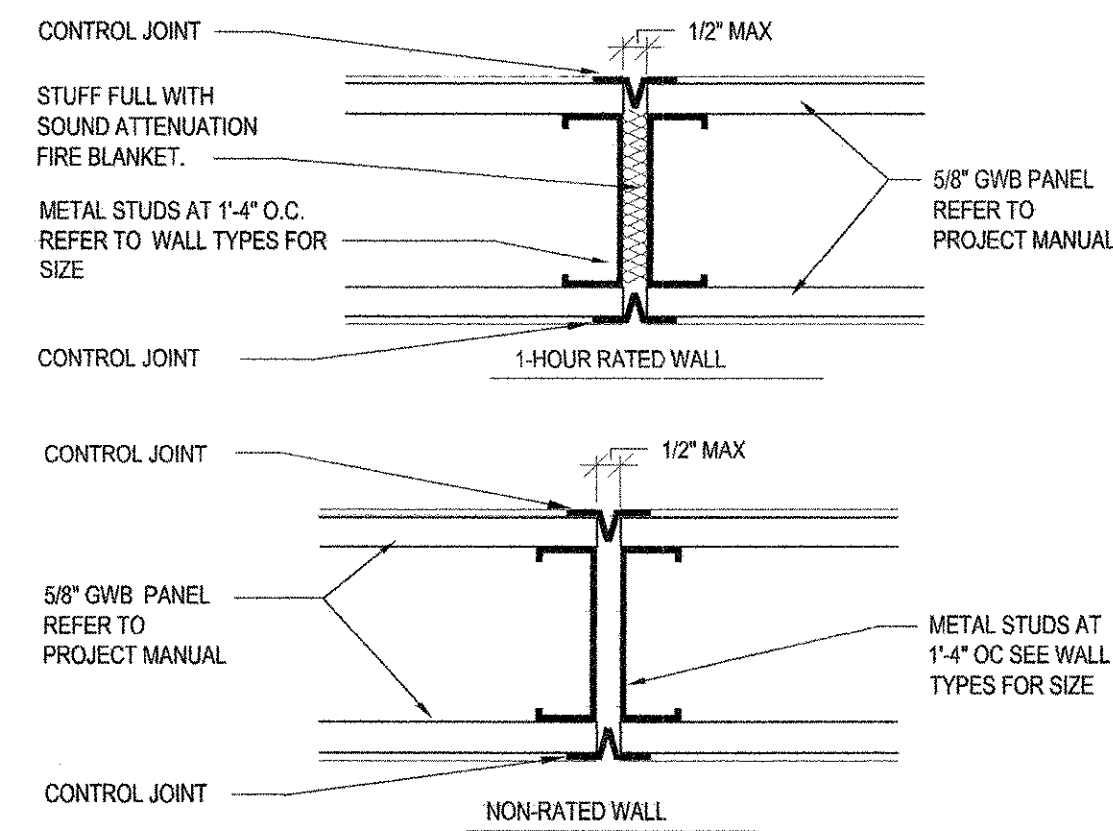


W4 WALL TYPE
1 HOUR RATED WALL
SCALE: 1/2"=1'-0"

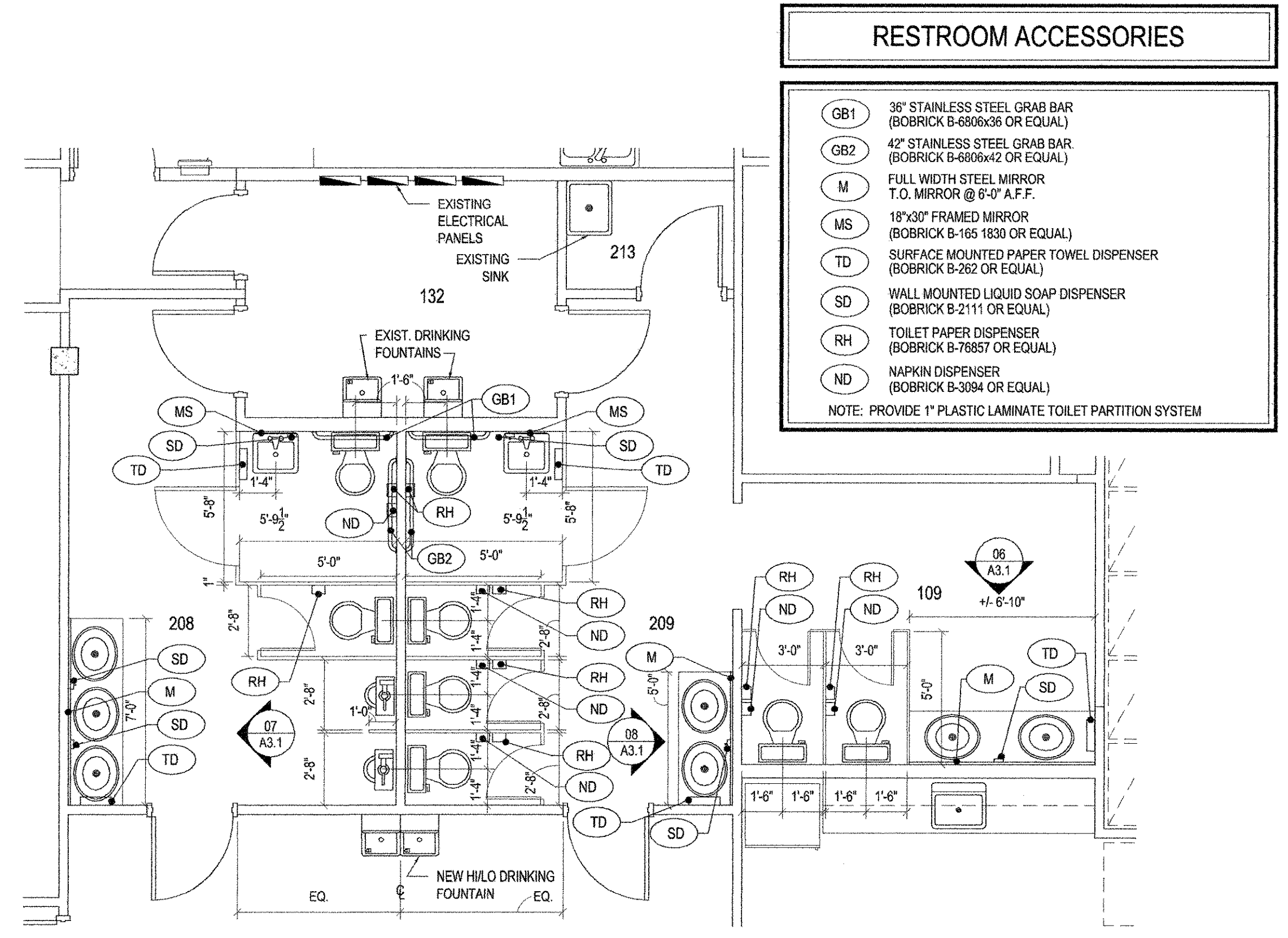
FIRE RATING CALCULATION: (BASED ON FBC SECTION 721.1) PER TABLE 721.6.2(1) THE RATING IF THE MODIFIED WALL WILL BE 70 MINUTES BASED ON THE FOLLOWING:
 EXISTING 1/2" GWB x 15 MIN. EA. SIDE = 30 MIN
 ADDED LAYER OF 1/2" TYPE 'X' GWB = 40 MIN
 TOTAL RATING OF WALL = 70 MIN
 REQUIRED RATING OF WALL = 60 MIN



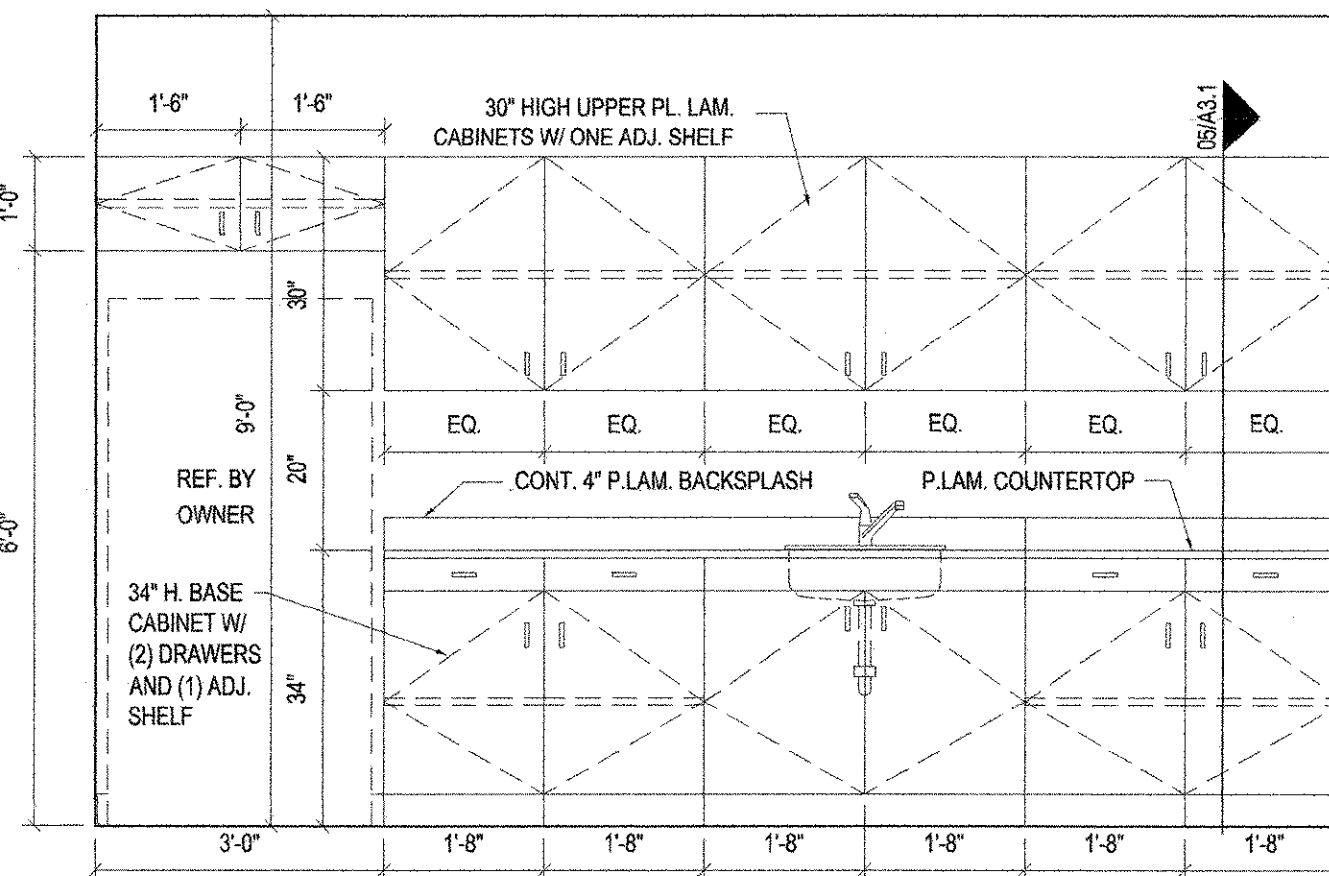
01 CONTROL JOINT PLACEMENT
SCALE: N.T.S.



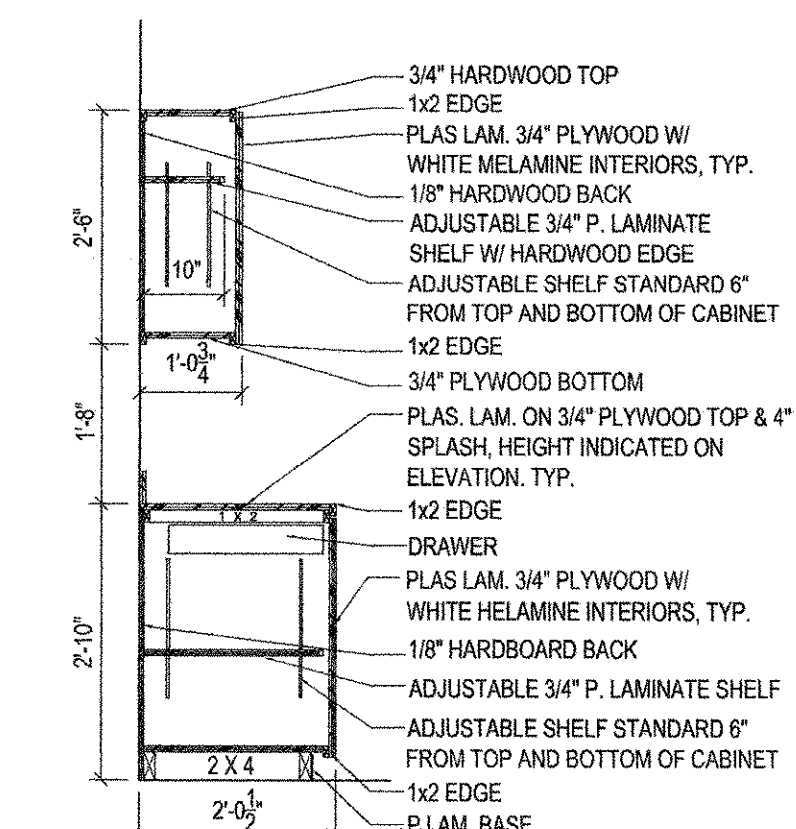
02 CONTROL JOINT DETAILS
SCALE: N.T.S.



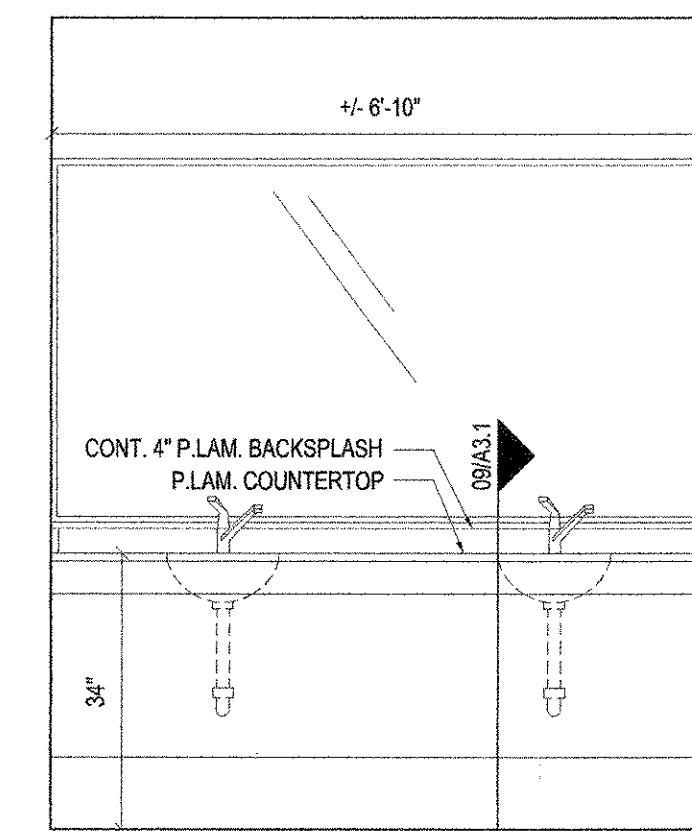
10 RESTROOM ENLARGEMENT
SCALE: 1/4"=1'-0"



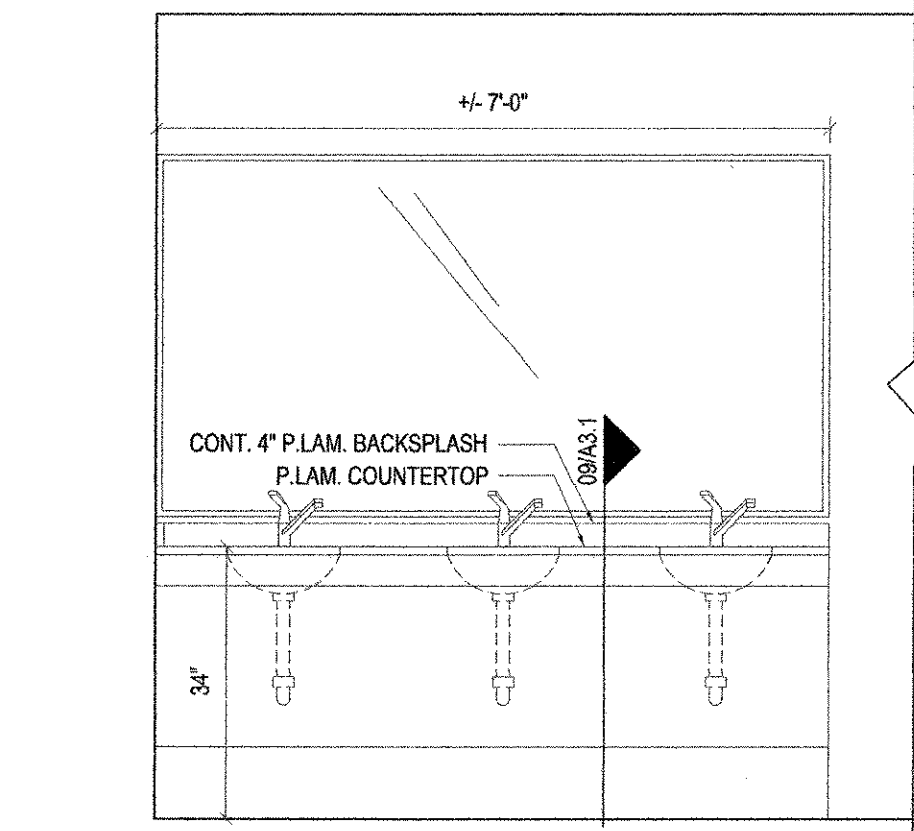
04 CASEWORK ELEVATION
SCALE: 1/2"=1'-0"



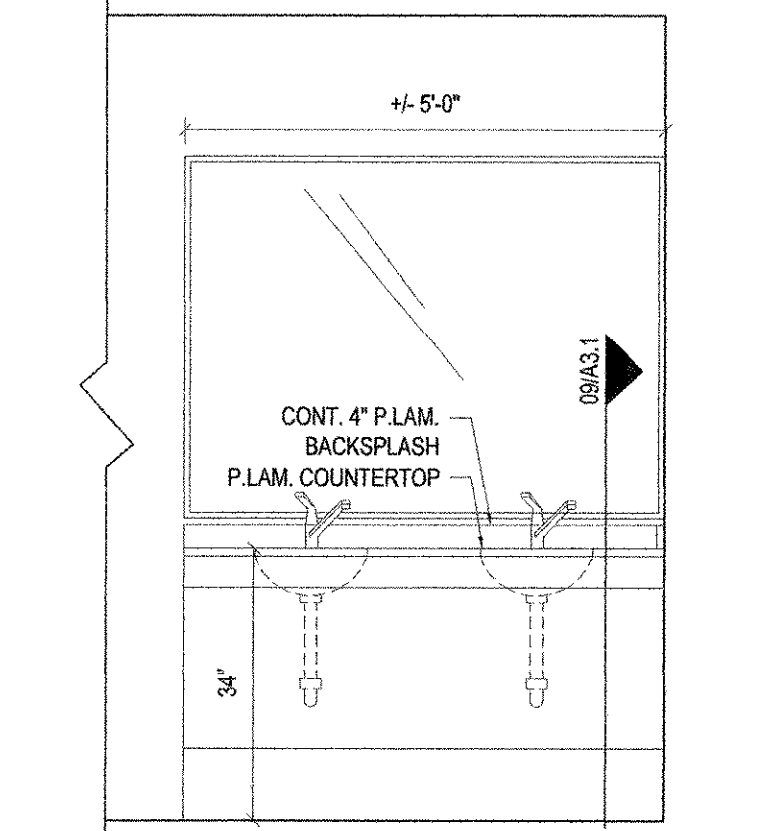
05 CASEWORK SECTION
SCALE: 1/2"=1'-0"



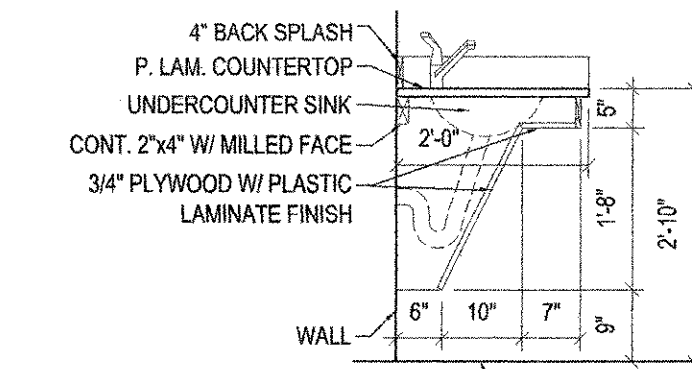
06 CASEWORK ELEVATION
SCALE: 1/2"=1'-0"



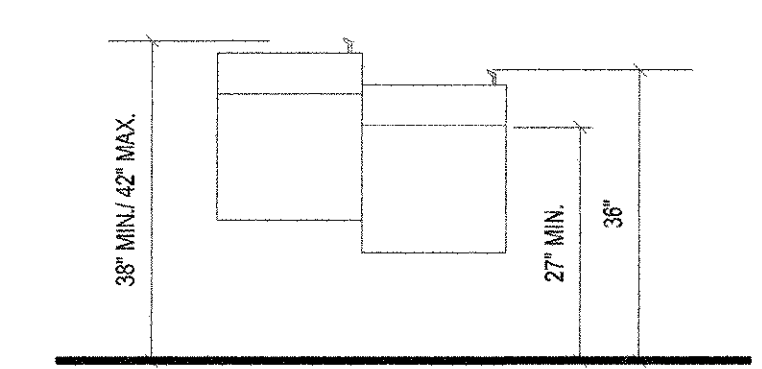
07 CASEWORK ELEVATION
SCALE: 1/2"=1'-0"



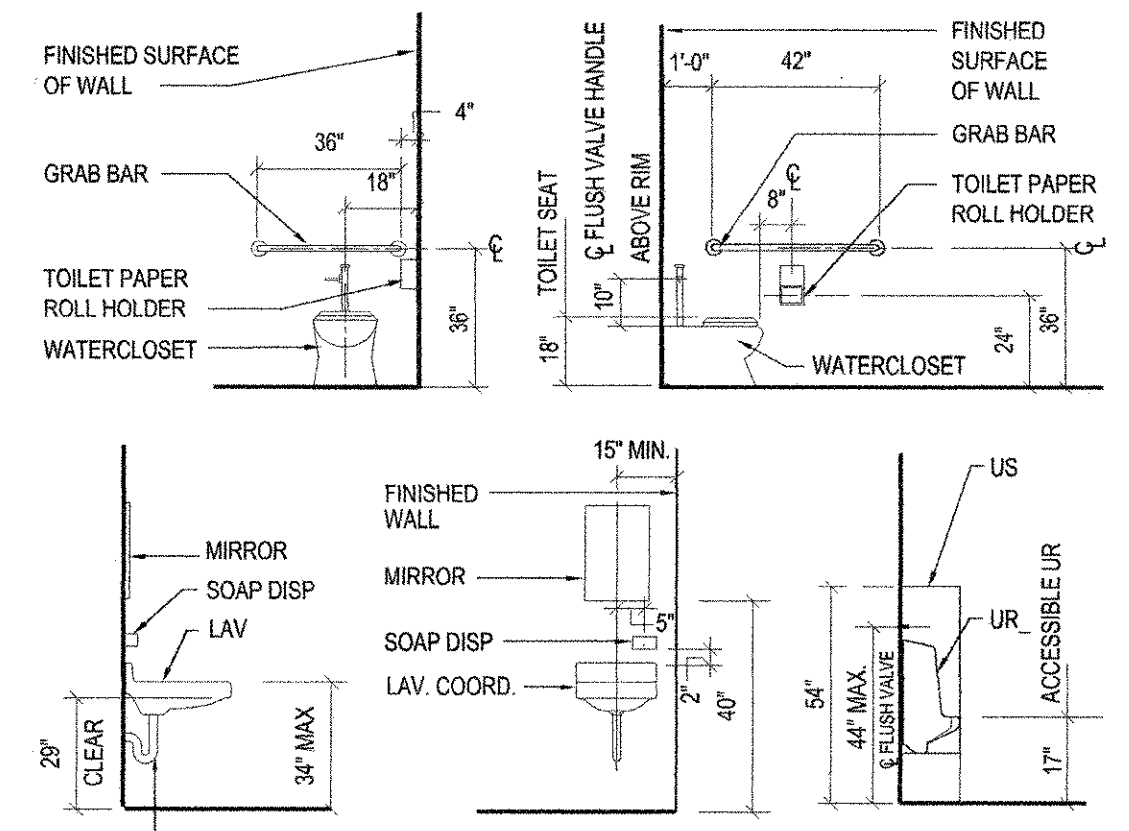
08 CASEWORK ELEVATION
SCALE: 1/2"=1'-0"



09 CASEWORK SECTION
SCALE: 1/2"=1'-0"



11 DRINKING FOUNTAIN DETAIL
SCALE: 1/2"=1'-0"



12 MOUNTING HEIGHTS
SCALE: N.T.S.

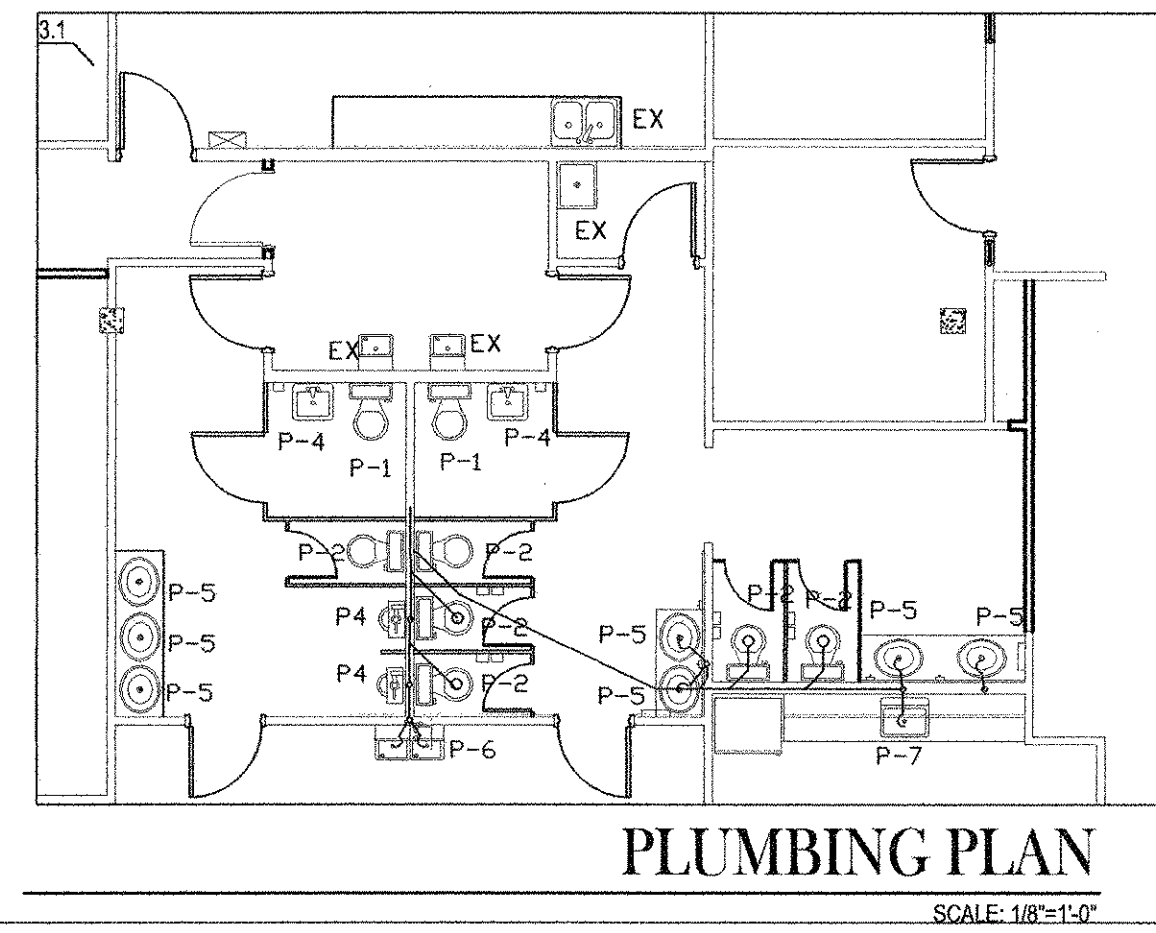
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TENANT RENOVATION FOR:
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WEST PALM BEACH, FLORIDA

commission 29010
date: 01-20-10
revision date
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René Tercilla AIA, REFP



PLUMBING PLAN

SCALE: 1/8"=1'-0"

PLUMBING NOTES

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE LOCAL CODES, RULES AND ORDINANCES.
2. PLUMBING CONTRACTOR SHALL VISIT THE JOB SITE AND THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS.
3. ALL MATERIALS SHALL BE NEW.
4. REQUIRED INSURANCE SHALL BE PROVIDED BY THE PLUMBING CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
5. PLUMBING CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTIONS AND TESTS. PLUMBING CONTRACTOR TO OBTAIN PERMIT AND APPROVAL SUBMITTALS PRIOR TO BEGINNING WORK OF ORIGINATING EQUIPMENT. PLUMBING CONTRACTOR MUST BE PRESENT FOR ALL INSPECTIONS OF HIS WORK BY REGULATORY AUTHORITIES.
6. DIMENSIONS ARE DIAGRAMMATIC. DO NOT SCALE FOR THE EXACT LOCATION OF FIXTURES, PIPING AND EQUIPMENT.
7. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION. REPORT ANY DISCREPANCY TO ENGINEER/ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.
8. VERIFY LOCATION, SIZE, DIRECTION OF FLOW AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION. ADVISE ENGINEER OF ANY DISCREPANCIES.
9. DOMESTIC WATER PIPE SHALL BE TYPE "L" COPPER WITH NO LEAD SOLDER.
10. SD, WASTE, VENT, & STORM PIPING TO MATCH EXISTING.
11. DIELECTRIC COUPLINGS ARE REQUIRED BETWEEN ALL DISSIMILAR METAL PIPING AND EQUIPMENT CONNECTIONS.
12. ISOLATE COPPER PIPE FROM HANGER OR SUPPORTS WITH ISOLATOR PAD.
13. ALL FIRE RATED FLOOR AND WALL PENETRATIONS SHALL BE PROPERLY PROTECTED BY FILLING JOISTS BETWEEN PIPE AND WALL/FLOOR SLEEVES.
14. PLUMBING CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE BY OWNER. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED.
15. PROVIDE ACCESS PANELS FOR ALL CONCEALED VALVES. ACCESS PANELS IN RATED WALLS MUST MAINTAIN THE SAME RATING AND MUST MATCH THE FINISH OF THE WALL IN WHICH IT IS INSTALLED.
16. PROVIDE CHROME PLATED COMBINATION COVER PLATE AND CLEAN OUT PLUG OR ACCESS PANEL FOR ALL WALL CLEAN OUT.
17. ALL CONTROL VALVES SHALL BE TAGGED AND MARKED. A REPRODUCIBLE DIAGRAM LOCATING ALL VALVES SHALL BE PROVIDED FOR OWNER/OCCUPANT.
18. ALL CONDENSATE DRAIN PIPING SHALL BE SOL 40 PVC WITH 1/2" THICK TYPE "G" CELLULAR FOAM INSULATION, K=0.28 MINIMUM.
19. TEST DOMESTIC WATER TO HYDROSTATIC PRESSURE OF 100 PSI AND REMAIN LEAK FREE FOR 24 HOURS. PROVIDE ALL NECESSARY TEST EQUIPMENT. PERFORM TEST IN PRESENCE OF OWNER'S REPRESENTATIVE. ENTER TEST RESULTS IN GENERAL CONTRACTOR LOG. LOCUSTRIBUTE WATER PIPING WITH SOLUTION CONTAINING NOT LESS THAN 50 PARTS PER MILLION OF CHLORINE AND ALLOW TO REMAIN IN SYSTEM FOR A PERIOD OF EIGHT (8) HOURS. FLUSH SYSTEM AFTER STERILIZATION. ALL COST FOR STERILIZATION AND EQUIPMENT SHALL BE PROVIDED BY THE CONTRACTOR.
20. PROVIDE 1" (R=4.0 MIN) INSULATION FOR ALL HOT WATER LINES.
21. ALL FIXTURES MUST BE PROVIDED WITH READILY ACCESSIBLE STOPS AND APPROPRIATELY MARKED ACCESS PANELS. COORDINATE LOCATIONS WITH GENERAL CONTRACTOR PRIOR TO INSTALLATION.
22. PROVIDE ANGLE STOPS ON ALL WATER SERVICE LINES TO FIXTURES FOR INDIVIDUAL SHUTOFF.
23. THE DESIGN AND INSTALLATION OF THE PLUMBING SYSTEM & ALL APPURTENANCES SHALL COMPLY STRICTLY WITH THE APPLICABLE PROVISIONS OF THE FLORIDA BUILDING PLUMBING CODE & THE LOCAL AMENDMENTS TO THE FLORIDA BUILDING PLUMBING CODE.
24. HVAC CONTRACTOR SHALL PROVIDE A TEST AND BALANCE REPORT FOR ALL MECHANICAL SYSTEMS AND SHALL INCLUDE AIR QUANTITIES FOR ALL SUPPLY GRILLS, RETURN GRILLS, AND EXHAUST GRILLS AND THE LEAVING AND ENTERING AIR TEMPERATURE (T) FROM AT EACH EVAPORATOR COIL. INCLUDE ALL VOLTAGE AND AMPERAGE FOR EACH MOTOR. THE REPORT SHALL BE DONE BY AN INDEPENDENT T&B CONTRACTOR LICENSED BY THE STATE OF FLORIDA AND SUBMITTED TO THE ARCHITECT.
25. ALL AIR DEVICES (DIFFUSERS, REGISTERS AND GRILLES) SHALL BE ALL ALUMINUM CONSTRUCTION WITH COATED SURFACE OFF WHITE BAKED ENAMEL FINISH OR AS SPECIFIED BY ARCHITECT. DEVICES SHALL BE TITUS OR METALAIR.
26. ALL BRANCH TAKE OFFS TO BE PROVIDED W/ MANUAL VOLUME DAMPERS. ALL ELBOWS AND TEES MUST BE FINISHED W/ TURNING VANES. PROVIDE MANUAL VOLUME DAMPERS WITH EXTRACTOR AT ALL FLEX TAKE OFFS.
27. PROVIDE NEW FILTERS FOR ALL AIR HANDLERS BEFORE STARTING THEM. REPLACE FILTERS PRIOR TO FINAL ACCEPTANCE BY OWNER.
28. FIRE DAMPERS SHALL BE STYLE B WITH THE BLADES OUT OF THE AIRSTREAM. DAMPERS FOR RECTANGULAR DUCTS SHALL BE EQUAL TO RUSKIN JD-802 WITH 1 1/2 HOUR RATING & DAMPERS FOR ROUND DUCT SHALL BE EQUAL TO RUSKIN JD-802-GR WITH 1 1/2 HOUR RATING.
29. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EXISTING DUCTWORK THAT CONFLICTS WITH THE WORK.

OUTSIDE AIR CALCULATION

PER ASHRAE 62.1-2004
EXISTING RTU #4
TELEPHONE/OFFICE (49 PPL X 5 CFM/PPL+0.6x2700 SF =245+162=407 CFM
TOTAL REQUIRED 407 CFM
TOTAL SUPPLIED 450 CFM

FAN SCHEDULE

MARK	MANUFACTURER	CEILING GREENECK
MODEL	SP-8110	
TYPE	TILET	
SERVICE	100/125	
H. P.	FRACTIONAL	
RPL	950	
VOLTAGE/PH	100/1	

GENERAL MECHANICAL NOTE

1. VISIT THE SITE BEFORE SUBMITTING A BID. DETERMINE THE CHARACTERISTICS OF EXISTING FACILITIES WHICH WILL AFFECT PERFORMANCE OF THE WORK, INCLUDING WHAT ARE NOT SHOWN ON THE DRAWINGS OR THE SPECIFICATIONS.
2. SHOP DRAWINGS OR FULLY DESCRIPTIVE CATALOG DATA SHALL BE SUBMITTED BY THE CONTRACTOR FOR ALL KINDS OF MATERIAL AND EQUIPMENT FURNISHED AND INSTALLED UNDER THIS CONTRACT. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT A SUFFICIENT NUMBER OF COPIES OF ALL SUCH SHOP DRAWINGS OR CATALOG DATA TO PROVIDE HIM WITH AS MANY REVIEWED COPIES AS HE MAY NEED, PLUS TWO (2) COPIES FOR RETENTION BY THE ARCHITECTS AND ENGINEERS.
3. ALL CUTTING, PATCHING, STRUCTURAL STEEL, WEATHER PROOFING, PAINTING, AND WALL OPENINGS SHALL BE BY THE GENERAL CONTRACTOR.
4. ALL OPENINGS IN BUILDING STRUCTURE, FOR DUCTWORK, PIPING, ETC. TO BE 1/2" LARGER (ON ALL SIDES) THAN THE EXISTING DIMENSIONS. ALL VOIDS WITH FIRE RETARDANT SILICONE FOAM (I.E. CHASE-FORM CFC PR-855 OR AN EQUAL TECHNOLOGY COPY).
5. CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED.

GENERAL HVAC NOTES

1. VISIT THE SITE PRIOR TO SUBMITTING A BID. DETERMINE THE CHARACTERISTICS OF EXISTING FACILITIES WHICH WILL AFFECT PERFORMANCE OF THE WORK, BUT WHICH ARE NOT SHOWN ON THE DRAWINGS.
2. PROVIDE ALL LABOR PERMITS, MATERIAL, TOOLS, SUPPLIES, EQUIPMENT TO INSTALL A COMPLETE AND OPERATING AIR CONDITIONING SYSTEM. INSTALLATION SHALL BE IN ACCORDANCE WITH LOCAL CODES.
3. PAY ALL COSTS OF PERMIT INSPECTIONS AND ALL OTHER COSTS INCIDENTAL TO THE COMPLETION AND TESTING OF THIS WORK.
4. ALL EQUIPMENT TO REMAIN. VERIFY EXISTING DUCTWORK INSTALLATION. PROVIDE FIRE DAMPERS FOR ALL DUCTWORK CROSSING NEW FIRE RATED WALL INCLUDING TENANT SEPARATION AND COMMON TO TENANT SEPARATION. REWORK DUCTWORK TO ACCOMMODATE FIRE DAMPERS. SUBMIT SHOP DRAWINGS SHOWING PROPOSED REWORK. VERIFY NUMBER OF PROPOSED FIRE DAMPERS. THE WORK WITH DAMPERS SHALL INCLUDE BOTH SUPPLY & RETURN.
5. ALL NEW UNCONDITIONED AIR DUCTWORK SHALL BE FIBERGLASS, R=6.0 MIN. ALL EXHAUST & OUTSIDE AIR DUCTWORK SHALL BE GALVANIZED STEEL. ALL BENDS GREATER THAN 45 DEGREES SHALL HAVE TURNING VANES. CONTRACTOR SHALL VERIFY ALL CLEARANCES AND ADJUST FOR FIELD CONDITIONS PRIOR TO CONSTRUCTING ANY DUCTWORK. ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS. INSTALL ALL DUCTWORK FOR APPROPRIATE SMOKE STANDARD.
6. THE CONTRACTOR SHALL FURNISH A WRITTEN WARRANTY THAT SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE ARCHITECT. ANY BREAK-DOWN OCCURRING IN THE FIRST YEAR SHALL BE REPAIRED AT NO COST TO THE OWNER. A/C COMPRESSORS SHALL HAVE A 5 YEAR GUARANTEE.
7. LOCATE THERMOSTATS AS REQUIRED.
8. THE DESIGN AND INSTALLATION OF THE MECHANICAL SYSTEMS & ALL APPURTENANCES SHALL COMPLY STRICTLY WITH THE APPLICABLE PROVISIONS OF THE FLORIDA BUILDING MECHANICAL CODE & THE LOCAL AMENDMENTS TO THE FLORIDA BUILDING MECHANICAL CODE.
9. PROVIDE A 10 FOOT MINIMUM CLEARANCE FROM ALL VENTS THROUGH ROOF (VTR) AND EXHAUST FANS TO OUTSIDE AIR INTAKES.
10. MECHANICAL PLANS IN GENERAL ARE DIAGRAMMATIC IN NATURE, AND ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL, PLUMBING, ELECTRICAL AND STRUCTURAL PLANS. DUCT BENDS AND TRANSITIONS WILL BE REQUIRED TO PROVIDE AND INSTALL A COMPLETE FUNCTIONAL SYSTEM AND SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
11. MECHANICAL PLANS IN GENERAL ARE DIAGRAMMATIC IN NATURE, AND ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL, PLUMBING, ELECTRICAL AND STRUCTURAL PLANS. DUCT BENDS AND TRANSITIONS WILL BE REQUIRED TO PROVIDE AND INSTALL A COMPLETE FUNCTIONAL SYSTEM AND SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

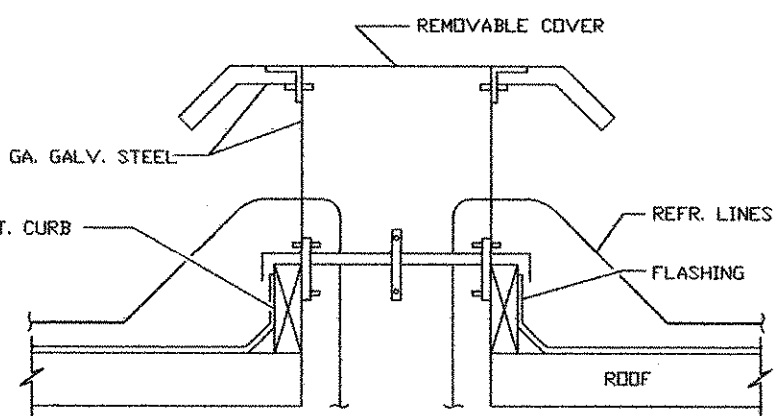
AIR DEVICE SCHEDULE

MODEL	MATERIAL	DEVICE
PAS-AA	ALUMINUM	PERFORATED 24X24 SUPPLY DIFFUSER
PAR-AA	ALUMINUM	PERFORATED 24X24 RETURN GRILLE
250-AA	ALUMINUM	CURVED BLACK CEILING DIFFUSER
300-FL	ALUMINUM	DOUBLE DEFLECTION SIDEWALL GRILLE

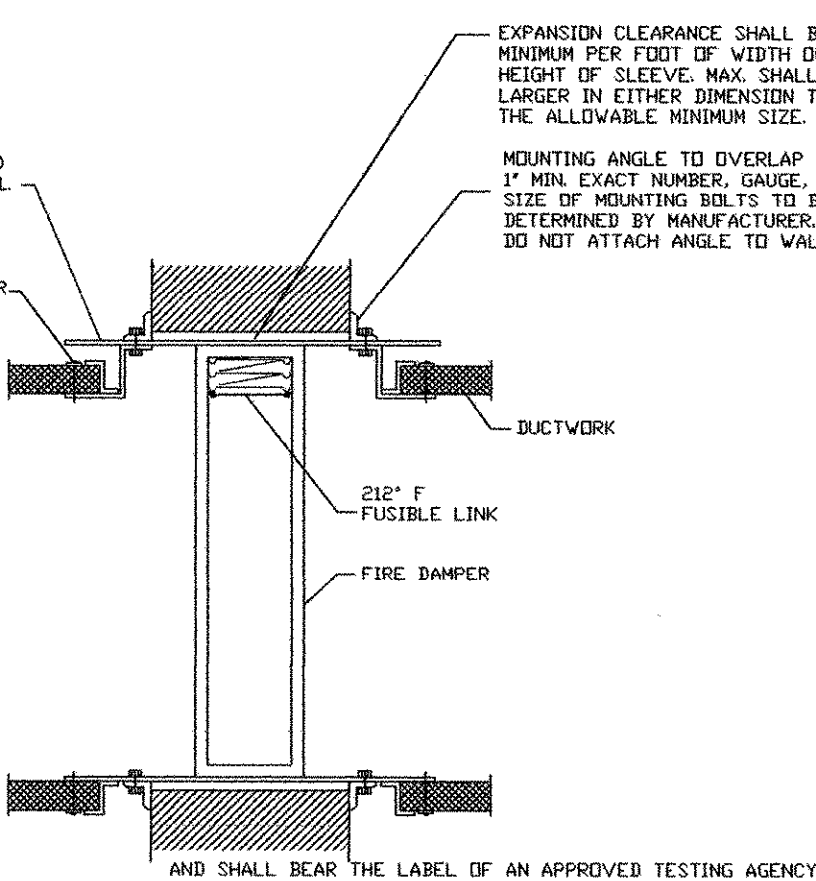
NOTES:
1. ACCEPTABLE ALTERNATE MANUFACTURER SHALL BE METALAIR.
2. COLOR SHALL BE WHITE.

MECHANICAL LEGEND

- 24X24 PERFORATED CEILING DIFFUSER.
- 24X24 PERFORATED RETURN/TRANSFER GRILLE.
- EXHAUST FAN
- MANUAL VOLUME CONTROL DAMPER.
- WALL MOUNTED THERMOSTAT.
- RIGID DUCTWORK.
- FLEXIBLE DUCTWORK.
- FIRE DAMPER

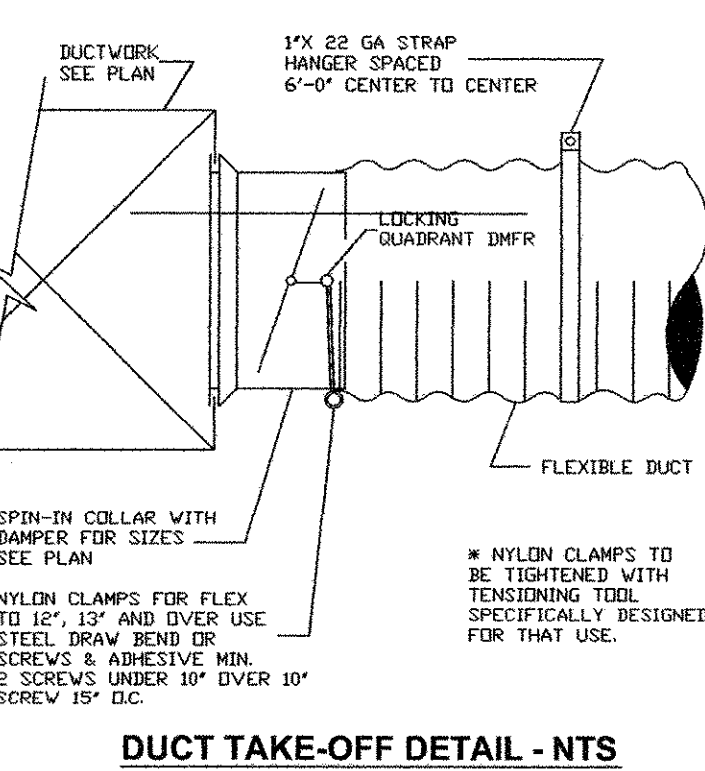


REFRIGERANT/ELECTRIC LINES ROOF COVER NTS

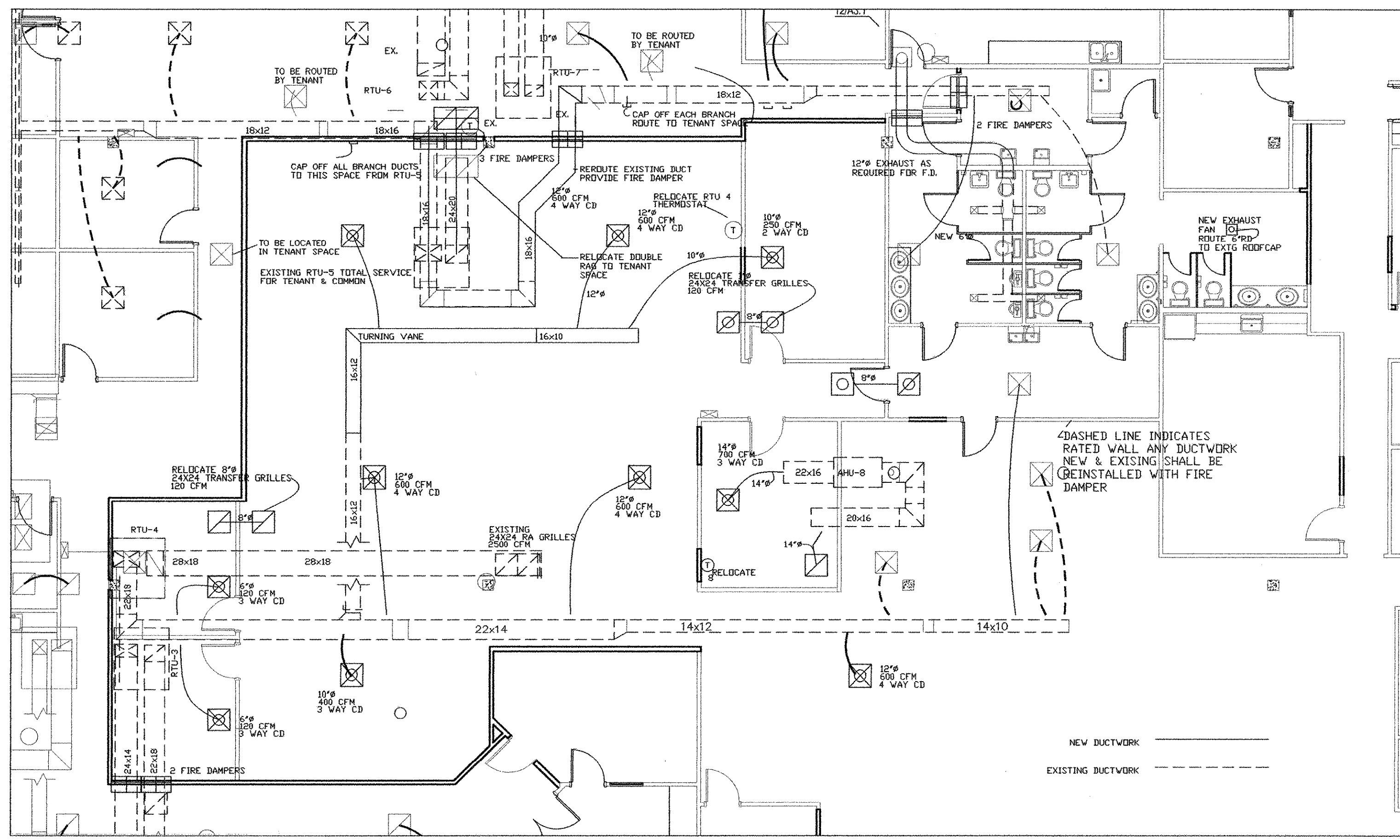


FIRE DAMPER MOUNTING DETAIL - NTS

FIRE DAMPER SHALL COMPLY WITH UL 555

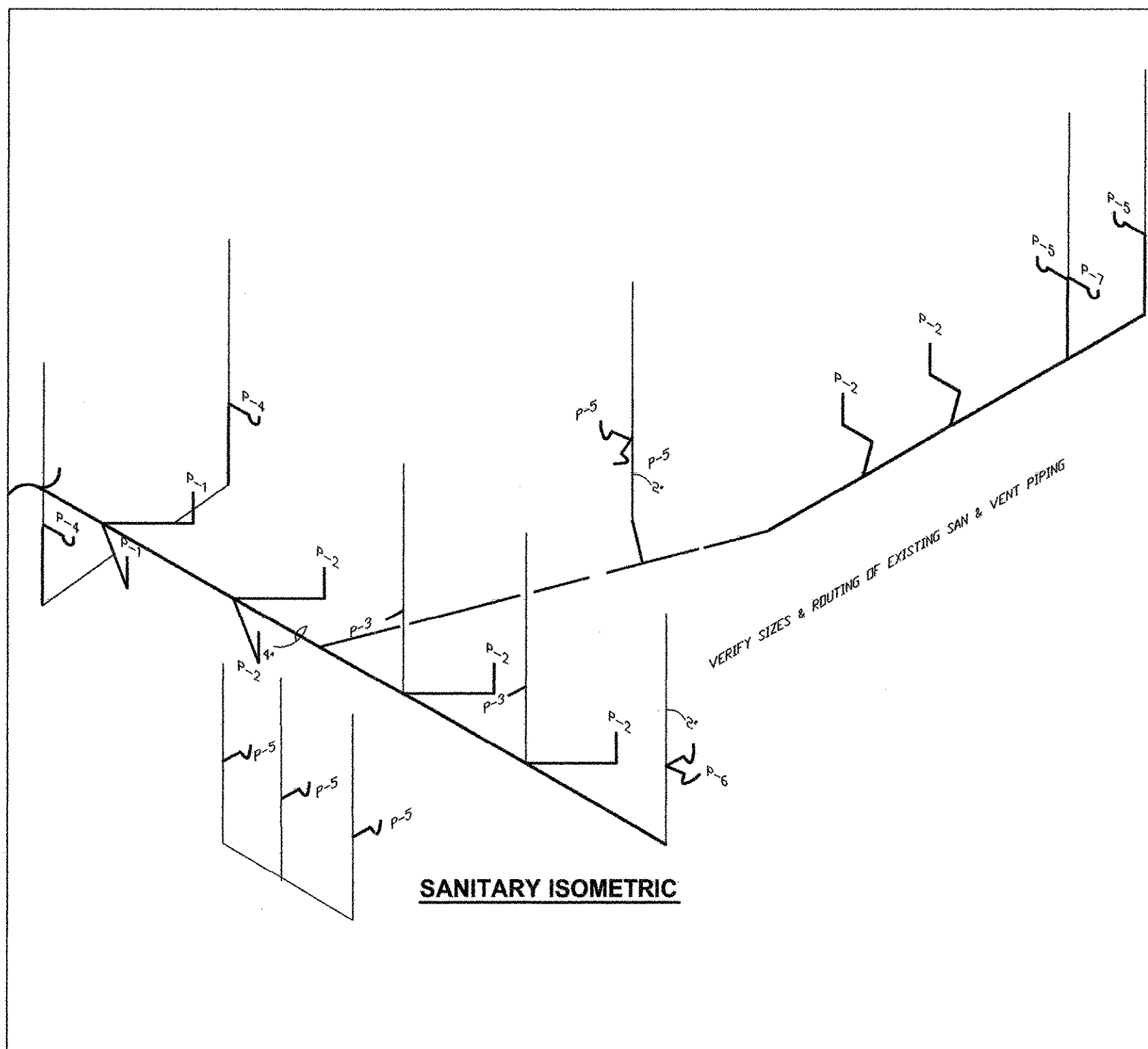


DUCT TAKE-OFF DETAIL - NTS



HVAC PLAN

SCALE: 1/8"=1'-0"



SANITARY ISOMETRIC

PLUMBING FIXTURE SCHEDULE

MARK	FIXTURE	DESCRIPTION	TRIM	REMARKS
1	H. C. W. C.	A/S 2386.010 CADET-3 1.6 GPF	OPEN FRONT SEAT, ELONGATED BOWL.	HANDICAP 16.5" HIGH.
2	W. C.	A/S 2383.012 CADET-3 1.6 GPF	OPEN FRONT SEAT, ELONGATED BOWL.	STANDARD HEIGHT.
3	URINAL	A/S 6501.010 WASHBOOK TOP SPUD 1.0 GPF	SLOAN CROWN 186-1.0 FLUSH VALVE.	WALL HUNG.
4	H. C. LAVATORY	A/S 0321.026 DECLYN	A/S 1480.100 FAUCET WITH LEVER ADA HANDLE. PROVIDE WITH GRID DRAIN AND 0.5 GPM FLOW RESTRICTOR. PROVIDE ADA PROTECTION FOR EXPOSED HOT WATER & DRAIN PIPING.	WALL HUNG AT ADA HEIGHT.
5	DROP-IN LAVATORY	A/S 0475.047 AQUALYN	A/S 1480.100 FAUCET WITH LEVER ADA HANDLE. PROVIDE WITH GRID DRAIN AND 0.5 GPM FLOW	VITREOUS CHINA, COUNTER DROP-IN.
6	EWV HI-LD	PBACSL	SANDSTONE FINISH.	REFRIGERATED. ADA COMPLIANT.
7	SINGLE SS SINK	ELKAY LRAD-1919-6.5'D	ELKAY LK500 GODSENECK FAUCET WITH LEVER ADA HANDLE. PROVIDE LK35 CUP STRAINER. PROVIDE ADA PROTECTION FOR EXPOSED HOT WATER & DRAIN PIPING.	TOP MOUNT. ADA COMPLIANT.

TENANT RENOVATION FOR:
SECURITY NETWORKS
3923 COMMERCE PLACE, SUITE 101
WEST PALM BEACH, FLORIDA

commission 29010

date: 01-20-10

revision date

no.

drawing **M1**

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SEAL

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TERMINATE 3/4" W/PULLWIRE ABOVE CEILING. TYPICAL CONDUIT SIZE UNLESS NOTED ON PLAN.

TYP. DATA/TEL OUTLET. SEE PLAN.

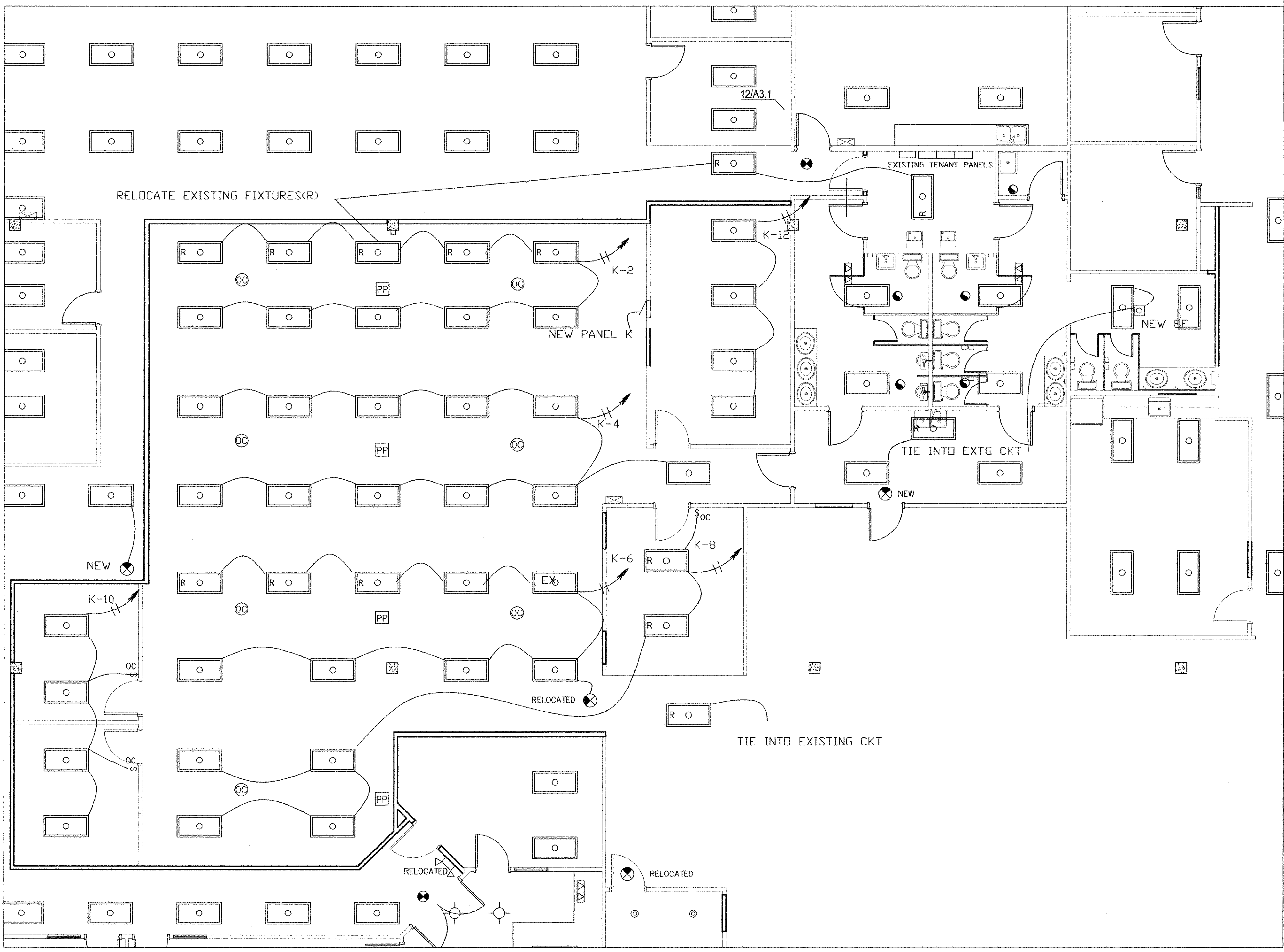
**OFFICE DATA RISER DIAGRAM
SCALE: NTS**

OCCUPANCY SENSOR DEVICE SCHEDULE

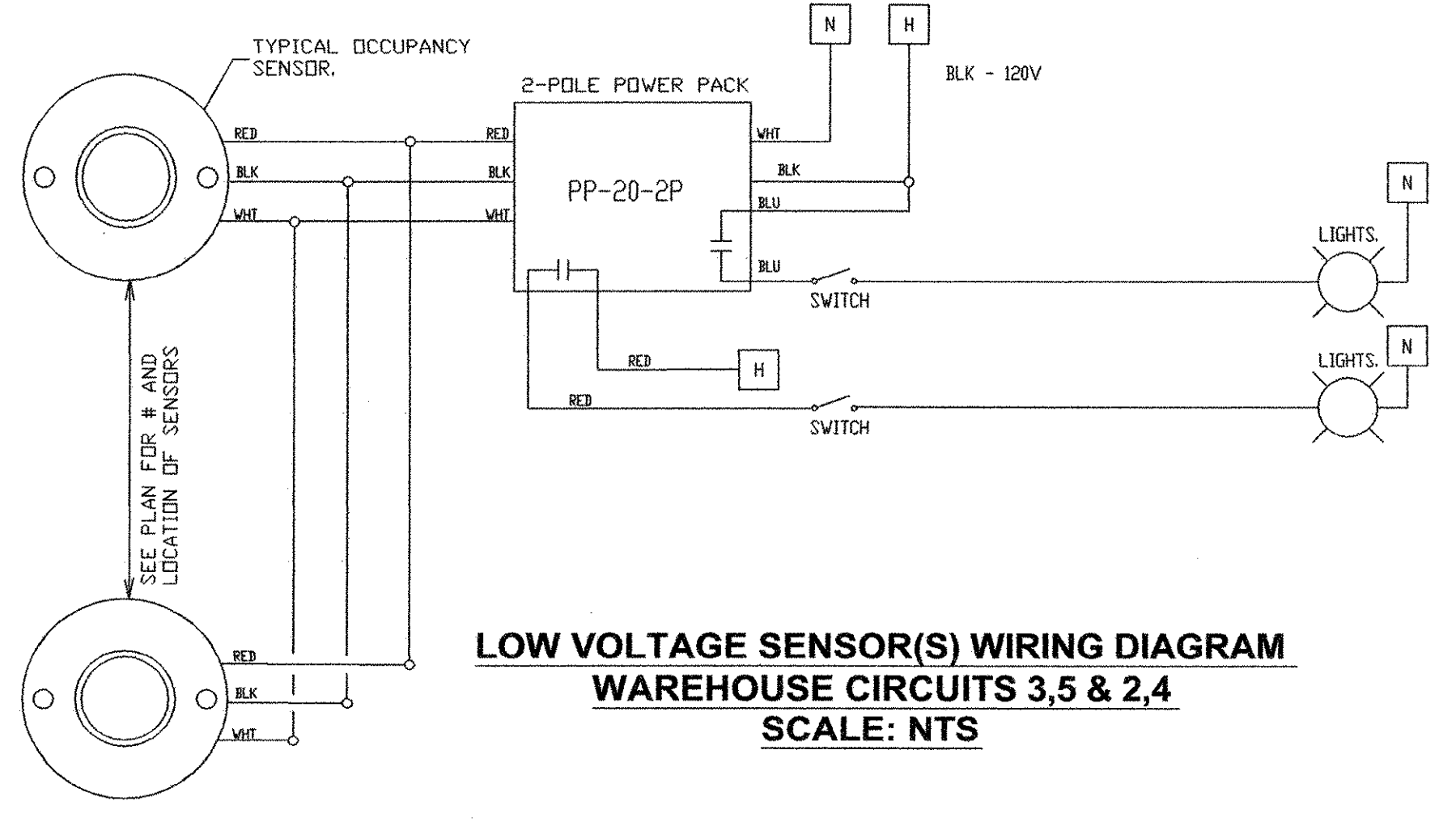
- MANUFACTURED BY SENSOR SWITCH.
- WALL SWITCH W/OCCUPANCY SENSOR & BUILT IN POWER PACK SENSOR SWITCH #WS0-PDT-WHITE
- LOW CEILING MOUNTED OCCUPANCY SENSOR TO CONTROL THE POWER PACK. SENSOR SWITCH #OM-9-PDT(WHITE).
- 20 AMP POWER PACK THAT IS CONTROLLED BY THE OCCUPANCY SENSOR(S). LOCATE ABOVE ACCESSIBLE CEILING WIRE AHEAD OF ANY LOCAL SWITCHING. 14 SENSORS MAX. PER PP. SENSOR SWITCH #PP-20.
- HIGH CEILING MOUNTED OCCUPANCY SENSOR TO CONTROL THE POWER PACK. SENSOR SWITCH #OM-6 (WHITE). MOUNT 6" BELOW JOIST.
- LINE VOLTAGE CEILING MOUNTED OCCUPANCY SENSOR SENSOR SWITCH #OMR-PDT (WHITE).

ELECTRICAL NOTES:

1. ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ALL NEW ELECTRICAL WORK INDICATED. CONSTRUCTION SHALL BE IN ACCORDANCE WITH DRAWINGS AND APPLICABLE SPECIFICATIONS. IF A PROBLEM IS ENCOUNTERED IN COMPLYING WITH THIS REQUIREMENT, CONTRACTOR SHALL NOTIFY THE OWNER OR HIS REPRESENTATIVE AS SOON AS POSSIBLE AFTER DISCOVERY OF THE PROBLEM AND SHALL NOT PROCEED WITH THAT PORTION OF THE WORK UNTIL OWNER HAS DIRECTED CORRECTIVE ACTION. THE CURRENT MINIMUM REQUIRED CODES FOR THIS PROJECT ARE:
2007 FLORIDA BUILDING CODE W/2009 REVISIONS
2006 NATIONAL FIRE PROTECTION ASSOCIATION - 101
2005 NATIONAL FIRE PROTECTION ASSOCIATION - 70
2. ELECTRICAL CONTRACTOR SHALL VISIT JOB SITE AND FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING ELECTRICAL AND TELEPHONE INSTALLATION PRIOR TO BID.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND THE FLORIDA BUILDING CODE.
4. DO NOT SCALE THE ELECTRICAL DRAWINGS. REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT. CONFIRM WITH OWNERS REPRESENTATIVE.
5. MINIMUM WIRE SIZE SHALL BE #12 A.W.G. EXCLUDING CONTROL WIRING. UNLESS OTHERWISE NOTED, ALL CONDUCTORS SHALL BE COPPER WITH THIN INSULATION.
6. OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET OR DAMP LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
7. CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FROM A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE.
8. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THERE BY.
9. ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE PROJECT.
10. CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS AND TESTING. CONTRACTOR TO OBTAIN PERMIT AND APPROVED SUBMITTALS PRIOR TO BEGINNING WORK OR ORDERING EQUIPMENT.
11. THE ELECTRICAL INSTALLATION SHALL MEET ALL REQUIREMENTS OF POWER AND TELEPHONE COMPANIES.
12. CONTRACTOR SHALL COORDINATE WITH MECHANICAL DRAWINGS AND PROVIDE ALL NECESSARY CONTROL WIRING.
13. ALL CIRCUIT BREAKERS FEEDING MECHANICAL EQUIPMENT SHALL BE HACR TYPE CIRCUIT BREAKERS OR FUSED SWITCHES AS INDICATED.
14. PROVIDE AND INSTALL CONDUIT, CONDUCTORS, PULL WIRES, BOXES, COVER PLATES, DEVICES FOR ALL OUTLETS AS INDICATED.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING REQUIRED OF HIS WORK.
16. ELECTRICAL CONTRACTOR SHALL LABEL EXTERIOR OF ALL PANELS AND PROVIDE COMPLETE TYPED DIRECTORIES.
17. ALL ELECTRICAL AND TELEPHONE/DATA OUTLETS TO BE AT 16" AFF UNLESS NOTED OTHERWISE, VERTICALLY MOUNTED.
18. ALL LIGHT SWITCHES TO BE AT 42" AFF.
19. LAY IN LIGHT FIXTURES TO BE SUPPORTED AT ALL FOUR CORNERS AND SECURED TO STRUCTURE ABOVE.
20. ALL ELECTRICAL WIRING SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. ALL ELECTRICAL WIRING FOR HVAC SYSTEM INCLUDING CONTROLS, THERMOSTATS, POWER, ETC. SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
21. PANELBOARDS: ALL CURRENT CARRYING BUSES SHALL BE COPPER. ALL GROUND BUS BARS SHALL BE COPPER. PANELBOARD ENCLOSURES SHALL BE FURNISHED WITHOUT PRE-PUNCHED CONCENTRIC HOLES. AIC RATINGS SHALL BE AS INDICATED ON PANELBOARD SCHEDULES.
22. DISCONNECT SWITCHES SHALL BE H.P. RATED, HEAVY DUTY, ENCLOSURES AS REQUIRED BY EXPOSURE.
23. ALL SERVICE CONDUIT AND ALL EXPOSED EXTERIOR CONDUITS SHALL BE RIGID METAL. INTERIOR LIGHTING AND RECEPTACLE CONDUIT SHALL BE EMT.
24. ELECTRICAL OUTLETS SERVING EWC'S SHALL BE MOUNTED OUTSIDE OF THE CABINET.
25. ANY EXPOSED LOW VOLTAGE WIRING IN WAREHOUSE AREAS SHALL BE IN CONDUIT IF LOCATED BELOW THE JOISTS.
26. NEW EXIT SIGN BEGHELLI VA4-R-SA INCLUDED UNIVERSAL THERMOPLASTIC EXT W/BATTERY, R.E.D.

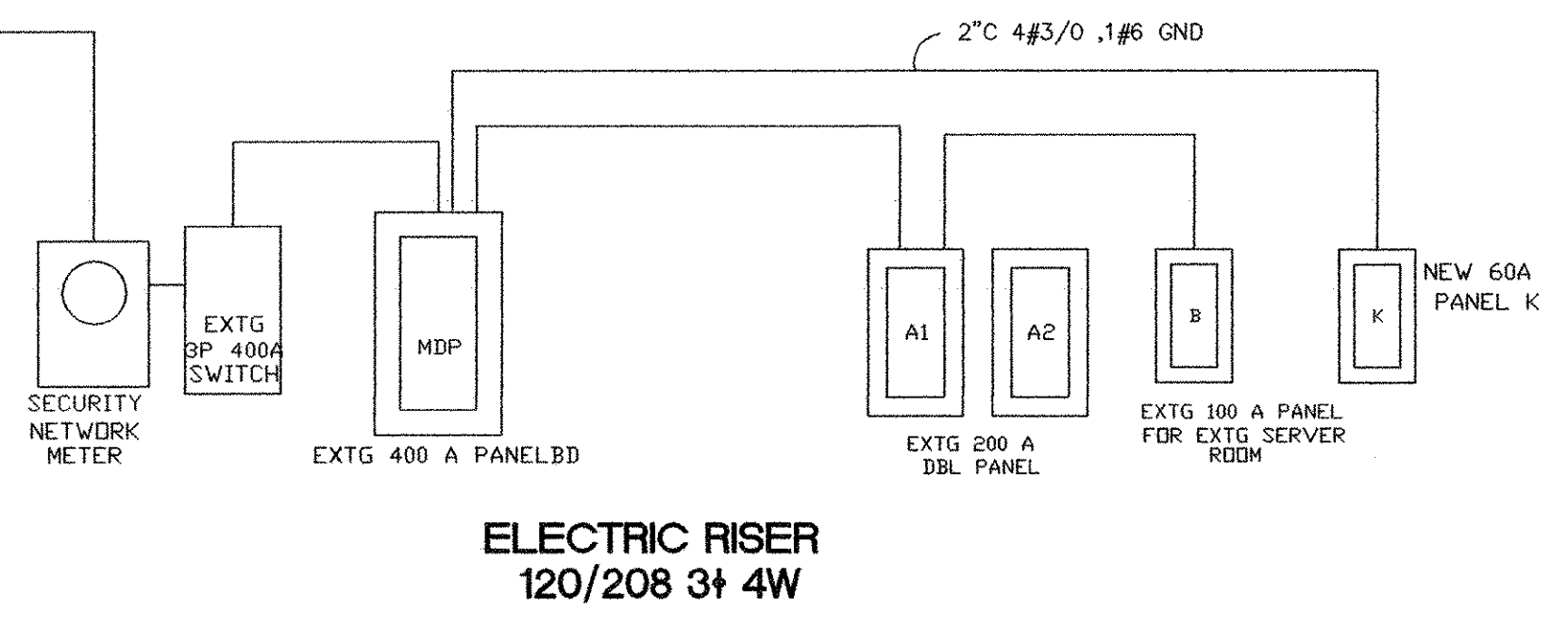


01 LIGHTING PLAN
SCALE: 1/8"=1'-0"



**LOW VOLTAGE SENSOR(S) WIRING DIAGRAM
WAREHOUSE CIRCUITS 3,5 & 2,4
SCALE: NTS**

- SPECIFIC ELECTRICAL NOTES:**
1. WITHIN 30 DAYS AFTER THE DATE OF SYSTEM ACCEPTANCE, RECORD DRAWINGS OF THE ACTUAL INSTALLATION SHALL BE PROVIDED TO THE BUILDING OWNER, INCLUDING THE FOLLOWING:
A. A SINGLE LINE DIAGRAM OF THE BUILDING ELECTRICAL SYSTEM.
B. FLOOR PLANS INDICATING THE LOCATION & THE AREA SERVED FOR ALL DISTRIBUTION.
 2. THE CONTRACTOR SHALL PROVIDE THE BUILDING OWNER W/AN OPERATING MANUAL & A MAINTENANCE MANUAL. THE MANUALS SHALL INCLUDE THE FOLLOWING:
A. SUBMITTAL DATA STATING EQUIPMENT RATINGS & SELECTED OPTIONS FOR EACH PIECE OF EQUIPMENT REQUIRING MAINTENANCE.
B. OPERATION MANUALS & MAINTENANCE MANUALS FOR EACH PIECE OF EQUIPMENT REQUIRING MAINTENANCE. REQUIRED ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY IDENTIFIED.
C. NAMES & ADDRESSES OF AT LEAST ONE QUALIFIED SERVICE AGENCY.
 3. PER CHAPTER 13, SECTION 413.1.AB.1 THE VOLTAGE DROP FOR THE SERVICE CONDUCTORS DOES NOT EXCEED 2% & THE VOLTAGE DROP FOR THE BRANCH CIRCUIT CONDUCTORS DOES NOT EXCEED 3%.



**ELECTRIC RISER
120/208 3Ø 4W**

DEMAND CALCULATION
PER FPL HIGHEST DEMAND FOR PAST 2 YEARS---49 KW 136 AMPS
ADDING PANEL "K" TO SERVICE-----178 AMPS
TOTAL SECURITY NETWORK TOTAL-----314 AMPS

TENANT RENOVATION FOR:
SECURITY NETWORKS
3223 COMMERCE PLACE, SUITE 101
WEST PALM BEACH, FLORIDA

commission 29010
date: 01-20-10
revision date

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




























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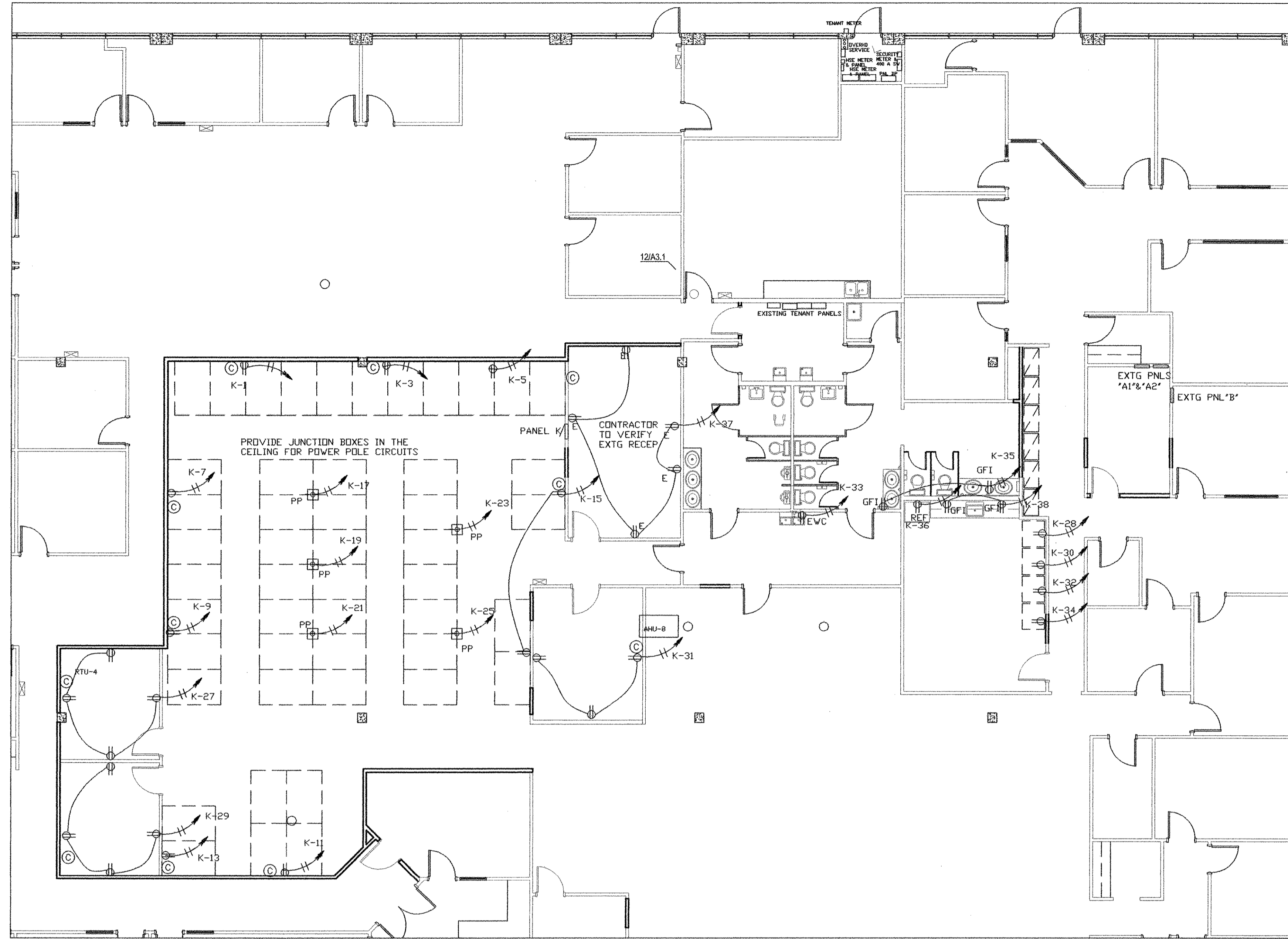
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SEAL

ELECTRICAL LEGEND:

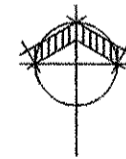
-  RECESSED FLUORESCENT.
-  RECESSED DOWNLIGHT.
-  SURFACE LIGHT
-  STRIP FLUORESCENT LIGHT.
-  EXIT LIGHT.
-  EXIT/EMERGENCY COMBINATION LIGHT.
-  EMERGENCY LIGHT.
-  LIGHT FIXTURE TYPE DESIGNATION.
-  DUPLEX RECEPTACLE.
-  QUAD-PLEX RECEPTACLE.
-  JUNCTION BOX. 4" SQUARE UNLESS NOTED.
-  TELEPHONE & DATA OUTLET.
-  TELEVISION OUTLET.
-  TELEPHONE OUTLET.
-  WEATHERPROOF
-  GROUND FAULT INTERRUPTER.
-  TOGGLE TYPE WALL SWITCH (3 = 3 WAY)
-  DIMMER SWITCH
-  TWO POLE RECEPTACLE
-  FIRE ALARM DUCT SMOKE DETECTOR.
-  FIRE ALARM TEST/RESET STATION.
-  FIRE ALARM MANUAL PULL STATION.
-  FIRE ALARM AUDIO/VISUAL DEVICE.
-  FIRE ALARM VISUAL DEVICE.
-  OCCUPANCY SENSOR (SEE DEVICE SCHEDULE).
-  POWER PACK (SEE DEVICE SCHEDULE).
-  EXHAUST FAN
-  DISCONNECT
-  POWER POLE-COORDINATE W/FURNITURE SUPPLIER SPECS
-  RELOCATE
-  NEW



01

ELECTRICAL POWER PLAN

SCALE: 1/8"=1'-0"



PANEL BOARD SCHEDULE 'K'																			
COND & WIRE	AMPS			LOAD		BKR		C K I		BKR		LOAD		AMPS			COND & WIRE		
1/2", #12	A	B	C	F	A	T	F	A	T	F	A	T	A	B	C	1/2", #12			
9	RECEP STATIONS			1	20	1	1	1	1	1	1	1	11	LIGHTS			1/2", #12		
9				3	4	5	6	7	8	9	10	11	12						
9				13	14	15	16	17	18	19	20	21	22						
9				23	24	25	26	27	28	29	30	31	32						
6				33	34	35	36	37	38	39	40	41	42						
9	POWER POLE STATIONS			1	20	1	1	1	1	1	1	1	11	100 EXTG RTU 4			70	1-1/4"C W/3#3	
12				19	20	21	22	23	24	25	26	27	28	EXTG AHU			33	3/4"C,W 3#8	
9				23	24	25	26	27	28	29	30	31	32	EXTG CONDUNIT			20	3/4"C,W 3#8	
10				27	28	29	30	31	32	33	34	35	36	OFFICE RECEPTACLES			6	1/2", #12	
6				29	30	31	32	33	34	35	36	37	38	VENDING MACHINE			6		
6				31	32	33	34	35	36	37	38	39	40	VENDING MACHINE			6		
7				33	34	35	36	37	38	39	40	41	42	VENDING MACHINE			6		
3				35	36	37	38	39	40	41	42			REFRIGERATOR			7		
6				37	38	39	40	41	42					SERVER ROOM			3		
				39	40	41	42							COUNTER GFI			3		
				41	42									VENDING MACHINE			6		

EXISTING RTU 4 AND EXISTING SPLIT SYSTEM ARE TO BE MOVED FROM THE TENANT PANEL TO PANEL 'K'. EXISTING CB,WIRE SIZE,VOLTAGE & AMPERAGE MUST BE VERIFIED PRIOR TO BID.

*
*

TOTAL AMPS: BUS A= BUS B= BUS C= CONNECTED KVA=

* NON-CONCURRENT OPERATION W/ELEC. HEAT

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